



PLANNING COMMISSION
Tuesday, August 14, 2018
265 Strand Street, St. Helens, OR 97051
www.ci.st-helens.or.us

Welcome!

1. **7:00 p.m. Call to Order and Flag Salute**
2. **Consent Agenda: Approval of Minutes**
 - 2.A. Minutes Dated July 10, 2018
[Draft Minutes Dated 071018](#)
3. **Topics from the Floor: Limited to 5 minutes per topic (not on public hearing agenda)**
4. **Public Hearings (times reflect earliest start time)**
 - 4.A. 7:00 p.m. - Variance (Access) at 34840 Pittsburg Road - John Leonard
[V.3.18 Staff Report](#)
 - 4.B. 7:30 p.m. - Conditional Use Permit at Lot 5 of the Matzen Subdivision - Multi-Tech Engineering Services Inc.
[CUP.2.18 Staff Report](#)
5. **Discussion Items**
 - 5.A. Street Vacation for Portions of N. 8th Street, N. 9th Street and Wyeth Street Recommendation to City Council
[VAC.1.18 Staff Report](#)
 - 5.B. Auxiliary Dwelling Unit (ADU) Maximum Size Discussion
[ADU Discussion Page](#)
 - 5.C. Millard Road Property Zoning Discussion

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6. Acceptance Agenda: Planning Administrator Site Design Review -

- a. Site Design Review (Major) at NW Corner of Renton Ave & 7th Street - New marijuana processing and wholesale building*
- b. Site Design Review (Minor) at 200 River Street - Grey Cliffs Park restrooms and parking lot improvements*
- c. Site Design Review (Minor) at 475 S. 18th Street - McCormick Park and Veterans Memorial Expansion, including covered shelter installation*

7. Planning Director Decisions -

- a. Sign Permits (3) at 2296 Gable Road Suite 240 - 3 new wall signs on an existing commercial suite*
- b. Time Extension (SUB.1.16) at Hankey Rd. & Elk Meadows Dr. - Elk Ridge Phase 6*
- c. Partition at 415 N. 12th Street - 2 parcel lot division*
- d. Home Occupation (Type I) at 58959 Alexandra Lane - Home office for mobile elderly home care*
- e. Home Occupation (Type I) at 720 Harper Lane - Home office for real estate marketing*
- f. Sign Permit (Banner) at 2100 Block of Columbia Blvd - Wings & Wheels event*

8. Planning Department Activity Report

- 8.A. July Planning Department Report
[2018 JUL Planning Dept Rept](#)

9. For Your Information Items

10. Next Regular Meeting - September 11, 2018 at 6:30 p.m.

11. Adjournment

City of St. Helens Planning Commission

Draft Minutes

July 10, 2018

Members Present: Chair Russell Hubbard
Commissioner Greg Cohen
Commissioner Kathryn Lawrence
Commissioner Sheila Semling
Commissioner Julie Stenberg
Commissioner Audrey Webster

Members Absent: Vice Chair Cary

Staff Present: Councilor Ginny Carlson
Associate Planner Jennifer Dimsho
City Planner Jacob Graichen

Others: Patty & Bill Conroy
Rich Bailey
Al, Kannikar, and Agnes Petersen
Bud Hickey
Robert Lucas
Linda Zahl

- 1) **7:00 p.m. Call to Order and Flag Salute**
- 2) **Consent Agenda: Approval of Minutes**
2.A Draft Minutes Dated June 12, 2018

Commissioner Semling said that Councilor Carlson was accidentally included in the votes for each motion.

Motion: Upon Commissioner Webster's motion and Commissioner Cohen's second, the Planning Commission unanimously approved Draft Minutes dated June 12, 2018 with the removal of Councilor Carlson voting during each motion. Commissioner Semling did not vote due to her absence from that meeting. [Ayes: Commissioner Cohen, Commissioner Lawrence, Commissioner Stenberg, Commissioner Webster; Nays: None]

- 3) **Topics from the Floor: Limited to 5 minutes per topic (not on public hearing agenda)**

Petersen, Al. Petersen wanted to bring up the issue of driveway and access spacing. There was a lot of discussion related to the access off of Pittsburg Road during the Emerald Meadows Subdivision decision. He feels that streets and driveways should be viewed differently. One of the main reasons for not allowing that access to be a street was the existing driveway did not meet access spacing standards. One of the Comprehensive Plan goals is a well-connected street network. Streets should have a higher priority than existing driveways. In the Emerald

Meadows Subdivision decision, the existing driveway took priority over long-term planning of the street network. By turning that access into a street, the developer would have solved fire safety concerns and would have increased neighborhood connectedness with a second means of access. Chair Hubbard said the Emerald Meadows Subdivision was frustrating for everyone.

4) Public Hearings (times reflect earliest start time)

4.A 7:00 p.m. - Text Amendments to the Development Code - ADUs, Home Occupations, and significant wetland/riparian area upland protection zones

Chair Hubbard opened the Public Hearing at 7:06 p.m. There were no ex-parte contacts, conflicts of interests, or bias in this matter. City Planner Jacob Graichen entered the staff report dated July 2, 2018 into the record.

Graichen described the proposal and recommended conditions of approval, as presented in the staff report. The Commission is to make a recommendation to City Council. He said there are three main topics proposed for text amendments: exemptions to Type I Home Occupations, reductions to the significant Wetland and Riparian upland protection zones, and changes to permitting Auxiliary Dwelling Units (ADUs). He said that Department of Land Conservation and Development commented that the proposed wetland and riparian rule changes require more study to comply with Statewide Planning Goal 5. Graichen recommends postponing these changes until staff can look into it further, since altering them is not as simple as originally anticipated.

Graichen explained that staff is proposing exemptions for Type I Home Occupations because they have no outward appearance of the business. The Commission has no problem with this. Graichen noted the amendments suggest removing home occupations from the Highway Commercial (HC) zone. Commissioner Lawrence thinks they should be allowed outright in the HC zone. The Commission agrees. Commissioner Cohen wanted to be sure that the applicant has to disclose if hazardous materials are being used in home occupation operations.

Graichen said he has never permitted an ADU in his ten years with the City, likely because the existing ADU standards are too burdensome. Senate Bill 1051 (passed in August 2017) stated that cities with a population greater than 2,500 people must allow at least one accessory dwelling unit for areas zoned for detached single-family dwellings, subject to reasonable local regulations. This is, in part, why the City is amending the ADU chapter now.

Graichen went through the recommended ADU text amendments, as presented in the staff report. He asked the Commission how they feel about allowing someone to convert an accessory structure to an ADU. Commissioner Cohen does not feel they should be converted. Chair Hubbard said there are some cases where a shop already has utilities and it would be easy to convert. Commissioner Semling asked about the accessory structures that are built with a second level to be used as a dwelling unit. Graichen said that the amendments, as proposed, would not allow this. Commissioner Lawrence does not have an issue with someone converting a shed into a dwelling unit, provided they can meet all of the other requirements. Chair Hubbard suggested allowing a shop that has been previously legally approved to be converted to an ADU. He noted that building code would ensure it is safe for habitation. The Commission agrees with this.

Commissioner Lawrence asked if an existing structure can be converted, even if it does not meet setbacks. Graichen said yes, they could convert it according to our nonconforming chapter

because it would be considered grandfathered. He noted that, unless they had to demolish the entire structure in order to convert it, the location of the structure would be considered grandfathered in.

The Commission agreed to remove the heated/air conditioned floor area section as a requirement so that a portion of a legal accessory structure could be converted. The Commission would also like to include an exemption for architectural features for legal nonconforming structures.

In Favor

Petersen, Agnes. Petersen lives in Deer Island. She has a legal office in St. Helens. She was born and raised in St. Helens. She is in support, but disappointed in some of the proposed ADU restrictions. She said the date by which we are supposed to be complying with Senate Bill 1051 is July 1, 2018. She brought a copy. She does not think handicap and elderly populations should be restricted to a "chicken coop" sized ADU. She said the house she was raised in was 1,500 square feet. With the 50 percent maximum size proposed, the size of the ADU would only be 750 square feet. She feels disabled and elderly populations will be a majority of those applying for ADUs. A new report from Harvard finds that over seven million households have an adult with a disability. According to the U.S. Census Bureau, almost 20 percent of the U.S. population has a disability, many of whom are senior citizens. Most challenges involve mobility and lifting or grasping objects. Petersen said there are design features that help those with mobility challenges: a step free entryway, a single-floor layout, and wide doors and hallways. She talked to a builder who designs handicap-accessible housing. A minimum of 1,050 square feet is needed for a two-bedroom accessible home. She took care of her mother from 1997 to 2005. She thinks that a maximum size of 50 percent of the principal dwelling is too small. She suggested 95 percent or 75 percent. She entered an accessibility and handicap report created by the American Association of Retired Persons (AARP) and a 2013 report written by a doctor of design at Harvard into the record. She also entered into the record a list of other communities with a larger maximum ADU size. Lastly, she thinks residents should be able to convert a portion of an existing structure into an ADU, as long as it meets the size requirement.

Petersen, Al. Petersen said he is in favor of the text amendments with a few suggestions. Regarding home occupations, he noted that signage on pickup trucks is an issue in Columbia City. Petersen suggested that Graichen may become the enforcement of signage on vehicles, unless vehicular signage is allowed. He would not get too wrapped up in having applicants disclose hazardous materials because building code addresses it.

Regarding the conversion of an ADU, he said not to worry too much about safety because the building code will address those concerns. Regarding two doors, would a legal non-conforming structure have to move its door? He agrees with exempting the architectural features if the building is already existing. He thinks a maximum of 50 percent of the principal dwelling is not large enough. Seventy-five percent is recommended by the State. He thinks the City should pick a maximum square footage, instead of a percentage. In his research, he said he could not find any ADA-accessible two-bedroom house plan under 1,100 square feet. He suggested making the maximum size at least 1,000 square feet.

Zahl, Linda. Zahl lives off of Hankey Road. She moved here over 20 years ago with her elderly parents. An ADU was too difficult to build in the County back then. The City needs more affordable housing, so she is very excited for the City to adopt these new rules. She is in favor

of the text amendments but would like to suggest a larger maximum size. Zahl has an adult child who is handicap, in addition to elderly parents. ADUs are not always used as rentals. Many ADUs are for loved ones who may be handicap or elderly. Fifty percent is too small, especially with lots that have older existing housing, which are traditionally smaller. ADA accessible housing has to have large bathrooms. Zahl is on the fence about parking requirements. She suggests allowing tandem parking because requiring additional parking decreases pervious surface. She noted many ADU dwellers may not need additional parking because they are handicap or do not have vehicles. She asked about architectural variances for situations where the ADU is not visible from the street or neighbors.

In Opposition

No one spoke in opposition.

Further Questions of Staff

Regarding signage on cars for home occupations, Commissioner Cohen suggested exempting vehicular signage. Commissioner Stenberg agreed. For maximum size of ADUs, Commissioner Cohen would like more time to review other examples. Graichen recommended including a size of 1,200 square feet. Chair Hubbard would like to use a flat number, instead of a percentage. Commissioner Webster said ADU creation will still be limited by the size and space available on the lots. The Commission prefers a maximum size of 1,200 square feet, given the testimony regarding ADA standards tonight.

End of Oral Testimony

There were no requests to continue the hearing or leave the record open.

Close of Public Hearing & Record

The applicant waived the opportunity to submit final written argument after the close of the record.

Deliberations

The Commission is in favor of the proposed text amendments as written with the changes as discussed.

Motion: Upon Commissioner Cohen's motion and Commissioner Lawrence's second, the Planning Commission recommended approval to City Council of the text amendments to the Development Code with the changes as discussed. [Ayes: Commissioner Cohen, Commissioner Lawrence, Commissioner Semling, Commissioner Stenberg, Commissioner Webster; Nays: None]

4.B 7:30 p.m. - Conditional Use Permit at 100 St. Helens Street - Establish marijuana retailer

Chair Hubbard opened the Public Hearing at 9:05 p.m. There were no ex-parte contacts, conflicts of interests, or bias in this matter. City Planner Graichen entered the staff report dated July 3, 2018 into the record.

Graichen described the proposal and recommended conditions of approval, as presented in the staff report. Graichen described the various testimony received, including a letter from Elliot Michael that was received after the staff report was sent out. He noted that there are two marijuana retailers operating in the City. There was an approved Conditional Use Permit for a marijuana retailer in the Muckle Building, but it was never established. Now the timeframe for establishing the use has lapsed, which left an opportunity for this applicant to apply.

Graichen noted that we have an approved Conditional Use Permit for a childcare facility at the Masonic Building, which is located within the 1,000 foot buffer required between marijuana retailers and childcare facilities. However, the Building Official has not received any permits for that building, which means the use has not been legally established and vested. Graichen said the nearest childcare facility is about 1,300 feet away on Columbia Blvd. Commissioner Lawrence asked about the proximity to the Columbia Theatre where children congregate. Graichen said in the rules, it calls out specific uses where children are known to congregate, but it does not call out theaters. Councilor Carlson asked about the youth programs that occur in the Resonate Church, which is also within 1,000 feet. Graichen said that the principal use of the Resonate Church is religious assembly, not childcare/youth services. Commissioner Stenberg asked about whether or not approval of this Conditional Use Permit would affect the City's ability to receive federal grants. Associate Planner Dimsho said we have received grants from multiple federal agencies since the City has been approving marijuana retailers. There appears to be no effect. Graichen noted allowing marijuana retailers was approved by a majority of the citizens of Columbia County.

In Favor

Lee, Robert. Applicant. Lee has been in the cannabis business for about six years, primarily building new marijuana storefronts in Portland. He is building several currently. He has created a high-end marijuana brand. Contrary to what people assume with a cannabis business going into a community, he has seen marijuana businesses improve blight and create positive impacts. The proposed St. Helens location has been vacant for about a year, located right at the entrance to the downtown. They stay away from traditional flashy signage. Lee said he would improve the storefront and add to the vitality of the downtown, not detract from it. A bar is allowed to be within 50 feet of a school, which allows consumption on site. They will be dispensing medicine to patrons, not consuming it. Per state regulations, the state does not allow advertising to children through branding. They want to contribute to the community in a positive way.

Lucas, Robert. Property Owner. Lucas is a practicing attorney in Rainier. He has owned the building for about 25 years. It used to be a small restaurant. He expanded it when he bought it. He also put in landscaping when he remodeled. The City complimented him when he completed the remodel. He also remodeled the derelict Muckle Building prior to the current owner. He would not rent his building to anyone who would do damage to his building. Lucas said he did not personally vote for marijuana legalization, but the people of Oregon did. He thinks this use will be an addition to downtown. He noted you do not smoke it on the site, like you would drink at a bar. Lucas feels it is more detrimental to children to see drunken adults leaving bars than it is to see people buying marijuana. He said the Commission has approved three sites, one of which is in the Riverfront District. The proposed tenant is a reputable marijuana company, and this is a good location. He hopes the Commission will not listen to emotional arguments based on shaky facts. Approval of this use will not prohibit the childcare facility from getting occupancy. The City Council did not recommend including a theater in the 1,000 foot buffer. To bring this

idea up now in order to deny this request is wrong. Lucas has no problem with adding car stops. He also noted there used to be two spaces on the side of the building, not just one. He said there are two floodlights, one front door light, and a street light on the corner, so he does not see the need for additional lighting. He said there is no alley behind the building. He also said you cannot see the HVAC units from the street. He does not feel they should be required to do additional landscaping or screening. He said they have received no complaints. He said additional landscaping would be difficult to provide.

Opposition

Hickey, Bud. Hickey was born in St. Helens. He has lived here for about 80 years. He has owned the building behind the applicant for about 50 years. He has never had any problems with people damaging his building. He is not familiar with marijuana. He does not know the difference between high-end and low-end marijuana. He is concerned about the security of his building. He does not want this use to create vandalism potential. He does not want mingling or gathering of people that may vandalize his building. He said there are sometimes problems a few blocks down the street, and he does not want this new use to attract problems. He has nothing against marijuana specifically, but if it becomes a problem, how can it be addressed?

Petersen, Agnes. Petersen said she pre-dates both Lucas and Hickey. She started practicing law in 1960. Petersen said she is not going to be emotional. She is going to look at codes. Petersen said the Commission has the ability to interpret the code. First, she wanted to explain who she represents. She represents Van Natta & Petersen, a law firm that owns the building kitty-corner from the proposal. She rents the downstairs to a church. She said the pastor would be here if he had not been recently injured. She also represents the Petersen Children Trust, who owns the building across from the proposal. This is the building where Wild Currant Catering and an architecture firm are located. Both Van Natta & Petersen and the Petersen Children Trust are vehemently opposed to this Conditional Use Permit. She asked the Commission to consider that the building is not a suitable location for this use. The intent of the 1,000 buffer is to protect children. She said the Columbia Theatre is incredibly child-friendly. The theater owner has a partnership with the School District to get children to attend the theater. She also mentioned the children who exercise on the street. She said there are two childcare facilities within 1,000 feet from the proposed location. She suggested to the Commission that they interpret the term "lawfully exists" as approval of a Conditional Use Permit by the Commission. She asked what the City is doing to develop the downtown. The community never once said anything about marijuana shops. She entered an item into the record, which includes photos of the Little Spooks Parade, which starts in front of the building. She asked what the purpose of the 1,000 feet buffer is, if it is not to protect children.

Petersen, Al. Petersen's office is across the street. He is member of the Petersen Children Trust. Petersen is disappointed that the City decided to sell eight acres of industrial property to a marijuana producer. He is disappointed that, should this decision be appealed, it may go to the City Council, which has already shown their intent. He has been involved in multiple efforts to improve the conditions of the area. He does not see where or how marijuana retailers are a positive aspect that can contribute to redevelopment of downtown. He feels the Council sold out to the marijuana industry. He does not feel the jobs that were promised will materialize. He used to sit on the Planning Commission, and he does not envy the Commission now. He does not want to repeat the same things, but he agrees with the previous testimony, and he is in opposition of this proposal.

Rebuttal

Lee, Robert. Applicant. Lee said if we are looking strictly at the criteria for approval, the application should be conditionally approved. He recognizes that he is an outsider coming into a community that has a history and a vested interest. Lee said, as business owner and someone who has seen the positive effects in other communities, he wants to be a part of that. He is not trying to be a nuisance to the community. He wants to respect neighbors. He provides medicine for adults that is consumed in the privacy of their own homes. Public consumption is not allowed. Customers are educated to medicate at home. The OLCC requires that they provide educational materials to all customers. Commissioner Lawrence asked if they will be serving medical and recreational clients. Lee said both. Commissioner Stenberg asked if any establishments have ever received violations. He said no. He said one of his locations was a block away from the North Precinct of the Portland Police Department, and they would stop in regularly to check on things. Councilor Carlson asked if there is any process to control odors. Lee said he will usually replace the existing sheet rock and install a vapor barrier and re-caulk sufficiently. There are also carbon filtration systems. Councilor Carlson noted that there are issues with people smoking out front of the building at other locations. She noted that there are residences adjacent to this building. Lee said when he trains employees, he ensures that they understand medication cannot be consumed on the premises, even in their car on site. Councilor Carlson asked if they spoke to business owners. Lee said no, but he is open to it. His background is urban planning and community development. He would follow up with residents and business owners if they express concerns. Chair Hubbard asked how they handle the cash from sales. Lee said they bank through a credit union in Woodburn, Oregon. They take cash out daily, so there would never be excess cash in the building. Lee said the transactions are like convenience store transactions. There is no congregation of people outside. Regarding saturation, Lee noted that he is developing a brand in a way that the competition may not be. He noted that the OLCC allows marijuana retailers to be open until 10 p.m., but he would likely close at 8 p.m.

End of Oral Testimony

There were no requests to continue the hearing or leave the record open.

Close of Public Hearing & Record

The applicant waived the opportunity to submit final written argument after the close of the record.

Deliberations

Commissioner Cohen requested that the Commission review the Comprehensive Plan economic goals and policies. Commissioner Cohen noted that the General Commercial policy in SHMC 19.12.070 2 (f) to, "preserve areas for business use by limiting incompatible uses within them," seems to apply to this case. Commissioner Webster remembered that Resonate Church said they would be offering childcare and after school programs when they applied for the Conditional Use Permit. Graichen said that was not noted in the application, but it may have been stated during oral testimony. Commissioner Webster said the proposed location is a gathering place for children, between the gym, church, and theater. Commissioner Semling said she did not feel she could approve something so close to the church where childcare is occurring. Graichen said the church's principal use is religious assembly. He asked if the

Commission wants to apply the church's auxiliary use of childcare to the required 1,000 foot buffer.

Commissioner Webster asked how long the approval of the Conditional Use Permit lasts for the childcare facility. Graichen said they have a year and a half, with a one-year time extension to legally establish the use. Commissioner Cohen said a lot of time and effort has been spent on economic development of the downtown area. He would like to look long-term at the commercial potential of the area.

Commissioner Lawrence suggested that required landscaping or hedges may actually increase the possibility for crime and hiding. Commissioner Stenberg suggested a condition about loitering. Graichen said enforcement of such a condition would likely be reactionary, not proactive. Commissioner Cohen wanted to be sure that there is enough lighting, but he thinks that OLCC rules will cover that. He asked if the other approved Conditional Use Permits for marijuana retailers had regulated the hours of operation. Graichen said no, but each location is specific, so that does not mean this location could not have limitations to the hours of operation. Commissioner Cohen suggested closing times to ensure compatibility with the neighborhood.

Motion: Upon Commissioner Cohen's motion and Commissioner Stenberg's second, it was moved to approve the Conditional Use Permit as written with the additional condition that the business will close Monday through Thursday at 8 p.m., Friday and Saturday at 9 p.m., and Sunday at 7 p.m. [Ayes: Commissioner Cohen, Commissioner Stenberg; Nays: Commissioner Lawrence, Commissioner Semling, Commissioner Webster] Motion failed.

Motion: Upon Commissioner Webster's motion and Commissioner Semling's second, the Planning Commission denied the Conditional Use Permit based on proximity to childcare/daycare facilities and incompatibility with the surrounding land uses based on Comprehensive Plan policies. [Ayes: Commissioner Lawrence, Commissioner Semling, Commissioner Webster; Nays: Commissioner Cohen, Commissioner Stenberg]

Motion: Upon Commissioner Cohen's motion and Commissioner Webster's second, the Planning Commission unanimously approved the Chair to sign the Findings & Conclusions once prepared. [Ayes: Commissioner Cohen, Commissioner Lawrence, Commissioner Stenberg, Commissioner Webster; Commissioner Semling; Nays: None]

5) **Discussion Items**

5.A **Millard Road Property Zoning Discussion**

Graichen said the discussion for Millard Road Property Zoning is not an essential item, so it will be moved to another meeting when there is less on the agenda. The Commission agreed.

6) **Acceptance Agenda: Planning Administrator Site Design Review**

- a. Site Design Review (Minor) at 550 Milton Way - Modifications to an existing telecommunications facility
- b. Site Design Review (Minor) at 544 N. 10th Street - ADA and related site improvements
- c. Site Design Review (Minor) at 150 Port Ave. - Modifications to an existing telecommunications facility

Motion: Upon Commissioner Cohen's motion and Commissioner Webster's second, the Planning Commission unanimously approved the Acceptance Agenda: Planning Administrator Site Design Review. [Ayes: Commissioner Cohen, Commissioner Lawrence, Commissioner Semling, Commissioner Stenberg, Commissioner Webster; Nays: None]

7) Planning Director Decisions

- a. Accessory Structure at 71 West Street - New carport
- b. Sign Permit (Banner) at 2100 Block of Columbia Blvd. - Columbia County Fair & Rodeo
- c. Temporary Use Permit at 735 S. Columbia River Highway - Fireworks stand
- d. Home Occupation (Type I) at 2154 Oregon Street #30 - Home office for painting business

There were no comments.

8) Planning Department Activity Report

8.A June Planning Department Report

There were no comments.

9) For Your Information Items

There were no items.

10) Next Regular Meeting - August 14, 2018

11) Adjournment

There being no further business before the Planning Commission, the meeting was adjourned at 10:57 p.m.

Respectfully submitted,

Jennifer Dimsho
Associate Planner

**CITY OF ST. HELENS PLANNING DEPARTMENT
STAFF REPORT
Access Variance V.3.18**

APPLICANT: John Leonard
OWNER: John & Teresa Leonard
ZONING: Suburban Residential, R10
LOCATION: 4N1W-6AD-2400
PROPOSAL: Access Variance to allow a second driveway approach and for spacing standards

The 120-day rule (ORS 227.178) for final action for this land use decision is **October 31, 2018**.

SITE INFORMATION / BACKGROUND

The site is located on the edge of the City limits boundary. It is developed with an existing detached single-family dwelling, a few accessory structures, and two previously existing access points. The existing driveway approach (#1 as noted below) is shared with the adjacent neighbor. It is not entirely located, if at all, on the subject property. The other existing driveway approach (#2 as noted below) is located on the opposite side of the subject property.

Two to three public trees within the right-of-way are proposed to be removed for the placement of the new driveway approach. Approval of this variance would allow for the removal of public trees that would be in the way of the approved approach. Pittsburg Road is a County road and is classified as a Minor Arterial Street. It is developed with two lanes of vehicular traffic and no sidewalks or curb.



Existing Driveway Approach #2
 This is the driveway the applicant currently uses. They would like to keep this approach.

Approximate New Driveway
 This would replace Driveway Approach #1.

Existing Driveway Approach #1
 It is combined with the neighbor's driveway and is located mostly off of subject property. Applicant states they no longer use this access. The formality of this approach is unknown.



Existing Driveway Approach #1 shared with neighbor that is not entirely located on the subject property to be removed



Approximate location for new accessory structure and driveway approach. Single-family dwelling to the left. Existing Driveway Approach #2 is on other side of the accessory structures. Existing accessory structures to be removed with development of new accessory structure.

PUBLIC HEARING & NOTICE

Hearing dates are as follows: before the Planning Commission on August 14, 2018

Notice of this proposal was sent to surrounding property owners within 100 feet of the subject properties on July 25, 2018 via first class mail. Notice was sent to agencies by mail or e-mail on the same date. Notice was published in the The Chronicle on August 1, 2018.

AGENCY REFERRALS & COMMENTS

City Engineering: No comment.

Columbia County Road Department: I have found nothing for road access permits for this parcel. So for this activity, the existing and the new [proposed] access will require a County road Access Permit, or provide proof of a permit.

APPLICABLE CRITERIA, ANALYSIS & FINDINGS

17.84.120 Variances to access standards.

In all zoning districts where access and egress drives cannot be readily designed to conform to code standards within a particular parcel, access with an adjoining property shall be considered. If access in conjunction with another parcel cannot reasonably be achieved, the commission may grant a variance to the access requirements of this chapter based on the standards set forth in SHMC 17.84.150. This does not apply to highway access.

Discussion:

- Per SHMC 17.84.040(5) & (6) spacing standard for driveways on Minor Arterials is 200 feet as measured from the center of each driveway approach. The approximate linear distance between the existing driveway #2 (proposed to remain) and the proposed new driveway approach is approximately 80 to 90 feet and the distance between the proposed second driveway approach and the neighbor's driveway is approximately 40 to 50 feet. The existing driveway #1 (the one located mostly off of the property) is proposed to be removed.
- Per SHMC 17.84.040(8) only one access point is allowed per detached single family development lot. This variance is requesting to re-locate and legalize a second driveway approach.
- Per SHMC 17.84.070 (1) the maximum access width for a single-family dwelling unit is 24 feet. The proposed driveway would not exceed this width.

This variance request is to legalize a second driveway approach and for a variance to the 200 foot required spacing standard for Minor Arterial classified streets.

Findings:

17.84.150 Approval standards.

The commission may approve, approve with conditions, or deny a request for an access variance based on findings that:

- (1) It is not possible to share access;
- (2) There are no other alternative access points on the street in question or from another street;
- (3) The access separation requirements cannot be met;
- (4) There are unique or special conditions that make strict application of the standards impractical;
- (5) No engineering or construction solutions can be applied to mitigate the condition;
- (6) The request is the minimum variance required to provide adequate access;
- (7) The approved access or access approved with conditions will result in a safe access and will not result in the degradation of operational and safety integrity of the transportation system;
- (8) The visual clearance requirements of Chapter 17.76 SHMC will be met; and
- (9) No variance shall be granted where such hardship is self-created.

(1) This criterion requires a finding that access cannot be shared.

- The Commission needs to determine if this criterion is met to approve the variance or approve it with conditions.
- See applicant's narrative.
- Staff comment(s): It appears that the neighbor and the applicant used an informal shared access, which functioned historically as the applicant's secondary driveway approach.

(2) This criterion requires a finding that there are no other alternative access points.

- The Commission needs to determine if this criterion is met to approve the variance or approve it with conditions.
- See applicant's narrative.
- Staff comment(s): There are some factors that limit the placement of alternative driveway approaches, including a power pole, a fire hydrant, mature trees, and the odd positioning and placement of the house. The applicant states that building a new accessory structure will make it difficult to use the existing driveway approach to maneuver their vehicles to prevent backing movements onto Pittsburg Road.

(3) This criterion requires a finding that the access separation requirements cannot be met.

- The Commission needs to determine if this criterion is met to approve the variance or approve it with conditions.
- See applicant's narrative.
- Staff comment(s): The access separation requirements are not currently met with either of the two existing driveway approaches. They are closer than 200 feet from each other and from the neighbor's existing driveway approach.

(4) This criterion requires a finding that there are unique or special circumstances that make strict application of the standards impractical.

- The Commission needs to determine if this criterion is met to approve the variance or approve it with conditions.
- See applicant's narrative.
- Staff comment(s): The applicant wishes to build a garage next to the house. The angled placement of the house creates challenges for designing a driveway to the new garage that allows for vehicular maneuvering to prevent backward movements onto Pittsburg Road.

(5) This criterion requires a finding that that are no engineering or construction solutions that could be used instead of the access variance.

- The Commission needs to determine if this criterion is met to approve the variance or approve it with conditions.
- See applicant's narrative.

(6) This criterion requires a finding that the required is the minimum variance necessary to provide adequate access.

- See applicant's narrative.
- Staff comment(s): Once the new garage is built, the applicant indicates they will be unable to adequately turn their vehicle around to enter Pittsburg Road. This implies that the new driveway approach is needed for safer access.

- The Commission needs to decide if allowing the applicant to keep one of the existing driveway approaches and a build a new one is the minimum variance necessary to provide adequate access and eliminate backward maneuvering onto Pittsburg Road.

(7) This criterion requires a finding that the approved access, which can include conditions of approval, will result in safe access and not result in degradation of operational and safety integrity of the transportation system.

- The Commission needs to determine if this criterion is met to approve the variance or approve it with conditions.
- See applicant's narrative.
- Staff comment(s): The applicant is proposing to remove the secondary driveway approach that is partially, if not entirely, located on the neighbor's property. Since there were previously two approaches that did not meet the spacing standards, approving this variance will not result in a greater degradation of the transportation system than was existing prior to this variance.
- Per SHMC 17.84.060 (3) only local streets are allowed to have driveways that require or facilitate backward movement or maneuvering in the street. This is particularly important along an Arterial classified street like Pittsburg Road.

(8) This criterion requires a finding that the visual clearance requirements of Chapter 17.76 SHMC will be met.

- The Commission needs to determine if this criterion is met to approve the variance or approve it with conditions.
- See applicant's narrative.
- Staff comment(s): The proposed variance will not impede visual clearance.

(9) The criterion requires a finding that the hardship is not self-created.

- The Commission needs to determine if this criterion is met to approve the variance or approve it with conditions.
- See applicant's narrative.
- Staff comment(s): Did the applicant select the placement of the existing detached single-family dwelling or the existing driveway approaches?

CONCLUSION & DECISION

Based on the facts and findings herein, if the Planning Commission approves the Access Variance for a second driveway approach that does not meet the access spacing standard, staff recommends the following conditions:

1. This Access Variance approval shall be valid for one-and-one-half year (SHMC 17.84.140).
2. This Access Variance shall become void unless the following occurs within the validity period:

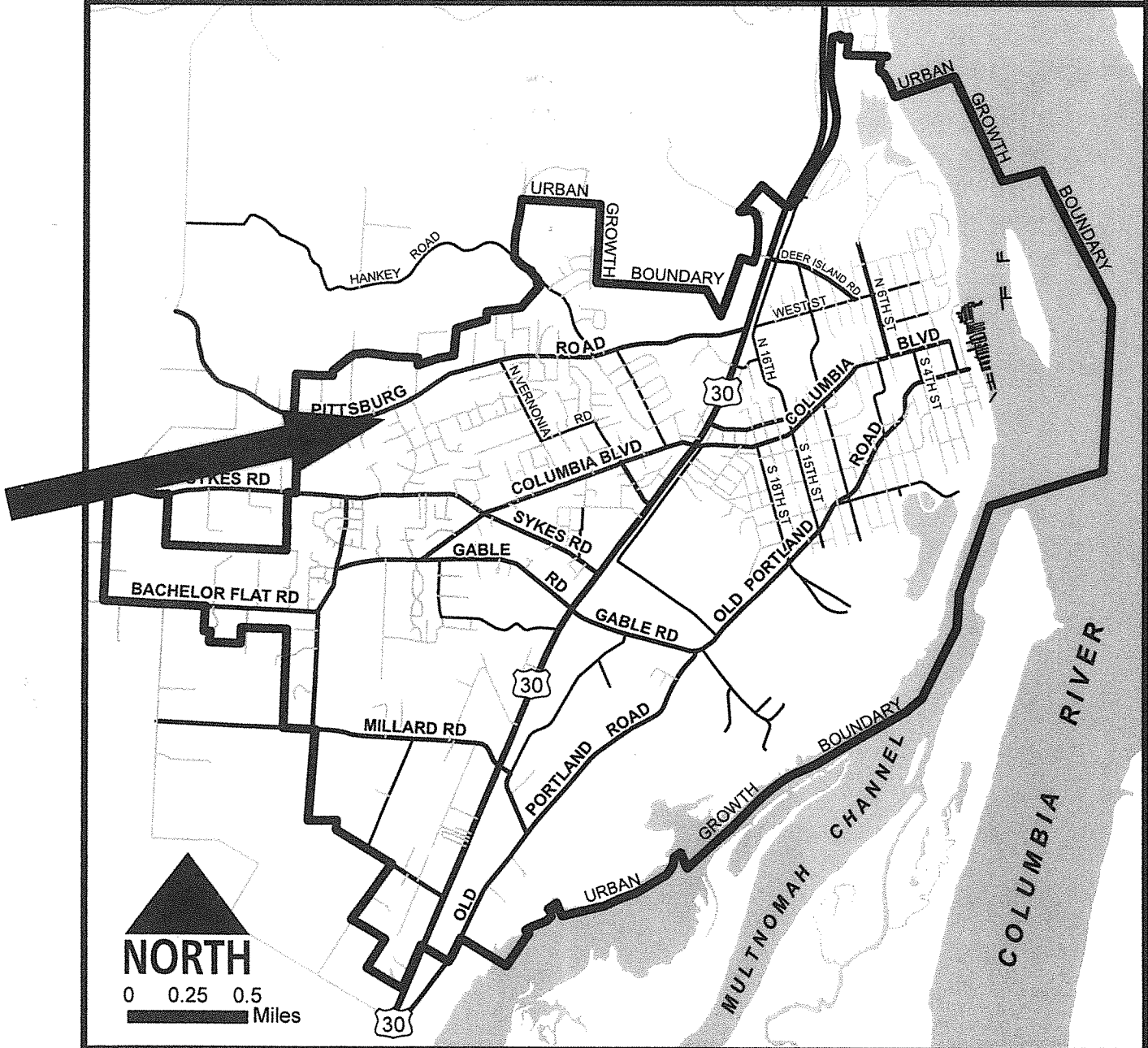
An access permit for the proposed and existing “first access point” is obtained from the County Road Department with the following required as conditions of approval from the City, in addition to any County requirements:

- a. The first 25 feet (depth) of the new driveway access shall be paved as required by SHMC17.80.050(10)(iii); and
 - b. The existing “second access point” shall be removed or rendered unusable for the subject property as approved by the City and County.
3. At the time of development of a new building that utilizes the subject property’s driveways, the existing gravel portion that remains if any (i.e., all areas used for the parking, storage, or maneuvering of an vehicle, boat, or trailer) shall be improved with asphalt or concrete as required by SHMC 17.80.050(10)(a).
 4. Because Pittsburg Road is a County facility, this Variance is contingent on County approval for access. For example, County denial of the access point approved by this Access Variance, shall render this Access Variance void.

Attachment(s): *Maps (2), Site Plan, Applicant’s narrative, Proposed Building Elevations*

SUBJECT PROPERTY

~ Approximate Location ~

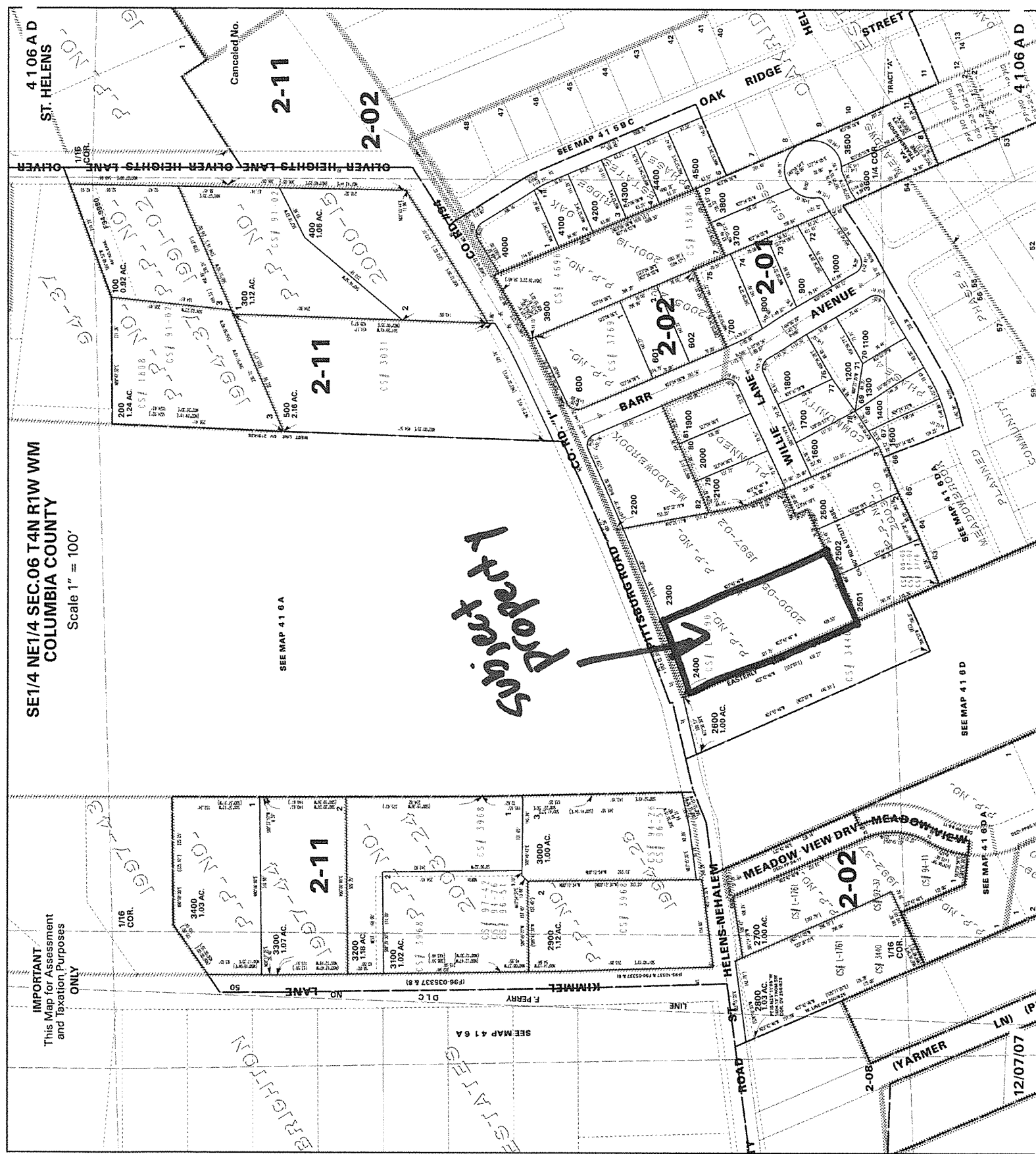


City of St. Helens Urban Growth Boundary Area Vicinity

SE1/4 NE1/4 SEC.06 T4N R1W WM
COLUMBIA COUNTY

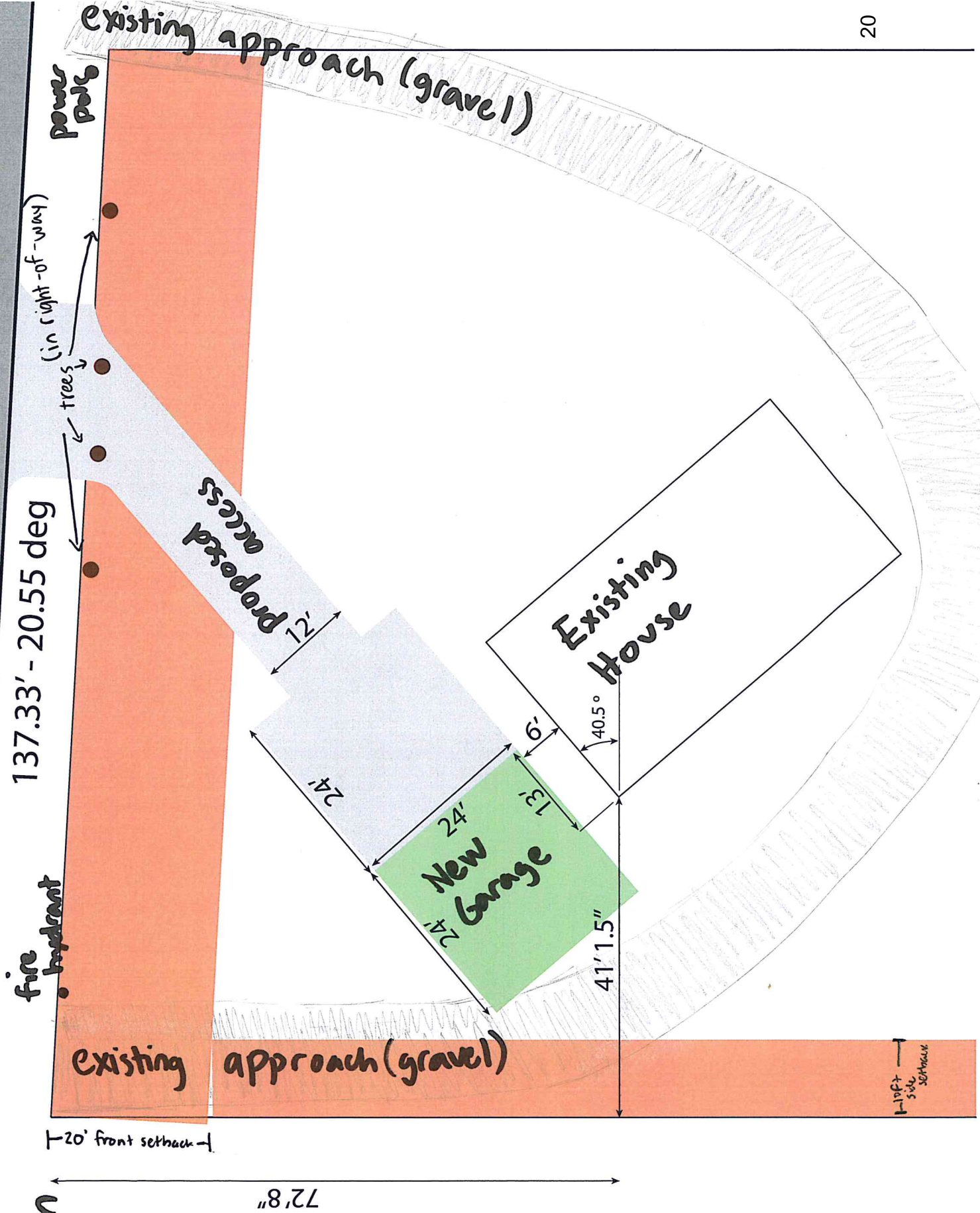
Scale 1" = 100'

IMPORTANT
This Map for Assessment
and Taxation Purposes
ONLY



Pittsburg Road

V.3.18
site plan



Applicant's Narrative

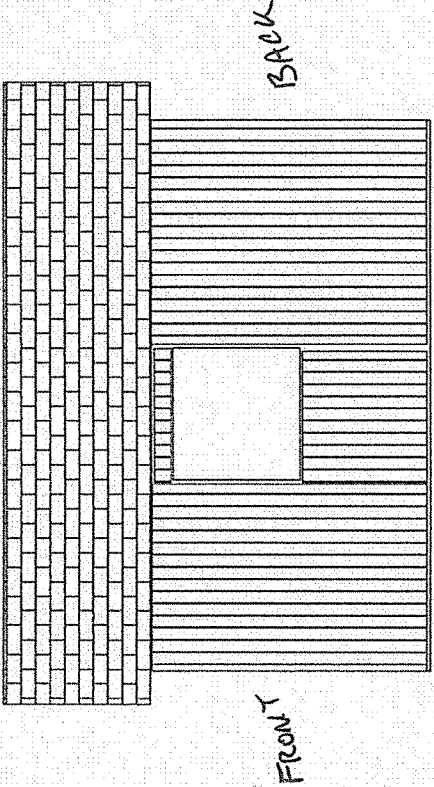
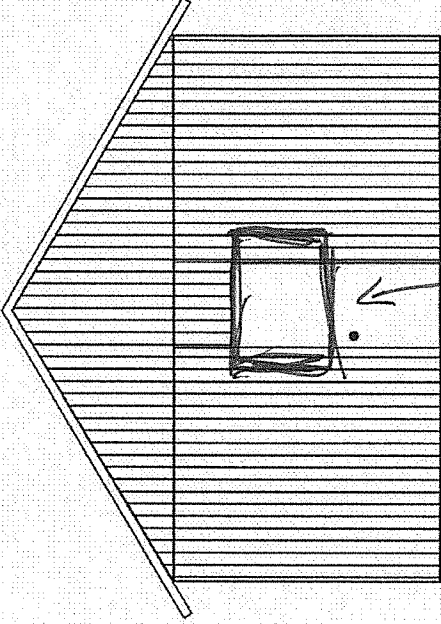
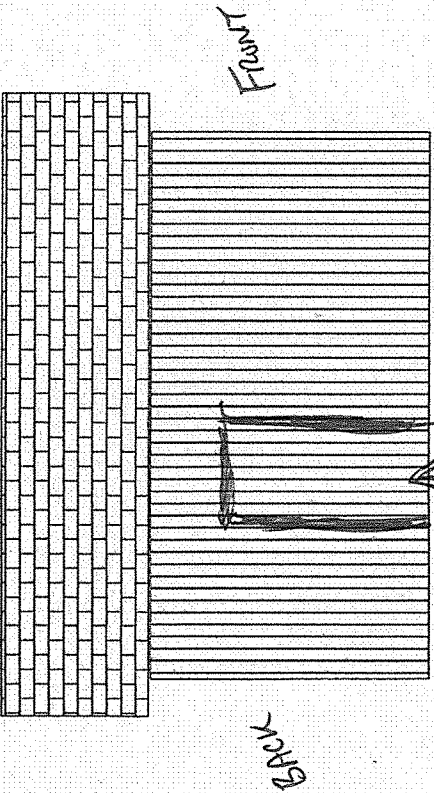
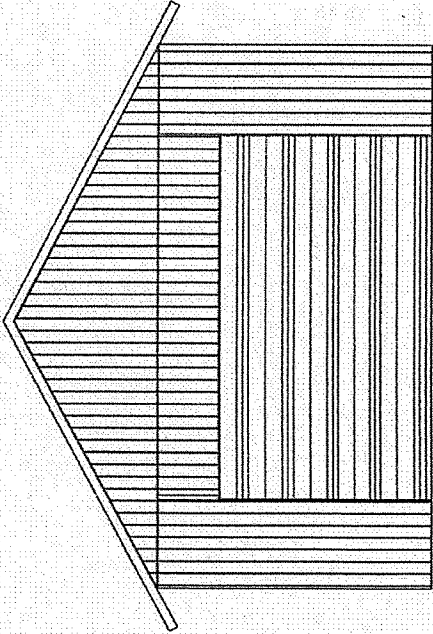
Approval standards – access variance (17.84.150)

Construct new garage and add driveway.

I would like to add a garage to the property. I would like this garage to align with the house, that is at an angle to the property. Adding this garage will not allow the current driveway to flow into the garage entrance. Adding the garage will remove the current driveway's ability to be used as a turn around. I would like to put in a new driveway and use the old driveway as an exit.

- 1) *It is not possible to share access*
 - There is no available shared access to the garage that is planned.
- 2) *There are no other alternative access points on the street in question or from another street*
 - Access to the property is currently from Pittsburg Rd. The new planned driveway will be also be from Pittsburg Rd.
- 3) *The access separation requirement cannot be met*
 - The access separation requirement of 200 feet is not currently met and can not be met. The north side of the property that is along Pittsburg Rd. is less than 140 feet and the neighbor to the east has a driveway right next to the property line.
- 4) *There are unique or special conditions that make strict application of the standards impractical*
 - Because of the angle of the current house, building a garage next to the house will not allow the current driveway to safely allow a vehicle to enter and exit.
 - Leaving the current driveway will allow a vehicle to leave without backing onto Pittsburg Rd.
 - The current driveway does not meet the 200 foot requirement
 - Adding a garage will remove the ability to pull in, turn around and leave without backing onto the road
- 5) *No engineering or construction solutions can be applied to mitigate the condition*
 - The angle of the house and the length of the property on Pittsburg Rd. make current standards impractical
- 6) *The request is the minimum variance required to provide adequate access*
 - If a new garage is built, a new driveway is needed to allow vehicles to safely enter and exit by way of the old driveway.
- 7) *The approved access or access approved with conditions will result in a safe access and will not result in the degradation of operations and safety integrity of the transportation system.*
 - The current driveway circles around the house and exits on the neighbor's property. Building a garage will remove access to the wrap around driveway (which we do not feel comfortable using as we have to drive onto the neighbor's property). The current driveway allows us room to pull in, then back up and leave the same way. Building a garage will remove the ability to back up and leave the same way. Building a new driveway will allow us to pull in by way of the new driveway and leave by way of the old driveway
- 8) *The visual clearance requirements of Chapter 17.76 SHMC will be met*
 - There will be a clear view of Pittsburg Road from both directions when pulling out of either the new or old driveway
- 9) *No variance shall be granted where such hardship is self-created*
 - The 200 foot requirement was never possible with this property. An extra drive-way is already present, the new one will only make access safer.

New Garage Proposed Elevations

<p>EXTERIOR ELEVATIONS</p> <p>S05</p>	<p>BUILDING CODE</p> <p>ORSC 2011</p>	<p>READY BUILD PLAN #2014-03</p> <p>PRESCRIPTIVE FRAME GARAGE</p> <p>24' x 24' x 10'</p>	<p>BUILDING CODES DIVISION</p> <p>1535 EDGEWATER STREET NW</p> <p>SALEM OR 97306 P.O. BOX 14470</p> <p>TEL: (503) 378-4133 FAX: (503) 378 2322</p>
<p>Side View</p> 	<p>Rear View</p> 		
<p>Side View</p> 	<p>Front View</p> 		

**CITY OF ST. HELENS PLANNING DEPARTMENT
STAFF REPORT
Conditional Use Permit CUP.2.18**

DATE: August 7, 2018
TO: Planning Commission
FROM: Jacob A. Graichen, AICP, City Planner

APPLICANT: Mark D. Grenz, PE of Muli/Tech Engineering Services
OWNER: Karl Ivanov of St. Helens Land Co., LLC

ZONING: General Commercial, GC
LOCATION: Lot 5, Matzen Subdivision; 4N1W-5DD-704
PROPOSAL: 204-unit multidwelling (apartment) complex with associated uses (e.g., recreation building) with a rental area within the recreation building.

The 120-day rule (ORS 227.178) for final action for this land use decision is November 17, 2018.

SITE INFORMATION / BACKGROUND

The site, Lot 5 of the Matzen Subdivision, is a portion of the former Violette's Villa mobile home park. Exactly when the use was established is unknown, but the assumption based on notes from previous code enforcement efforts (c. 2004) suggest it goes back to the late 1940's prior to any City zoning ordinance. The site is vacant today.

The site is more-or-less flat with a significant canopy of mature trees of varying species. Its surrounded on three sides by public rights-of-way as follows:

- **North: McBride Street** is improved but lacks any curb or sidewalk along the subject property. McBride Street is classified as a Local Street per the City's Transportation Systems Plan.
- **West: Matzen Street** is improved and lacks curb and sidewalk along the subject property. However, there is an asphalt path with boulders separating it from the road that acts as an interim nonvehicular passageway. Matzen Street is classified as a Collector Street per the City's Transportation Systems Plan.
- **South: The Brayden Street** right-of-way abuts the south side of the site. It is unimproved and classified as a Local Street per the City's Transportation Systems Plan. There are some utilities within this right-of-way, including a City water main and some pole mounted infrastructure.

These streets provide access. In addition, there is US30 (Columbia River Highway) access to the site via easements in the Matzen Subdivision.

On the east side the property abuts a property developed with a detached single family dwelling (165 McBride Street) and Lots 1 and 4 of the Matzen Subdivision. Lot 4 is undeveloped and Lot 1 is currently under development for an Approximate 21,500 square foot medical office building and related site development (see file SDR.1.18).

Otherwise and generally, there are residential neighborhoods to the north and west, a Motel 6 (formerly known as the Village Inn) to the south and commercial uses elsewhere.

PUBLIC HEARING & NOTICE

Hearing dates are as follows: August 14, 2018 before the Planning Commission.

Notice of this proposal was sent to surrounding property owners within 300 feet of the subject property(ies) on July 26, 2018 via first class mail. Notice was sent to agencies by mail or e-mail on the same date. Notice was published in the The Chronicle on August 1, 2018.

AGENCY REFERRALS & COMMENTS

As of the date of this report, no comments received.

APPLICABLE CRITERIA, ANALYSIS & FINDINGS

Deemed Complete Info: This application was originally received on May 15, 2018. Staff identified missing information or other aspects that rendered the application incomplete and notified the applicant of the issue pursuant to SHMC 17.24.050 on June 13, 2018. The applicant provided revised or new information and the application was deemed complete on July 19, 2018.

* * *

Permitting History: The subject property was the long time location of a mobile home park (see file SUB.3.17). Recently, a Subdivision Preliminary Plat was approved and recorded for this site and this proposal intends on occupying Lot 5 of the Matzen Subdivision (ref. file SUB.3.17).

This area was also recently rezoned to General Commercial, GC (Ordinance No. 3224) from Highway Commercial, HC. The zone change was requested to make this multidwelling unit project possible. Multidwelling units are not allowed in the HC zoning district.

Since the Matzen Subdivision has been recorded, Lot 5 is zoned GC in its entirety. The original property line (before the subdivision) didn't align with Lot 5. But Section 4 of Ordinance 3224 allowed the zoning to align with Lot 5 if the line was legally moved within one-year from the date the ordinance became effective, which was in April 2018. Recordation of the Matzen Subdivision was a legal method of changing the property line.

* * *

Zoning Compliance: The site is zoned General Commercial, GC. The main focus of this is the multidwelling unit proposal. But there is also a business rental area located within the proposed recreation building too (sheet A9.1), the proposed use of which is not stated by the applicant.

The business rental is possible if the use is permitted in the GC zone, it meets all Development Code standards, and the appropriate building code occupancy is established. Conditions are necessary for this.

Multidwelling units are a conditionally permitted use, thus this Conditional Use Permit. When multidwelling units are proposed in the GC zone, the standards of the Apartment Residential, AR zone apply.

Lot 5 of the Matzen Subdivision is to be 7.73 acres or 336,718.8 square feet. The density calculation is 5,000 s.f. for the first two units and 1,500 s.f. for each unit thereafter. Based on this up to 221 units are possible. 204 are proposed.

Minimum 20' yards (setback) are required along all public streets; plans comply.

Minimum 10' yard (setback) is required along the property lines that don't abut a public street; plans comply.

Storage is not an allowed use in the GC zone. The garage buildings have to be considered accessory structures. A condition is necessary for this. Accessory structures are required to meet the same yard requirements as principle buildings. **This is an important factor for the Commission to consider; see further details below.**

Maximum building height is 35 feet. The following types of buildings are proposed with their proposed heights:

- Several types of multidwelling unit buildings—all just under 35'
- A recreation building—approximately 32'
- A couple garage buildings—just under 14'
- Couple of gazebos—height not identified but plans do not suggest height noncompliance
- Covered parking (**no height details provided**)
- Bicycle rack shelters (**not proposed but required by the Commission—see below**)

Maximum lot coverage of buildings and structures is 50%. Proposal is well below at 20% per the applicant. **This was the same answer from the applicant provided with the initial set of plans that was submitted; the revised set (submitted July 19, 2018) added covered parking. As such, 20% is probably low and doesn't take into consideration all buildings and structures, but it appears to be less than 50%.**

For multifamily dwelling development, the standards of the AR zone defers to the Site Development Review chapter for minimum landscaping requirements; this is detailed further below.

This proposal includes the use of a portion of Lot 4 of the Matzen Subdivision for access. It does not approve anything more nor any new use. The only improvements allowed on Lot 4 will be for shared access and this limited improvement will be required on final development plans. Final development plans shall not show any development that has not been approved.

* * *

Sensitive Lands: There are no known sensitive lands as identified in the Development Code.

* * *

Density Computations: Given the recent Matzen Subdivision (file SUB.3.17), the net development area is well defined (size of Lot 5 as identified on the plat) given right-of-way dedications and such. The number of units permitted is addressed under zoning above.

* * *

Landscaping/buffering/screening: Street trees will be required for all abutting streets. Per condition 4 of SUB.3.17:

All street/right-of-way frontages abutting each lot shall be improved to City standards including but not limited to pavement widening, bike lanes as identified in the City's Transportation Master Plan, curb, gutter, landscape strip (as applicable) and sidewalk...

McBride Street and Brayden Streets are classified as “local” per the City’s Transportation Systems Plan. As such, street trees will be behind the sidewalk. Matzen Street is classified as a “collector” street and will have a landscape strip (with street trees) between the sidewalk and curb.

There is not overhead utility lines along the abutting streets that would restrict tree size to “small” trees per the code; tree spacing will be based on tree size per 17.72.035(2)(a)-(c).

Preliminary plans show large trees with an approximate 40’ spacing. This is the maximum spacing for large trees.

Tree location shall also comply with requirements per 17.72.035(2)(d)-(l). Final development plans will need to include these details.

Some existing trees to be preserved will work as street trees given their location, especially along McBride Street.

This chapter requires buffering. This applies in this case as follows:

- Site abuts R7 zoned property occupied by a detached single family dwelling (165 McBride Street). The normal requirement given the use and abutting parking areas (<50 spaces abutting in each area) is minimum 10’ of buffer plus screening.

Plans provided don't address specific buffering and screening from the abutting R7 zoned property, other than showing a 6' sight obscuring fence. **There is 15' of area to work with for the required buffer based on plans provided when the application was deemed complete.** Final development plans shall comply with Chapter 17.72 SHMC in this regard.

Note the applicant doesn't address the Development Code's buffering requirements properly. The applicant also states that a landscape plan has been provided to demonstrate how the standards have been met. No landscape plan has been provided other than a tree scheme.

Final landscape plans will be a requirement. **In regards to buffering, since the applicant didn't address this for Planning Commission or citizen consideration at the public hearing, the buffer shall comply with this chapter, with no "in lieu" standard allowed per SHMC 17.72.070(3).**

This chapter requires screening (unrelated to buffering above). This applies in this case as follows:

Because the parking lot will be greater than three spaces, it is required to be screened. For screening in this case, the City usually requires landscaping along the perimeter that includes a balance of low lying and vertical shrubbery and trees.

Plans provided do not address this; there is no full landscape plan provided. Buildings will block much parking area from surrounding street view, but not all. The landscaping parking lot "screening" requirement will be required on final plans where the parking areas are visible from surrounding streets.

Service facilities and equipment (e.g., HVAC and other mechanical unit) visible from a public street, customer or residential parking area, any public facility or residential area are required to be screened whether they are ground, wall or roof mounted. In addition, rooftop facilities and equipment are required to be screened from street and adjacent properties.

The applicant doesn't address this, other than noting that it will be included with the building permits. Screening required in all cases.

Swimming pools are required to be enclosed as required by the Building Code. A pool and hot tub are proposed in this case. The Building Code has barrier requirements to provide protection against drownings in swimming pools, spas and hot tubs. This will be addressed via building permitting.

Refuse container or collection area are required to be screened (e.g., trash enclosure). A trash enclosure is shown on the plans between buildings #9 and #10. **As discussed below, the adequacy of this location needs to be considered by the Commission.**

Interior parking lot landscaping. When off-street parking lots have more than 20 spaces, landscape islands are required with trees. Rows of parking spaces are not to exceed 7 spaces, generally. The "islands" are required to be no less than 48 square feet in area and no dimension

less than six feet. They are required to have a combination of groundcover and shrubs in addition to a tree, such that at least 50% of the island will be covered with living plants. They are also required to be protected from vehicular damage by some form of wheel guard or curb that is permanently fixed to the ground.

Plans reflect these standards, generally, showing the correct spacing (max row of parking spaces), and trees in the islands but need more detail, which will be required on final plans.

* * *

Visual Clearance: Chapter 17.76 SHMC requires proper sight distances at intersections to reduce traffic hazard potential. Plans provided show the vision clearance area for street-to-driveway intersections, demonstrating compliance.

Street-to-street intersections also appear to comply.

* * *

Off-Street Parking/Loading: Off street parking is required.

Dimension and type. There is a mix of standard spaces (min. size 9' x 18') and compact spaces (min. size 8' x 15').

Location. Parking spaces are required to be within 200' of building served. Off-street parking is distributed throughout the site. No space is further than 200' from any building.

Accessible (disabled person) spaces. Required to comply with State and Federal Standards. Per below, between 301-400 off-street parking spaces are proposed. This requires at least 8 accessible spaces, two of which are required to be van-accessible/wheelchair use only.

The plans only show 7 accessible spaces. One of the garages is proposed to be accessible, but because it is not a space open to any tenant, having garage requires an additional fee normally, it cannot count as one of the eight required accessible spaces.

Also, accessible parking spaces are required to be located on the shortest route to an accessible pedestrian entrance. Though this is a building code issue, it is relevant to site design.

Availability. Note that required parking spaces not to be rented, leased, or assigned to any other person or organization. This is important considering the garages are proposed to be used to help meet the off-street parking requirement.

They will almost certainly require an additional fee to use and not be useable by residents by default. It is likely that tenants who want additional covered area will pay. As such, this seems like a questionable approach. In this setting, it is inappropriate to include the garages as meeting off-street parking requirements.

Bicycle parking. 1 lockable space is required per dwelling unit. Bicycle spaces are required to be within 50' of primary entrances, under cover when possible, and not located in parking aisles, landscape areas, or pedestrian ways.

The applicant proposes to address this with two spaces per (and under) stairwell (4 per residential building, not the recreation building) and 8-space bike racks throughout the site. The applicant's plans notes 22 eight-space bike racks, but staff only identified 21 on the plans. $21 \times 8 + \text{the 34 under stairwells}$ is 202 and two bike spaces deficient.

A question for the Commission in this case is the "under cover when possible" requirements. Its "possible" if the Commission requires that each rack (not the spaces under stairwells) include a shelter. This project is of such a scale that this should be a requirement of the Commission. These shelters would be accessory structures.

Bike spaces are distributed throughout the site as required.

Number of off-street parking spaces required. For multidwelling units the number of off-street parking spaces required is as follows:

- Studio: 1 space per unit
- One bedroom: 1.5 spaces per unit
- Two+ bedrooms: 2 spaces per unit.

The breakdown of off-street parking requirement is as follows:

Of the 204 dwelling units proposed, there are the following types (for parking calculations):

- Studio: 36 units → requires 36 parking spaces
- One bed: 60 units → requires 72 parking spaces
- Two+ bed: 108 units → requires 240 parking spaces

Sub-total required: 348 (if rental area not included)

Also, two spaces are proposed for the recreation building which includes a rental area (see sheet A9.1).

Total required: 350 (if rental area is included)

Off-street parking is proposed as follows (per staff's evaluation of the plans separate from the applicant's narrative or plan notes):

- Standard → 224
- Compact → 92
- Disabled Person → 7
- Garages → 21 (one proposed to be for disabled, which is not allowed)

Total proposed**344**

If the additional parking is not required for the “business rental” identified on sheet A9.1, the proposal is 4-spaces deficient. Otherwise, it could be considered more deficient.

Also, if the Commission agrees that the garages shouldn’t count toward the off-street parking requirement, then the proposal is at least 25 spaces deficient.

Visitor parking is required at a rate of 15% of total, and is required to be centrally located or evenly distributed. 15% of 347 (proposed) or 350 (potential min. req.) is 52-53 spaces. 58 visitor parking spaces are shown. Of these, about 46 are compact; about 79% of total.

Up to 40% of required parking may be compact. If 348-350 off-street parking spaces are required, 139-140 may be compact. Less are proposed to be compact.

Does the Planning Commission think having the visitor parking be 79% compact is acceptable? This is almost twice the compact to standard space ratio allowed (40%). Looking at the non-visitor spaces (286), the remaining compact spaces (46) make up 16% of the total.

Also, does the Commission think the spaces are evenly distributed?

Compact and/or visitor off-street parking spaces shall be signed or labeled as such.

Aisle width. A minimum of 24’ width is required for two-way vehicular circulation. Plans comply.

Structured parking. Covered parking is proposed for some lots and 21 spaces are proposed to be garages (if allowed by the Commission; not recommended). Vehicle height clearance is required to be 7.5 feet on ground level parking. Proposed garages have doors just under this. No dimensional details of the covered parking was provided. This shall be a requirement for any covered parking.

Markings. All interior drives and access aisles are required to be marked and signed to indicate direction flow. Not reflected on plans; shall be required. All required off-street parking spaces are required to be clearly marked too.

Surface area. All areas used for parking, storage or maneuvering of vehicles (including things towed by vehicles) shall be paved. Plans do not indicate otherwise.

Wheel stops. Wheel stops are required along the boundaries of a parking lot, adjacent to interior landscape area, and along pedestrian ways. This applies to all proposed parking spaces in this case.

Drainage. Drainage plans will be required to prevent ponding, prevent water flow across pedestrian ways and to address pollutants from vehicles (e.g., oil/water separation). The applicant provided a preliminary drainage report

Lighting. Pole, post and building mounted lighting is proposed throughout. It is required to be directed to avoid glare from surrounding residences and roads/streets.

* * *

Access/egress/circulation: Joint access and reciprocal access easements. Joint access via easement is allowed by the code provided there is satisfactory legal evidence of such (e.g., easements) and the legal means of allowing the shared access is provided to the City.

Shared access was addressed, in part, as part of the Matzen Subdivision. The Subdivision itself included some access easements on Lots 1-4 and conceptual access for Lot 5. **Due to the proposed off-street parking spaces and access to the garages (access to them is required because they are supposed to be used for the residential tenants and direct vehicular access from Lot 5 is not provided) new legal means of access is necessary. The access agreement document (instrument no. 2018-5431) recorded with the Matzen Subdivision will need to be revised.**

Public street access. All vehicular access and egress per Chapter 17.84 SHMC is required to directly connect to a public or private street approved by the City for public use. Moreover, vehicular access is required to be within 50' of principle entrances.

The site abuts the following streets:

Street/Road Name	Public or Private	Street Class (TSP)	Jurisdiction	Improved?
McBride Street	Public	Local	City of St. Helens	Yes, partial; no sidewalks or other frontage improvements on the side of the subject property.
Matzen Street	Public	Collector	City of St. Helens	Yes, partial; no sidewalks or other frontage improvements on the side of the subject property.
Brayden Street	Public	Local	City of St. Helens	No.

The site utilizes these streets for access and brings vehicle access within the statutory distance of the primary entrance.

Vehicular access spacing, amount, etc. Three access points are proposed, one from each abutting public road. Location is acceptable in all cases. The number of access points is required to be minimized. Given the scale of the proposal, one drive per abutting public street is reasonable.

Pedestrian access (interior walkways) Within all attached housing and multifamily developments, each residential dwelling shall be connected by walkway to the vehicular parking area, and common open space and recreation facilities.

Walkways are provided throughout to achieve this requirement.

Where a site for proposed commercial, institutional, or multifamily development is located within at least one-quarter mile of an existing or planned transit stop, the proposed pedestrian circulation system must include a safe and direct pedestrian walkway from building entrances to the transit stop or to a public right-of-way that provides access to the transit stop.

Per the 2009 Columbia County Community-Wide Transit Plan, there is no transit stop within a quarter mile.

In parking lots one acre or larger, pedestrian walkways shall connect from buildings to sidewalks in the adjacent rights-of-way, and shall be provided at least every 150 feet between rows of parking.

Though larger than an acre, the parking area surrounds the building. This provisions is meant for large contiguous off-street parking lots.

Wherever required walkways cross vehicle access driveways or parking lots, such crossings shall be designed and located for pedestrian safety. Required walkways shall be physically separated from motor vehicle traffic and parking by either a minimum six-inch vertical separation (curbed) or a minimum three-foot horizontal separation, except that pedestrian crossings of traffic aisles are permitted for distances no greater than 36 feet if appropriate landscaping, pavement markings, or contrasting pavement materials are used. Walkways shall be a minimum of four feet in width, exclusive of vehicle overhangs and obstructions such as mailboxes, benches, bicycle racks, and sign posts, and shall be in compliance with ADA standards.

Several formal crossings are proposed. Pavement markings are proposed. No crossing is greater than 36 feet.

Required walkways shall be paved with hard-surfaced materials such as concrete, asphalt, stone, brick, etc. Walkways shall be required to be lighted and/or signed as needed for safety purposes. Soft-surfaced public use pathways may be provided only if such pathways are provided in addition to required pathways.

Paved walkways are proposed throughout. Lighting by them is proposed throughout.

As a collector street, site design that requires maneuvering or backing movements into Matzen Street is not allowed. Proposed design is acceptable.

Access requirements based on type and intensity of use. With 204 dwelling units, at least three accesses to a public street area required. Three are proposed in addition to access to US 30 via easement. They are required to be at least 24' in width and include curbs and minimum 5' sidewalk. The three direct (non US30) accesses meet this.

* * *

Signs: No signs are proposed at this time. New signs will require permits per Chapter 17.88 SHMC.

* * *

Solid Waste/Recyclables: Chapter 17.92 SHMC includes provisions for functional and adequate space for on-site storage and efficient collection of mixed solid waste and recyclables subject to pick up and removal by haulers.

The applicant did not address this chapter whatsoever.

Mulidwelling unit uses require 50 s.f. of space for this plus an additional 5 s.f. for each unit above 10. At 204 units, there are 194 above 10.

Thus 50 s.f. (for 1st 10 units) + (194 x 5) = 1,020 s.f. of area required.

Proposal as shown on the site plans (sheet SDR4) is about 20' x 44' or about 880 square feet, which is insufficient. On sheet SDR5 its shown as 25' x 45' or about 1,125. Plans are inconsistent.

A single location is proposed and allowed by the code, but the code also requires it to be in a central and visible location to enhance security for visitors. Proposed location is not central. This issue was identified to the applicant and their response is a letter from Hudson Garbage Service signed July 16, 2018.

Does the Planning Commission agree with this?

These enclosures are required to be enclosed by a minimum 6' high fence/wall/hedge with openings at least 10' wide which are capable of being secured in an open or closed position. Plans on Sheet SDR5 show this generally.

The storage/trash enclosure area is required to be designed to be easily accessible by trucks and equipment. A minimum 10' horizontal clearance and 8' vertical clearance is required (if covered). Plans on Sheet SDR5, show the horizontal clearance but not the vertical.

The storage/trash enclosure area is required to be placed such that backing out of a driveway onto a public street is not necessary. Current location does this. But, is the Planning Commission satisfied with the location per the other standards above?

* * *

Site Development Review:

Per SHMC 17.96.180(2)—Relationship to the Natural and Physical Environment:

(a) Buildings shall be:

(i) Located to preserve existing trees, topography, and natural drainage in accordance with other sections of this code;

- (ii) Located in areas not subject to ground slumping or sliding;
- (iii) Located to provide adequate distance between adjoining buildings for adequate light, air circulation, and fire fighting; and
- (iv) Oriented with consideration for sun and wind; and
- (b) Trees having a six-inch DBH (as defined by Chapter 17.132 SHMC) or greater shall be preserved or replaced by new plantings of equal character;

Trees are addressed further below and are the only noteworthy natural feature. The concern is if many revisions are required, how can the Commission make a positive finding on this. Is the Commission comfortable making a finding as to this issue, with a long list of plan revisions?

Per SHMC 17.96.180(3)—Exterior Elevations:

Along the vertical face of single-dwelling units – attached and multiple-dwelling unit structures, offsets shall occur at a minimum of every 30 feet by providing any two of the following:

- (a) Recesses (decks, patios, entrances, floor area, etc.) of a minimum depth of eight feet;
- (b) Extensions (decks, patios, entrances, floor area, etc.) of a minimum depth of eight feet, and maximum length of an overhang shall be 25 feet; and
- (c) Offsets or breaks in roof elevations of three or more feet in height;

Before the application was deemed complete staff noted that not all building types proposed met these standards and the narrative was vague. The applicant's revised application still didn't address specifics. Reviewing the plans by building type per each standard (a), (b) and (c):

Buildings 1, 5 and 6 (starting with Sheet A1.31)

- (a) Front elevation: is 99' long as has a >8' recess. But its approximately 50' wide. It meets the average of 1 per 30 feet.
Rear elevation: is 99' long. There is variation more than every 30 feet, but <8 feet.
- (b) Front elevation: is 99' long. Has two 4' extensions.
Rear elevation: is 99' long. Has extensions > than every 30 feet, but <8 feet in length.
- (c) Front elevation: There are two roof breaks, but the middle 1/3 lacks this.
Rear elevation: Roof offsets met.

Buildings 1, 5 and 6: Front elevation meets (a) only. Rear elevation meets (c) only.

Building 2 (starting with Sheet A2.31)

- (a) Front elevation: is 99' long as has a >8' recess. But its approximately 50' wide. It meets the average of 1 per 30 feet.
Rear elevation: is 99' long. There is variation more than every 30 feet, but <8 feet.
- (b) Front elevation: is 99' long. Has two 4' extensions

Rear elevation: is 99' long. Has extensions > than every 30 feet, but <8 feet in length.

- (c) Front elevation: There are two roof breaks, but the middle 1/3 lacks this.
Rear elevation: Roof offsets met.

Buildings 2: Front elevation meets (a) only. Rear elevation meets (c) only.

Buildings 3, 9 and 15 (starting with Sheet A3.31)

- (a) Front elevation: is 72' long as has a 8' recess split down the middle, for an offset at 36 feet (close to 30 feet).
Rear elevation: 72' long as has a 8' recess split down the middle, for an offset at 36 feet (close to 30 feet).
- (b) Front elevation: is 72' long. Has two 6' extensions.
Rear elevation: is 72' long. Has four 8 foot extensions (decks).
- (c) Front elevation: There are two roof breaks for a portion of each half.
Rear elevation: Roof offsets met.

Buildings 3, 9 and 15: Front elevation meets (a) and (c). Rear elevation meets (a), (b) and (c).

Buildings 4, 10, 11 and 12 (starting with Sheet A4.31)

- (a) Front elevation: is 104' long as has a 8' recess split down the middle, for an offset at 52 feet and not meeting the every 30 foot requirement.
Rear elevation: 104' long as has a 8' recess split down the middle, for an offset at 52 feet and not meeting the every 30 foot requirement.
- (b) Front elevation: is 104' long. Has two 6' extensions.
Rear elevation: is 104' long. Has four approximate 4 foot extensions (decks).
- (c) Front elevation: There are two roof breaks for a portion of each half, which doesn't meet the every 30' requirement.
Rear elevation: There are four roof breaks, which may meet the requirement.

Buildings 4, 10, 11 and 12: Front elevation meets none. Rear elevation may meet (c) only.

Building 16 (starting with Sheet A5.31)

- (a) Front elevation: is 106'6" long as has a 8' recess split down the middle, for an offset at 53'3" and not meeting the every 30 foot requirement.
Rear elevation: is 106'6" long as has a 8' recess split down the middle, for an offset at 53'3" and not meeting the every 30 foot requirement.
- (b) Front elevation: is 106'6" long. Has two 4' extensions.
Rear elevation: is 106'6" long. Has four approximate 4'6" extensions (decks).
- (c) Front elevation: There are two roof breaks for a portion of each half, which doesn't meet the every 30' requirement.
Rear elevation: There are four roof breaks, which may meet the requirement.

Building 16: Front elevation meets none. Rear elevation may meet (c) only.

Buildings 15 and 18 (starting with Sheet A6.31)

These buildings are not on the site plan! They were on the plans before the application was deemed complete and removed due to clear noncompliance with these provisions. Why were they left in the plan set?

Building 15 is addressed on sheet A3.31. Building 18 is the recreation building.

Building 7, 8 and 17 (starting with Sheet A7.41)

- (a) North elevation: is 88' long and as has a 8' recess split down the middle, for an offset at 44'. 88' is close enough to 90 feet, that three such offsets would be necessary to meet this.
South elevation: is 88' long and as has a 8' recess split down the middle, for an offset at 44'. 88' is close enough to 90 feet, that three such offsets would be necessary to meet this..
- (b) North elevation: is 88' long. Has two approximate 5'6" extensions.
Rear elevation: is 88' long. Has four 4' extensions (decks).
- (c) North elevation: There are two roof breaks for a portion of each half, which doesn't meet the every 30' requirement. They are also very small.
South elevation: There are four roof breaks, which may meet the requirement.

Buildings 7, 8 and 17: North elevation meets none. South elevation may meet (c).

Why did the applicant switch from "front" and "back" to "north" and "south" for these buildings only?

Buildings 13 and 14 (starting with Sheet A8.41)

- (a) Front elevation: is 97'8" long and has a 4' recess split down the middle, for an offset at approximately 49' and not meeting 8' depth or 30' requirement.
Rear elevation: is 97'8" long and has a 4' recess split down the middle, for an offset at approximately 49' and not meeting 8' depth or 30' requirement.
- (b) Front elevation: is 97'8" long. Has three extensions: the ground floor entry at 5 feet from building face and two decks at 2 feet from building face.
Rear elevation: is 97'8" long. Has three extensions: the ground floor entry at 5 feet from building face and two decks at 2 feet from building face.
- (c) Front elevation: There are two roof breaks for a portion of each half, which doesn't meet the every 30' requirement.
Rear elevation: There are two roof breaks for a portion of each half, which doesn't meet the every 30' requirement.

Building 13 and 14: Front elevation meets none. Rear meets none.

Summary:

Of the multi-dwelling unit buildings, only buildings 3, 9 and 15 meet the literal intent of this section. Unless the Planning Commission can determine that the intent of the law is met (e.g., promote interesting architecture), this is a problem.

The Commission needs to take caution here. These numeric standards are clear and objective. And in the residential regulation world, you are supposed to keep things clear and objective given the Fair Housing Act's prohibitions against discrimination (i.e., subjectivity provides a mechanism for denial if the decision body doesn't like the project). By not applying the literal standards, you could be muddying the intended clarity and objectivity of the code. Of course, in this case it would be to the benefit of the applicant. But what about others? What about future projects? This will be a very visible project in this community for decades (or longer); one easily observed by future multidwelling project developers.

Per SHMC 17.96.180(4)—Buffering, Screening, and Compatibility between Adjoining Uses:

- (a) Buffering shall be provided between different types of land uses (for example, between single-dwelling units and multiple-dwelling units residential, and residential and commercial), and the following factors shall be considered in determining the adequacy of the type and extent of the buffer:
 - (i) The purpose of the buffer, for example to decrease noise levels, absorb air pollution, filter dust, or to provide a visual barrier;
 - (ii) The size of the buffer required to achieve the purpose in terms of width and height;
 - (iii) The direction(s) from which buffering is needed;
 - (iv) The required density of the buffering; and

- (v) Whether the viewer is stationary or mobile;

Buffering between the R7 zoned property is addressed above.

Additional buffering should be considered between the General Commercial, GC zoned (subject) property and the Highway Commercial, HC property to the east.

Based on the plan submitted, the garages and sports court don't necessarily need a buffer; they provide a buffer. However, the area to the east of Building 12 is a concern. The units on that end will have their living room windows facing commercial development, though, given the access easement of the Matzen Subdivision (and as required herein), there should be a good swath of air, light and space. Its just that the air light and space will be asphalt or concrete.

Staff recommends extra treed landscape islands (in addition to the one per 7 spaces required by the parking chapter) amongst the parking spaces lying to the east of Building 12 to compensate. Or, not allowing off-street parking there, to be a buffer instead.

(b) On-site screening from view from adjoining properties of such things as service areas, storage areas, parking lots, and mechanical devices on rooftops (e.g., air cooling and heating systems) shall be provided and the following factors will be considered in determining the adequacy of the type and extent of the screening:

- (i) What needs to be screened;
- (ii) The direction from which it is needed;
- (iii) How dense the screen needs to be;
- (iv) Whether the viewer is stationary or mobile; and
- (v) Whether the screening needs to be year-round;

Screening is addressed elsewhere for most screening needs. In addition, the applicant proposes a 6' high sight obscuring fence between the sports court and Highway Commercial, HC zoned property, which is logical.

Per SHMC 17.96.180(5)—Privacy and Noise:

(a) Structures which include residential dwelling units shall provide private outdoor areas for each ground floor unit which is screened from view by adjoining units as provided in subsection (6)(a) of this section;

(b) The buildings shall be oriented in a manner which protects private spaces on adjoining properties from view and noise;

(c) Residential buildings should be located on the portion of the site having the lowest noise levels; and

(d) On-site uses which create noise, lights, or glare shall be buffered from adjoining residential uses (see subsection (4) of this section);

Patios are provided.

Per SHMC 17.96.180(6)—Private Outdoor Area – Residential Use:

(a) Private open space such as a patio or balcony shall be provided and shall be designed for the exclusive use of individual units and shall be at least 48 square feet in size with a minimum width dimension of four feet, and:

- (i) Balconies used for entrances or exits shall not be considered as open space except where such exits or entrances are for the sole use of the unit; and
- (ii) Required open space may include roofed or enclosed structures such as a recreation center or covered picnic area;
- (b) Wherever possible, private outdoor open spaces should be oriented toward the sun; and
- (c) Private outdoor spaces shall be screened or designed to provide privacy for the users of the space;

Balconies are provided.

Per SHMC 17.96.180(7)—Shared Outdoor Recreation Areas – Residential Use:

- (a) In addition to the requirements of subsections (5) and (6) of this section, usable outdoor recreation space shall be provided in residential developments for the shared or common use of all the residents in the following amounts:
 - (i) Studio up to and including two-bedroom units, 200 square feet per unit; and
 - (ii) Three- or more bedroom units, 300 square feet per unit;
- (b) The required recreation space may be provided as follows:
 - (i) It may be all outdoor space; or
 - (ii) It may be part outdoor space and part indoor space; for example, an outdoor tennis court and indoor recreation room;
 - (iii) It may be all public or common space; or
 - (iv) It may be part common space and part private; for example, it could be an outdoor tennis court, indoor recreation room and balconies on each unit; and
 - (v) Where balconies are added to units, the balconies shall not be less than 48 square feet;
- (c) Shared outdoor recreation space shall be readily observable for reasons of crime prevention and safety;

24 three bed units are proposed. The rest are less. As such the minimum required usable outdoor recreation required is: $(300 \text{ s.f.} \times 24) + (200 \text{ s.f.} \times 180) = 43,200$ square feet of usable outdoor space. Basically, about an acre needs to be usable open space.

The site provides much outdoor space and indoor recreation area. A pool, hot tub and sports court are also proposed. It appears there is at least an acre of usable open space.

However, as a detailed landscape plan has not been provided; this needs to be a condition of approval. For example, certain buffering requirements may render some open space “unusable.” “Usable open space” needs to be defined on final plans as to specific location and total area in addition to other landscape requirement (e.g., basic minimum requirements applicable to multidwellings).

Per SHMC 17.96.180(8)—Demarcation of Public, Semipublic, and Private Spaces – Crime Prevention:

- (a) The structures and site improvements shall be designed so that public areas such as streets or public gathering places, semipublic areas and private outdoor areas are clearly defined in order to establish persons having a right to be in the space, in order to provide for crime prevention and to establish maintenance responsibility; and
- (b) These areas may be defined by:
 - (i) A deck, patio, low wall, hedge, or draping vine;
 - (ii) A trellis or arbor;
 - (iii) A change in level;
 - (iv) A change in the texture of the path material;
 - (v) Sign; or

(vi) Landscaping;

Generally, the north, west and south sides will be well defined by the public streets. The property line between the R7 zoned property (165 McBride Street) will have buffering and a fence. The area between the sports court and Highway Commercial property will also have a fence.

The question here is the area between. How will this be addressed for the parking spaces immediately adjacent to and accessed via the Highway Commercial, HC zoned property and the garages (if the plan doesn't change for other reasons)? This needs to be addressed somehow.

Per SHMC 17.96.180(9)—Crime Prevention and Safety:

- (a) Windows shall be located so that areas vulnerable to crime can be surveyed by the occupants;
- (b) Interior laundry and service areas shall be located in a way that they can be observed by others;
- (c) Mail boxes shall be located in lighted areas having vehicular or pedestrian traffic;
- (d) The exterior lighting levels shall be selected and the angles shall be oriented towards areas vulnerable to crime; and
- (e) Light fixtures shall be provided in areas having heavy pedestrian or vehicular traffic and in potentially dangerous areas such as parking lots, stairs, ramps, and abrupt grade changes:
 - (i) Fixtures shall be placed at a height so that light patterns overlap at a height of seven feet, which is sufficient to illuminate a person;

There will be windows facing all directions. Lighting is proposed throughout. The mailbox area is next to an area that is anticipated to be well traveled and a light is proposed near it.

Postmaster needs to approve location (explained below); location is not certain.

Per SHMC 17.96.180(10)—Access and Circulation:

- (a) The number of allowed access points for a development shall be as provided in SHMC 17.84.070;
- (b) All circulation patterns within a development shall be designed to accommodate emergency vehicles; and
- (c) Provisions shall be made for pedestrianways and bicycleways if such facilities are shown on an adopted plan;

No issues.

Per SHMC 17.96.180(11)—Distance between Multiple-Family Residential Structure and Other:

- (a) To provide privacy, light, air, and access to the multiple and attached residential dwellings within a development, the following separations shall apply:
 - (i) Buildings with windowed walls facing buildings with windowed walls shall have a 25-foot separation;
 - (ii) Buildings with windowed walls facing buildings with a blank wall shall have a 15-foot separation;
 - (iii) Buildings with opposing blank walls shall have a 10-foot separation;
 - (iv) Building separation shall also apply to buildings having projections such as balconies, bay windows, and room projections; and

(v) Buildings with courtyards shall maintain separation of opposing walls as listed in subsections (11)(a)(i), (ii) and (iii) of this section for walls in separate buildings;

There is a 25' separation between buildings except as follows:

- There is only 20' between buildings 16 and 17. But there is 25' between windowed walls.
- There is only 20 feet between buildings 13 and 17. This one is close, but there is probably about 25 feet between opposing windows.
- There is less than 20 feet between buildings 11 and 12. But the windowed wall of building 12 faces a portion (that is <20') of building 11 without a window. It meets the 15' separation requirement.

(b) Where buildings exceed a horizontal dimension of 60 feet or exceed 30 feet in height, the minimum wall separation shall be one foot for each 15 feet of building length over 50 feet and two feet for each 10 feet of building height over 30 feet;

Generally, this is met.

(c) Driveways, parking lots, and common or public walkways shall maintain the following separation for dwelling units within eight feet of the ground level:

- (i) Driveways and parking lots shall be separated from windowed walls by at least eight feet; walkways running parallel to the face of the structures shall be separated by at least five feet; and
- (ii) Driveways and parking lots shall be separated from living room windows by at least 10 feet; walkways running parallel to the face of the structure shall be separated by at least seven feet;

The following buildings are contrary to these provisions:

- **Building 4:** Driveway is 9.5' from living room window (6" off standard).

The Commission could consider this ok, being so close and meeting the intent of the code.

- **Buildings 5, 8, 10 and 11:** Walkway is 5 feet from living room window (2' off standard).

The walkway is 6' in width. The Development Code standard is 4'. The Commission could find this acceptable as the "extra" sidewalk width makes up the difference.

- **Building 9:** Parking lot is approximately 9.5' from living room window (6" off standard). Also, the walkway is approximately 3.5 feet from living room window (3.5' off standard).

As with Building 4 The Commission could consider the first issue ok, being so close and meeting the intent of the code. For the second issue, the Commission could view the 6' sidewalk as reducing the "violation" by 2 feet, making the standard only 1.5 feet off.

1.5/7 is 0.2142. Even given that, it is still about 21% off the standard.

Per SHMC 17.96.180(12)—Parking:

All parking and loading areas shall be designed in accordance with the requirements set forth in SHMC 17.80.050 and 17.80.090; Chapter 17.76 SHMC, Visual Clearance Areas; and Chapter 17.84 SHMC, Access, Egress, and Circulation;

Parking addressed herein.

Per SHMC 17.96.180(13)—Landscaping:

- (a) All landscaping shall be designed in accordance with the requirements set forth in Chapter 17.72 SHMC; and
- (b) For residential use, in addition to the open space and recreation area requirements of subsections (6) and (7) of this section, a minimum of 15 percent of the gross area including parking, loading and service areas shall be landscaped;

The site size is 7.73 acres. 15% of that is 50,507 square feet or about 1.16 acres. This is the minimum area required to be landscaped. According the plans provided, there is about twice as much. This will need to be shown on final plans.

Per SHMC 17.96.180(14)—Drainage:

All drainage plans shall be designed in accordance with the criteria in the most current adopted St. Helens master drainage plan;

Drainage plan will be required.

Per SHMC 17.96.180(15)—Provision for the Handicapped:

All facilities for the handicapped shall be designed in accordance with the requirements pursuant to applicable federal, state and local law;

This will be addressed more thoroughly with building permit and engineering/construction plan review.

Per SHMC 17.96.180(16)—Signs:

All sign placement and construction shall be designed in accordance with requirements set forth in Chapter 17.88 SHMC;

Signs shall require permits as applicable.

Per SHMC 17.96.180(17):

All of the provisions and regulations of the underlying zone shall apply unless modified by other sections of this code (e.g., the planned development, Chapter 17.148 SHMC; or a variance granted under Chapter 17.108 SHMC; etc.).

No Variance has been applied for.

* * *

Conditional Use: Per SHMC 17.100.040(1):

(1) The planning commission shall approve, approve with conditions, or deny an application for a conditional use or to enlarge or alter a conditional use based on findings of fact with respect to each of the following criteria:

- (a) The site size and dimensions provide adequate area for the needs of the proposed use;
- (b) The characteristics of the site are suitable for the proposed use considering size, shape, location, topography, and natural features;
- (c) All required public facilities have adequate capacity to serve the proposal;
- (d) The applicable requirements of the zoning district are met except as modified by this chapter;
- (e) The supplementary requirements set forth in Chapter 17.88 SHMC, Signs; and Chapter 17.96 SHMC, Site Development Review, if applicable, are met; and
- (f) The use will comply with the applicable policies of the comprehensive plan.

(a) This criterion requires that the site size and dimensions provide adequate area for the needs of the proposed use.

The site is large, fairly square, and generally flat. This lends itself well to a project like this.

(b) This criterion requires that the characteristics of the site be suitable for the proposed use.

The site has good access and, given this proposal, will be a land use transition between the highway commercial lands and R7 lands to the west.

(c) This criterion requires that public facilities have adequate capacity to serve the proposal.

There is no evidence to the contrary.

(d) This criterion requires that the requirements of the zoning district be met except as modified by the Conditional Use Permit (CUP) chapter.

The CUP chapter does not include additional requirements or exceptions specific to multidwelling proposals.

(e) This criterion requires analysis of the sign chapter and site design review chapter.

This is addressed herein.

(f) This criterion requires compliance with the applicable policies of the Comprehensive Plan.

There are no known conflicts with the Comprehensive Plan.

SHMC 17.100.040(3) - CUP Approval standards and conditions

(3) The planning commission may impose conditions on its approval of a conditional use, which it finds are necessary to ensure the use is compatible with

other use in the vicinity. These conditions may include, but are not limited to, the following:

- (a) Limiting the hours, days, place, and manner of operation;
- (b) Requiring design features which minimize environmental impacts such as noise, vibration, air pollution, glare, odor, and dust;
- (c) Requiring additional setback areas, lot area, or lot depth or width;
- (d) Limiting the building height, size or lot coverage, or location on the site;
- (e) Designating the size, number, location, and design of vehicle access points;
- (f) Requiring street right-of-way to be dedicated and the street to be improved;
- (g) Requiring landscaping, screening, drainage and surfacing of parking and loading areas;
- (h) Limiting the number, size, location, height, and lighting of signs;
- (i) Limiting or setting standards for the location and intensity of outdoor lighting;
- (j) Requiring berming, screening or landscaping and the establishment of standards for their installation and maintenance;
- (k) Requiring and designating the size, height, location, and materials for fences; and
- (l) Requiring the protection and preservation of existing trees, soils, vegetation, watercourses, habitat areas, and drainage areas.

Discussion: These are items the Commission may consider for this proposal. There are at least a couple things not specifically mentioned above that the Commission could consider:

First, the proposed garages. If we consider the City's accessory structure rules (see below) and maintain the maximum accessory structure size, that will break up the buildings as proposed. Because storage as a principle use is not allowed and the garages are required to be for the tenants, it makes sense that they be distributed throughout the site and not concentrated in one area to the side of the site.

Another option for the garages is to prohibit them all together. This would help preserve open space and natural features, allow room for the deficient off-street parking (assuming the Commission agrees they shouldn't count towards that) and guarantee they won't be rented/leased to non-tenants. Since they are not required by the City's code, eliminating them will only help achieve compliance with some of the shortcoming explained herein.

Second, the required treed parking lot landscape islands. This the island per 7 spaces requirement explained above. The concern is having the island with a parking canopy immediately adjacent to either side will create maintenance issues (and a potential greater tendency for future management to want to remove the trees) and crowd the tree.

That said, it would be wise to require that at least each parking space adjacent to these treed landscape parking lot islands, not be covered. This may promote better distribution of visitor parking, which is questionable in the current plans.

* * *

Accessory Structures: The proposed principle use is a 204 unit multidwelling complex. Some accessory structures are proposed: garage structures, gazebo, carports and **bike rack shelters (if required by the Commission)**.

Maximum size allowed: Maximum *gross floor area* (GFA) allowed for an accessory structure in a residential zone depends on property size. The maximum GFA is 600 unless the property (lot or parcel) it is proposed on is at least 2½ acres in size. The property is approximately 7.73 acres in size, which increases the maximum size allowed to 1,000 GFA (assuming it treated as residential).

The property is zoned General Commercial, GC, but the accessory structures are accessory to multi-dwelling units being reviewed by the Apartment Residential, AR standards. In the GC zone, multidwelling units fall under the AR standards.

How does the Commission want to handle this? If you treat as residential, the maximum size for an accessory structure would be 1,000 square feet. This would impact the proposed garages which are about 2,000 and 2,400 square feet. Staff believes they need to be treated as residential accessory structures.

Lot coverage: Accessory structures cannot exceed the coverage allowed combined with the principle structures/buildings. This looks ok. Final plans would need to include total building footprint coverage.

Yard requirements: the yard (setback) requirements of the zoning district are required to be met. The accessory structures meet the proper yard requirements.

Architectural requirements: The style and exterior materials are required to be similar as the principle building and the roof pitch of the accessory building is required to be the same as the principle building if the accessory building exceeds 15 feet in height.

- Gazebo: ok
- Garages: ok
- Carports: The applicant provided a rendering of the carports. They are anticipated to be <15 in height. **Does the Commission think the carports have enough architectural similarity to the principle buildings?**
- Bicycle rack shelters **(not proposed but required by the Commission—see above)**. Would need to comply; how does the Commission want to handle this?

* * *

Tree Removal/Preservation:

Chapter 17.132 SHMC addresses the preservation of trees with a diameter at breast height (DBH) >12 inches. Protection is preferred over removal per this Chapter and Site Development Review Chapter 17.96 SHMC.

A tree plan was submitted with the Matzen Subdivision application, which identified 277 trees on the proposed Lot 5. Now that the subdivision has been recorded, Lot 5 is smaller given some right-of-way dedication along Brayden Street on the south side. The tree plan provided with this Conditional Use Permit identifies 275 trees (consistent with the plan provided with the subdivision), less two trees as a result of the right-of-way dedication.

It also looks like a large oak needs to be removed for the garages which are unnecessary to meet the minimum standards of the St. Helens Development Code which is contrary to this chapter and the SDR section, provided the Planning Commission determines that they are inappropriate for meeting off-street parking requirements.

22 trees are proposed to be preserved, mostly along McBride Street, with one along Brayden Street and a few in the center of the property.

Since less than 50% of these trees will be kept, the number lost is required to be replaced at a 2:1 ratio. This equates to needing 506 new trees.

The schematic landscape plans provide shows maybe half of that. Showing all will be a requirement of the final landscape plans.

A protection program by a qualified professional defining the standards and methods that will be used to protect the existing trees to be preserved is required. This shall be on or with the Building Permit plan set to ensure contractors and others follow the tree protection plan during site development.

* * *

Street/Right-of-Way Standards: Per condition 4 of SUB.3.17 (applicable excerpts):

All street/right-of-way frontages abutting each lot shall be improved to City standards including but not limited to pavement widening, bike lanes as identified in the City's Transportation Master Plan, curb, gutter, landscape strip (as applicable) and sidewalk...

South Road-Maplewood Drive (proposed as Brayden Street) shall be built to local street standards (half street improvements + 12')...

The intersection improvements per condition 2 shall be completed as part of development of lot 5.

Condition 2 requires alignment of the the Matzen Street/Maplewood Drive and Matzen Street/Brayden Street) intersections. Shall include street lighting to illuminate the intersection.

Street lights shall be required at each intersection and at such locations to provide overlapping lighting to sufficiently illuminate the street and public passageways. Existing lighting may require upgrading where warranted.

All streets are underdeveloped. Brayden Street is undeveloped. All will need to be improved with frontage improvements per their classification. The Matze Street/Maplewood Drive/Brayden Street intersection will need to be improved as well.

In regards to street lighting. There is already a light at the McBride Street/Matzen Street intersection. There is no light at the other abutting intersection.

Street signs are installed by the City at the expense of the developer.

* * *

Utility Standards:

Water: Water is available along all abutting streets. A water main extension is proposed within the property. Some proposed main extensions are identified on the plans within Brayden Street. This will necessitate engineering plans and easements.

Sanitary Sewer: Sanitary sewer is available along McBride, Matzen and the US30 end of Brayden Street. Some proposed main extensions are identified on the plans within Brayden Street. Any extension/modification of public lines necessitates engineering plans. Maybe easements depending on final plans, though it appears the applicant intends on using public right-of-way for public sanitary sewer mains.

Storm Sewer: There is storm sewer infrastructure within the Matzen and McBride Streets rights-of-way. Some proposed main extensions are identified on the plans within Brayden Street. Engineering plans will be required along with easements as necessary.

Other: new utilities are required to be underground.

* * *

Trails/bikeways: There is no identified trail. As a Collector, Matzen Street is required to have a bike lane.

* * *

Traffic Impact Analysis: The proposal is large enough that a TIA is required. ODOT reviewed an initial version and required revisions.

The City already reviewed a development proposal for Lot 1 of the Matzen Subdivision for an approximate 21,500 medical office building (file SDR.1.18). The project resulted in 764 daily

trips, 51 AM peak hour trips and 77 PM peak hour trips and included some US30/Gable Road intersection impact. The culprit for the impact was the PM peak.

The TIA for this proposal indicates 1,493 daily trips with 94 AM peak and 114 PM peak trips.

Acceptable function of City controlled intersections is based on level of service (LOS), where intersections are graded “A” – “F.” The analysis provided indicates that city controlled intersections will have a LOS of “A” or “B” and within an acceptable range.

Intersections under ODOT (State) jurisdiction within the TIA study area have a mobility target measured by a volume/capacity ratio (V/C) of 0.85. Not surprising, there is a problem with the v/c ratio for the US30/Gable Road intersection, where the PM peak has a v/c of 0.995.

As a comparison, the office building (file SDR.1.18) had a PM peak v/c ratio of 0.87. That TIA indicated today's PM peak v/c is 0.85.

The worst movement at this intersection is the westbound right turn.

In the City's Transportation Systems Plan, there is a long term improvement (Project L01 in Table 7-7 in the City's 2011 TSP) to install a westbound right-turn lane. This project has an estimated cost of \$485,000 (c. 2011 dollars).

The applicant shall be required to pay a proportionate share of the cost of the westbound right-turn lane at this intersection. The project cost shall be based on the estimated cost in the TSP with inflation to current. Note that 29.5% of this cost is SDC creditable.

* * *

Other Considerations: Pursuant to SHMC 17.152.030(22) joint mailbox facilities are required to be provided in residential developments.

Joint mailbox facilities are required to be shown on preliminary plans and be approved by the City and US Post Office (Postmaster) prior to final plan approval. An accessible route is required.

No Postmaster input has been sought by the applicant.

Public trees, including those within public rights-of-way are protected. Pursuant to SHMC 8.12.090 no person shall remove trees within public places (including public rights-of-way) without first obtaining permission from the City. The original tree inventory provided by the applicant included trees on a property not involved with this proposal. The revised plan omitted those, but also omitted the trees within Matzen Street/Brayden Street right-of-way (just beyond the SW corner of the site). Trees that do not need to be removed for the intersection improvements here shall be preserved.

* * * * *

CONCLUSION & RECOMMENDATION

Based on the facts and findings herein, if the Planning Commission approves this Conditional Use Permit, staff recommends the following conditions:

Note: text in blue is not a proposed condition, but commentary to help the Commission navigate this decision.

1. This **Conditional Use Permit** approval is valid for a limited time (to establish the use) pursuant to SHMC 17.100.030. This Conditional Use Permit approval is valid for 1.5 years. A 1-year extension is possible but requires an application and fee. If the approval is not vested within the initial 1.5 year period or an extension (if approved), this is no longer valid and a new application would be required if the proposal is still desired. See SHMC 17.100.030.
2. The following shall be required prior to any development or building permit issuance:
 - a. Final plans as submitted with any development or building permit(s) shall comply with the plans submitted with this Conditional Use Permit with the following additions and/or corrections:
 - A. Identify total footprint area of all buildings and structures.
 - B. Improvements to Lot 4, Matzen Subdivision. See condition 4. Improvements not approved by the City (e.g., conceptual improvements for future development of Lot 4) shall not be shown.
 - C. Street trees in location based on street classification. Tree spacing will be based on tree size per 17.72.035(2)(a)-(c). Tree location shall also comply with requirements per 17.72.035(2)(d)-(l); plans shall include the details necessary to evaluate these standards. Existing trees to be preserved shall be accounted for, with new street tree placement as appropriate.
 - D. Buffering from the R7 zoned property address as 165 McBride Street as prescribed by Chapter 17.72 SHMC. The “in lieu” option per SHMC 17.72.070(3) shall not be allowed.
 - E. Landscaping consisting of a balance of low lying and vertical shrubbery and trees to “screen” the off-street parking areas visible from surrounding streets.
 - F. As per condition 5.
 - G. As per condition 6. All standards of Chapter 17.92 SHMC shall be addressed. Plans shall be consistent.

Does the Commission think the location meets the code’s requirement that the trash collection area be in a central and visible location to enhance security for visitors? If not, an added condition could be added here for relocation. If relocation was a

consideration, the Commission should consider a location that is as equidistant from all buildings as possible (to meet the *centrally located* part of requirement).

- H. Landscaping of parking lot “islands” per SHMC 17.72.140. They are required to have a combination of groundcover and shrubs in addition to a tree, such that at least 50% of the island will be covered with living plants.
- I. The minimum an amount of accessible (disabled person) spaces shall be included. *The proposed garages cannot be used for this.*
- J. At least the minimum off street parking. *Proposed garages shall not count as off-street parking.*

Does the Commission think having the visitor parking be 79% compact is acceptable? Up to 40% of all spaces may be compact and this would make the non-visitor spaces only 16% compact. If the Commission wants a better distribution of compact spaces, we would add that here.

Also, does the Commission think the visitor parking is evenly distributed? If not, we would add that here too.

- K. At least the minimum bike parking. *All outside bike racks (not the spaces proposed under stairwells) shall include a shelter. Bike rack shelters shall comply with Chapter 17.124 SHMC.*
- L. In addition to normal parking space markings, compact and/or visitor off-street parking spaces shall be signed or labeled as such. Plans shall indicate method.
- M. Any covered off-street parking shall have a vehicle clearance of at least 7.5 feet.
- N. All interior drives and access aisles are required to be marked and signed to indicate direction flow.
- O. All multidwelling buildings shall comply with SHMC 17.96.180(3), regarding exterior elevations. The plans shall be accompanied by a narrative that explicitly explains how each and every building type meets this. It shall detail which of the standards are being met and how.

As explained in this report, only buildings 3, 9 and 15 technically meet this standard. Three out of 17 is a mere 18%. If the Commission feels the proposal meets the intent of this provision, then this condition can be removed. If not, the Commission could either make as condition as written here, ask for revisions to be reviewed by the Commission at a later meeting, or deny the request.

Please note that staff identified this issue to the applicant with the incomplete application letter dated June 13, 2018 noting that the narrative is vague and doesn't

specifically explain how the various building types comply. The revised plans, submitted to the City on July 19, 2018, replaced a couple buildings but the narrative was still vague as to this issue for all buildings. This was a one month time span. If there is a continuance for this or another issue that requires revised plans, it should be for at least two months.

- P. Additional vegetative buffering between the subject property and Highway Commercial property to the east. **This shall....???**

This one is challenging because it depends on much. If the conditions of the Commission will not result in substantial changes the second sentence could read:

This shall include at least three evenly spaces landscape islands per SHMC 17.72.140 amongst the parking spaces lying to the east of Building #12. The trees for these shall be a species that will achieve a mature height of at least 35 feet.

Or, the Commission could prohibit the parking lying east of Building 12 and requiring buffering per Chapter 17.72 SHMC instead.

This also relates to SHMC 17.96.180(8), where site improvements are clearly defined as to public, semi public and private areas. It could be argued that having the off-street parking spaces lying to the east of building #12 only creates confusion unless some treatment is done? See condition 2.a.R too.

- Q. “Useable open space” per SHMC 17.96.180(7) shall be defined as to location and total area to demonstrate compliance. This is addition to other landscaping requirements.

- R. This is a placeholder for a potential condition...

How does the Commission want to address SHMC 17.96.180(8), where site improvements are clearly defined as to public, semi public and private areas. It could be argued that having the off-street parking spaces lying to the east of building #12 only creates confusion unless some treatment is done?

Also, how will it be clear that the garages are part of the multidwelling complex if there is no direct vehicle access from Lot 5?

Maybe signage that identifies the parking spaces and garage access? Or prohibiting those parking spaces and the garages in that configuration all together?

- S. All standards of SHMC 17.96.180(11) shall be met.

Is the Commission ok having the 6’ wide sidewalk make up the difference (see explanation under this section above). This is the most common issue with the plans and this standard.

Is the Commission ok with the circumstances that are only 6" off. (see explanation under this section above).

If the Commission is ok with these two aspects, than the only issue, based on the site plan for review (assuming no major changes for other reasons) is #9 (see explanation under this section above).

If the Commission finds that only building #9 is an issue, we could rewrite this condition to be more specific to that.

T. At least 50,507 square feet of total landscaping is required. This shall be identified on final plans. Total overall landscaping area shall be indicated in addition to other details necessary to demonstrate compliance.

U. Proposed garages shall not exceed 1,000 gross floor area each and shall be centrally located or evenly distributed so as to be as equidistant as possible from all multidwelling buildings.

The Commission may also want to prohibit the garages. In that case, this condition would read: Proposed garages shall be prohibited.

V. Off-street parking spaces adjacent to parking lot "islands" per SHMC 17.72.140 shall not be covered.

W. This is a placeholder if the Commission feels the proposed parking lot canopy structures do not meet the accessory structure standards of having similar style and materials as the principle buildings. If the Commission thinks its ok, we can just delete this.

X. Tree replacement as required by Chapter 17.132 SHMC.

Y. A protection program by a qualified professional defining the standards and methods that will be used to protect the existing trees to be preserved is required. This shall be on or with the development and/or building permit plan set(s) to ensure contractors and others follow the tree protection plan during site development. This includes trees on private property and trees that existing within public rights-of-way (i.e., public trees).

Z. Joint mailbox facilities are required to be shown on preliminary plans and be approved by the City and US Post Office (Postmaster) prior to final plan approval. An accessible route is required.

b. Engineering construction plans shall be submitted for review and approval addressing all public improvements including but not limited to:

- A. All abutting streets shall be improved to City standards including but not limited to pavement widening, bike lanes as identified in the City's Transportation Master Plan, curb, gutter, landscape strip, and sidewalk.
 - B. In addition to condition b.A, Brayden Street shall be built to local street standards; half street improvement plus a 12' travel lane.
 - C. In addition to conditions b.A and b.B, the Maplewood/Matzen Street/Brayden Street intersection shall be improved to City standards. Maplewood Drive and Brayden Street shall be aligned. Street lighting shall be included to illuminate this intersection.
 - D. In addition to conditions b.A-b.C above street lights shall be required at such locations to provide overlapping lighting to sufficiently illuminate the street and public passageways. Existing lighting may require upgrading where warranted.
 - E. All City utility line extensions/modifications.
- c. A drainage and stormwater plan shall be submitted that addresses any increase in runoff from the site and how the potential impacts will be mitigated. Plans shall include oil/water separation.
 - d. The access and maintenance agreement recorded with the Matzen Subdivision (instrument no. 2018-5431) shall be revised as necessary based on approved plans. This shall be subject to City review and approval prior to recoding with the County Clerk. This condition is not satisfied until approved document is recorded.
 - e. The applicant shall provide easement legal descriptions per City specifications for all proposed public infrastructure within the subject property. This includes but is not limited to the proposed water main extension. Legal descriptions shall be based on approved engineering construction plans.
 - f. Applicant shall pay their proportional share, based on project impact, of project L01 in Table 7-7 in the City's 2011 TSP (as explained herein). The project cost shall be based on the estimated cost in the TSP with inflation adjustment to current value. Note that 29.5% of this cost is System Development Charge creditable.
3. The following shall be required **prior to** Certificate of Occupancy by the City Building Official:
 - a. All improvements necessary to address the requirements herein, and in accordance with approved plans, shall be in place. This includes all street and intersection improvements.
 - b. Easements for all proposed public infrastructure within the subject property shall be recorded as approved by the City.

4. This CUP does not allow or approve any use of Lot 4 of the Matzen Subdivision. It may allow improvements to Lot 4, limited to shared access reasons for the development of Lot 5 only.
5. Service facilities such as gas meters and air conditioners which would otherwise be visible from a public street, customer or resident parking area, any public facility or any residential area shall be screened, **regardless if such screening is absent on any plan reviewed by the City. This includes but is not limited to ground mounted, roof mounted or building mounted units.** See SHMC 17.72.110(2).
6. Any refuse container or refuse collection area visible from a public street, parking lot, residential or commercial area, or any public facility (e.g., school or park) shall be screened or enclosed from view by a solid wood (or otherwise sight-obscuring) fence, masonry wall or evergreen hedge.
7. The business rental within the recreation building shall only be used for a use related to the multidwelling complex and/or a permitted use in the General Commercial, GC zoning district. The City reserves the right to require permitting for any use of this.
8. Garages shall only be available for use by tenants of the multidwelling complex. Mini storage is prohibited in the GC zoning district. Use by non-tenants would mean this use is not secondary or incidental to the multidwelling complex and thus illegal.

If the Commission prohibits the garages, this condition can be deleted.

9. Any artificial lighting of the site shall be designed such that there will be no glare into nearby public rights-of-way or residences.
10. Any new sign requires a sign permit prior to installation, pursuant to Chapter 17.88 SHMC.
11. Any new utilities shall be underground.
12. Pursuant to SHMC 8.12.090 no person shall remove trees within public places (including public rights-of-way) without first obtaining permission from the City.
13. Any requirement of the Fire Marshall as it applies to this proposal shall be met.
14. Owner/Developer shall be solely responsible for obtaining all approvals, permits, licenses, and authorizations from the responsible Federal, State and local authorities, or other entities, necessary to perform land clearing, construction and improvement of the subject property in the location and manner contemplated by Owner/Developer. City has no duty, responsibility or liability for requesting, obtaining, ensuring, or verifying Owner/Developer compliance with the applicable State and Federal agency permit or other approval requirements. This land use approval shall not be interpreted as a waiver, modification, or grant of any State or Federal agency or other permits or authorizations.

15. Owner/applicant and their successors are still responsible to comply with the City Development Code (SHMC Title 17).

* * * * *

Attachment(s): Site plans received July 19, 2018 (sheets SDR1 – SDR9 and L1.1 – L1.4)

Utility/infrastructure plans received July 19, 2018 (sheets 101-901)

Building floorplan and elevation plans received July 19, 2018 (sheets A1.31-A11.1)

Application narrative received July 19, 2018

Conditional Use narrative received July 19, 2018

Depiction of carports received July 26, 2018

Preliminary drainage report dated April 27, 2018

Pages 2 and 3 of the Traffic Impact Analysis received July 19, 2018

Letter from Hudson Garbage Service received July 19, 2018

Exhibit B from Inst. No 2018-5431 Columbia Co. Clerk Records

Trees within the Maplewood/Matzen/Brayden Intersection

Owner / Developer:

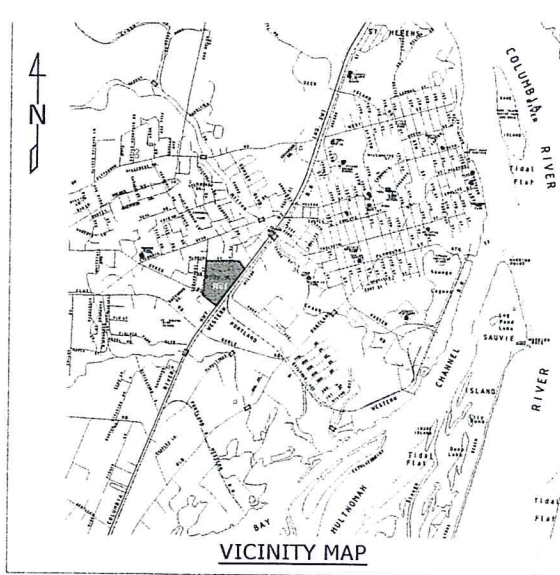
ST. HELENS LAND COMPANY, LLC

9550 SE CLACKAMAS RD.
CLACKAMAS, OR 97015
(503) 655-7933
KARL@IECON.US

ST. HELENS MULTIFAMILY DEVELOPEMENT

SEC. 5, T. 4 S., R. 1 W., W.M.
CITY OF ST. HELENS
COLUMBIA COUNTY, OREGON
TOTAL ACREAGE 7.73 AC.
TOTAL SQUARE FEET 336,617 S.F.

T.B.M. RD4218
LOCATED IN THE CITY OF ST. HELENS, OR
THE STATION IS A 4 INCH OREGON PRIMARY
GPS DISK STAMPED "HELEN 1989" SET IN
BEDROCK FLUSH WITH GROUND
ELEVATION 78.30 NAVD88.



COVER SHEET

ST. HELENS
MULTIFAMILY
DEVELOPEMENT

NO CHANGES, MODIFICATIONS OR
REVISIONS TO THIS DRAWING
DRAWINGS WITHOUT WRITTEN
AUTHORIZATION FROM DESIGN ENGINEER.
DIMENSIONS & NOTES TAKE PRECEDENCE
OVER GRAPHICAL REPRESENTATION.
MULTITECH ENGINEERING EXEMPT FROM
LIABILITY IF NOT STAMPED APPROVED

Design: M.D.G.
Drawn: M.D.G.
Checked: M.D.G.
Date: SEPT. 2017
Scale: AS SHOWN
As-Built:



EXPIRES: 08-30-2019
JOB # 6433

SDR1

SHEET INDEX

SDR1	COVER SHEET
SDR2	EXISTING CONDITIONS PLAN
SDR4	SITE PLAN
SDR5	SITE DETAILS
SDR6	EASEMENT PLAN
SDR7	GRADING PLAN
SDR8	SANITARY SEWER PLAN
SDR9	DOMESTIC WATER & FIRE SERVICE PLAN

RECEIVED
JUL 19 2018
CITY OF ST. HELENS

ABBREVIATIONS

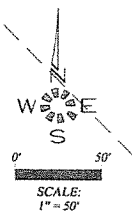
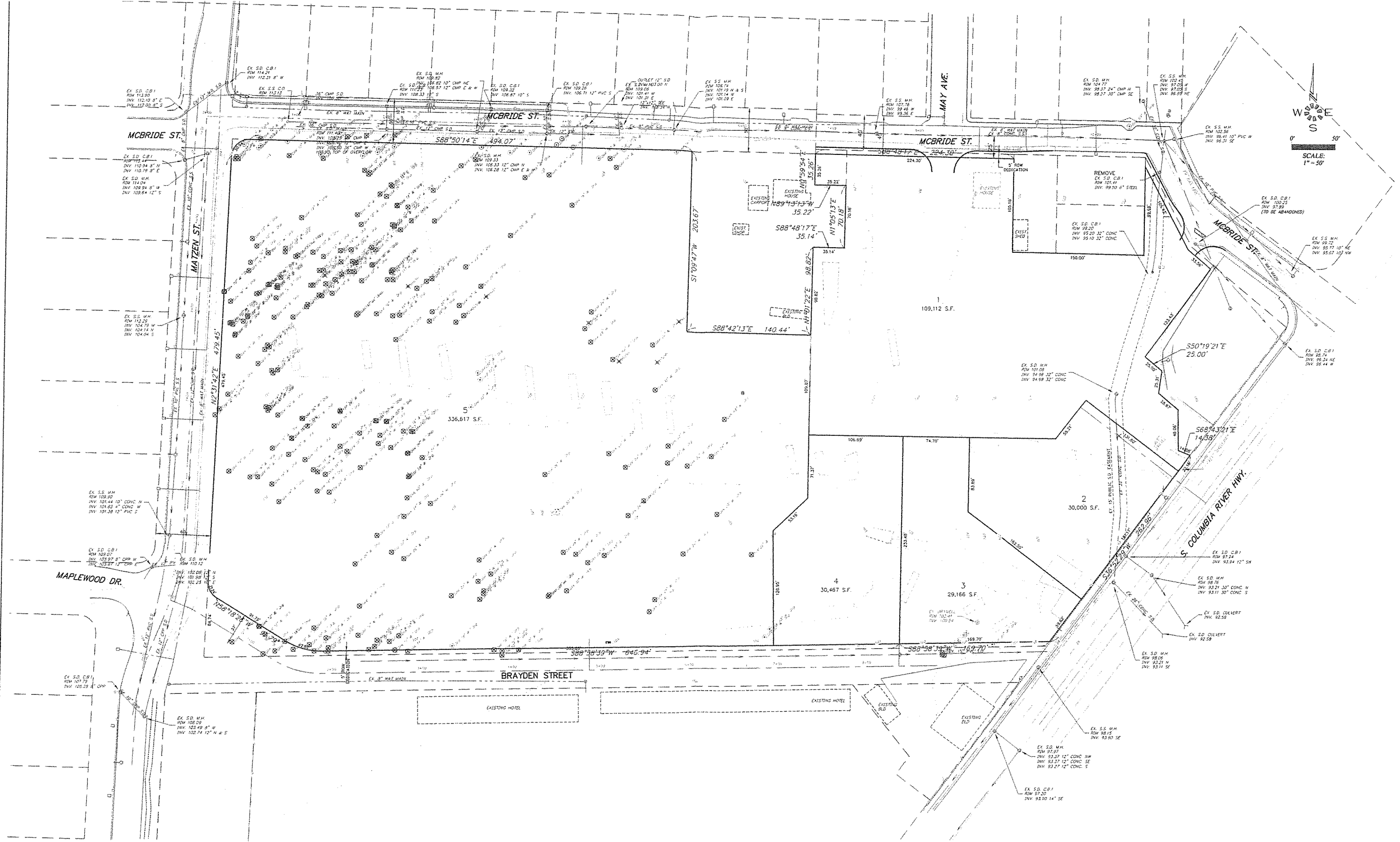
A.C.	ASPHALTIC CONCRETE	L.P.	LIGHT POLE
ACMP	ALUMINIZED CMP	M	METER, MAIN
ASSY.	ASSEMBLY	M.H.	MANHOLE
B.O.	BLOW OFF	MTL	METAL
B.F.V.	BUTTERFLY VALVE	O.H.	OVERHEAD
C & G	CURB & GUTTER	PC	POINT OF CURVE
CATV	CABLE TELEVISION	PCC	POINT OF CONTINUING CURVE
C.B.	CATCH BASIN	PED.	PEDESTAL
C.B.C.O.	CATCH BASIN CLEANOUT	PRC	POINT OF REVERSE CURVE
C.B.I.	CATCH BASIN INLET	PROP.	PROPOSED
C.L.	CENTERLINE	PT	POINT OF TANGENCY
CHP	CORRUGATED METAL PIPE	PUB.	PUBLIC
C.O.	CLEANOUT	PUE	PUBLIC UTILITY EASHT.
CONC.	CONCRETE	PVC	POLYVINYL CHLORIDE
CONST.	CONSTRUCT	PVT.	PRIVATE
D.I.	DUCTILE IRON	P.P.	POWER POLE
DIA.	DIAMETER	P.L.	PROPERTY LINE
DWG.	DRAWING	R	RADIUS
EASHT.	EASEMENT	RH	RH
E.G.	EXIST. GRADE / GROUND	RD	ROAD
EOP, E.P.	EDGE OF PAVEMENT	R.O.W.	RIGHT-OF-WAY
ELEC.	ELECTRIC	SAN.S. or S.S.	SANITARY SEWER
ELEV. or EL.	ELEVATION	S	SLOPE
EX. or EXIST.	EXISTING	STA	STATION
FT.	FEET	STD.	STANDARD
F.F.	FINISH FLOOR	STL	STEEL
F.G.	FINISH GRADE	STM DRN. or S.D.	STORM DRAIN
F.H.	FIRE HYDRANT	SVC.	SERVICE
F.M.	FORCE MAIN	SW	SIDEWALK
GUT. or GTR.	GUTTER	T.C.	TOP OF CURB
G.W.	GATE VALVE	TEL	TELEPHONE
IMP.	IMPROVEMENT	TYP.	TYPICAL
INST.	INSERT	U.G.	UNDERGROUND
INV. or I'	INVERT	VLT.	VAULT
L	LENGTH, LINE	W.M.	WATER MAIN

SYMBOLS

EXIST. PROP.	EXIST. PROP.
⊖	⊖ BLOW OFF ASSY.
⊖	⊖ CATCH BASIN
⊖	⊖ CATCH BASIN CLEANOUT
⊖	⊖ CATCH BASIN INLET
⊖	⊖ CATV PED. / BOX
⊖	⊖ CLEANOUT
⊖	⊖ ELEC. PED. / BOX
⊖	⊖ FIRE HYDRANT
⊖	⊖ GAS LOCATION MARKER
⊖	⊖ GAS VALVE
⊖	⊖ MAIL BOX

EXIST. PROP.	EXIST. PROP.
⊖	⊖ MANHOLE SAN. SEWER
⊖	⊖ MANHOLE STORM DRAIN
⊖	⊖ 2' DIA. C.O. / M.H.
⊖	⊖ MANHOLE TELEPHONE
⊖	⊖ MANHOLE WATER
⊖	⊖ REDUCER / INCREASER
⊖	⊖ TEL. PED. / BOX
⊖	⊖ TRAFFIC PED. / BOX
⊖	⊖ UTILITY / POWER POLE
⊖	⊖ WATER METER
⊖	⊖ WATER VALVE

---	CABLE TELEVISION	---	SANITARY SEWER EXIST.
---	CENTERLINE	---	STORM DRAIN EXIST.
---	DITCH C.L.	---	STORM DRAIN PROP.
---	ELECTRICAL LINE	---	WATER MAIN EXIST.
---	GAS MAIN	---	WATER MAIN PROP.
---	TELEPHONE LINE		



X = EXISTING TREE WHICH MAY BE REMOVED
O = EXISTING TREE TO REMAIN.

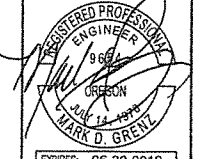
TREE TABLE	
	LOT #5
TREES ONSITE	275
TREES TO BE REMOVED	257
TREES TO REMAIN	22
TREES TO BE REPLANTED @ 2:1 RATIO	506

EXISTING
CONDITION &
TREE PLAN

ST. HELENS
MULTIFAMILY
DEVELOPMENT

NO CHANGES, MODIFICATIONS OR REPRODUCTIONS TO BE MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION FROM DESIGN ENGINEER.
DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.
MULTITECH ENGINEERING EXEMPT FROM LIABILITY IF NOT STAMPED APPROVED

Design: M.D.G.
Drawn: C.D.S.
Checked: M.D.G.
Date: SEPT. 2017
Scale: AS SHOWN
AS-Built:



JOB # 6433

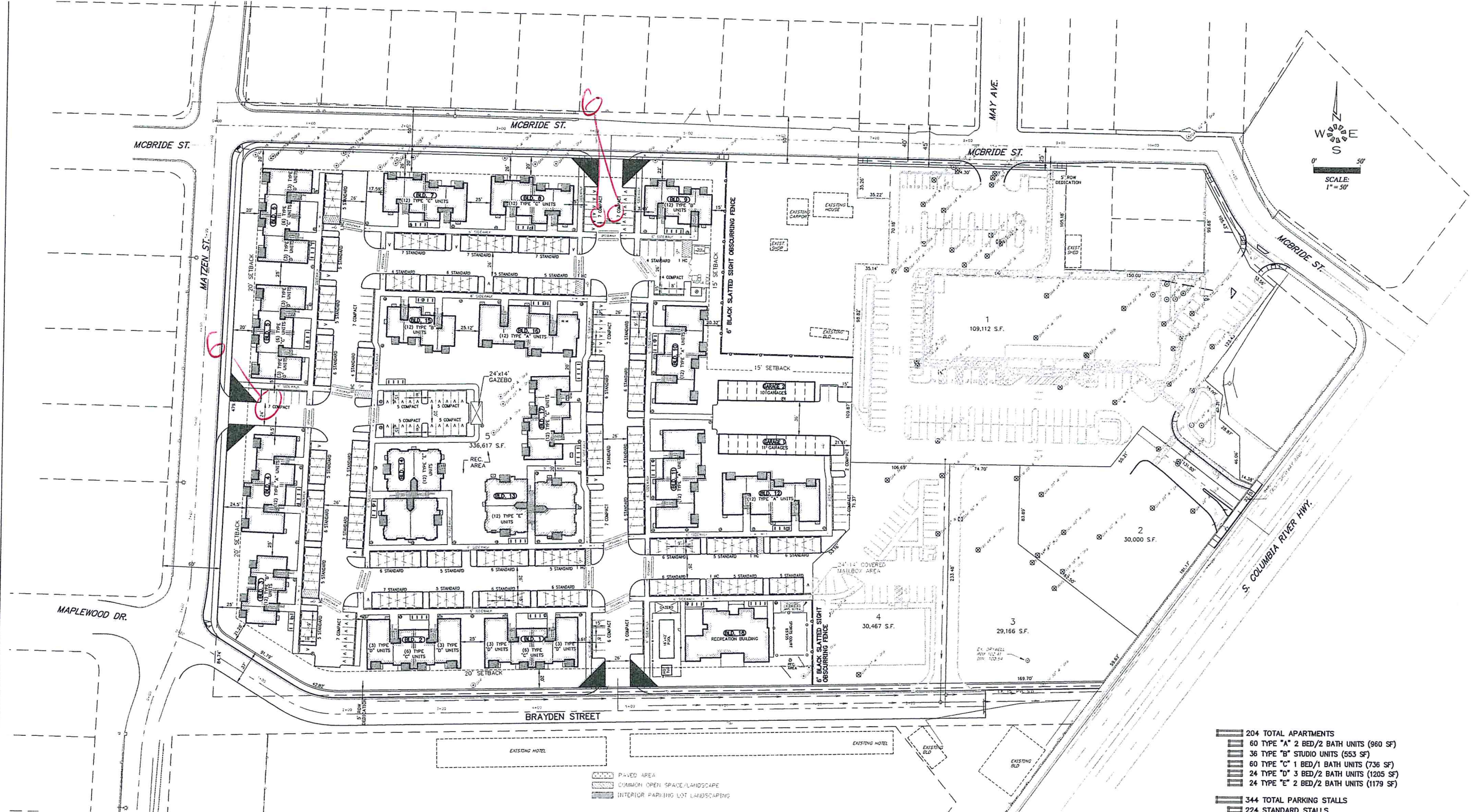
SITE PLAN

ST. HELENS
MULTIFAMILY
DEVELOPMENT

NO CHANGES, MODIFICATIONS OR
REPRODUCTIONS TO BE MADE TO THESE
DRAWINGS WITHOUT WRITTEN
AUTHORIZATION FROM DESIGN ENGINEER.
DIMENSIONS & NOTES TAKE PRECEDENCE
OVER GRAPHICAL REPRESENTATION.
MULTI/TECH ENGINEERING EXEMPT FROM
LIABILITY IF NOT STAMPED APPROVED

DESIGN: M.D.G.
DRAWN: C.D.S.
CHECKED: M.D.G.
DATE: SEPT. 2017
SCALE: AS SHOWN
AS-BUILT:
REGISTERED PROFESSIONAL ENGINEER
MARK D. GREY
EXPIRES: 06-30-2019
JOB # 6433

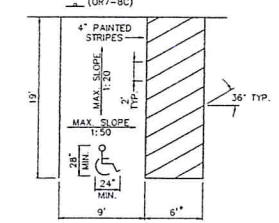
SDR4



NOTE:
PROPOSED SQUARE FOOTAGES ARE BASED
UPON ASSUMED RIGHT OF WAY DEDICATION.

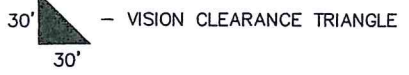
MULTI-FAMILY
SITE TOTALS:

TOTAL AREA	336,617 S.F. (7.73 AC.)
COMMON OPEN SPACE	110,929 S.F. (32.95%)
INTERIOR PARKING LOT LANDSCAPE	9,655 S.F.
HARDSPACE	
PAVED AREA	110,135 S.F. (32.72%)
SIDEWALK	33,426 S.F.
BUILDINGS	70,029 S.F.



MINIMUM STATE STANDARD
SINGLE-DISABLED PERSON
PARKING SPACE

- ALL ON-SITE WALKWAYS, PEDESTRIAN CONNECTIONS TO THE PUBLIC SIDEWALK AND ROUTES TO BUILDING ENTRANCES ARE ACCESSIBLE WITH RUNNING SLOPES LESS THAN 5% AND CROSS SLOPE LESS THAN 2% MAX. LANDINGS AT BOTTOM OF STAIRS AND EXIT FACE OF ENTRANCE DOORS SHALL HAVE A SLOPE IN THE DIRECTION OF TRAVEL NOT TO EXCEED 2%.
- HANDICAP PARKING STALLS AND ACCESS AISLES ARE TO HAVE SLOPES IN ANY DIRECTION OF LESS THAN 2% MAX. GRAPHIC MARKINGS & SIGNAGE FOR HANDICAP AND VAN ACCESSIBLE STALLS WILL BE PER OSCC 2010 CHPTR. 11 AND ORS. REQUIREMENTS.
- HANDICAP ACCESSIBLE CURB RAMP SHALL HAVE A RUNNING SLOPE NOT TO EXCEED 1:12 MAX. AND A CROSS SLOPE NOT TO EXCEED 1%.
- THE COMMUNITY BUILDING & ON-SITE LAUNDRY FACILITIES WILL BE FULLY HANDICAP ACCESSIBLE IN ACCORDANCE WITH ANSI A117.1 AND CHAPTER 11 OF THE 2010 OSCC.
- 2% OF THE LIVING UNITS OR (3) UNITS WILL BE TYPE 'A' HANDICAP ACCESSIBLE. THESE INCLUDE A 1, 2 AND 3 BEDROOM UNIT AS INDICATED ON THIS SITE PLAN. THE BALANCE OF THE GROUND FLOOR LIVING UNITS WILL BE TYPE 'B' ADAPTABLE UNITS IN ACCORDANCE WITH ANSI A117.1.

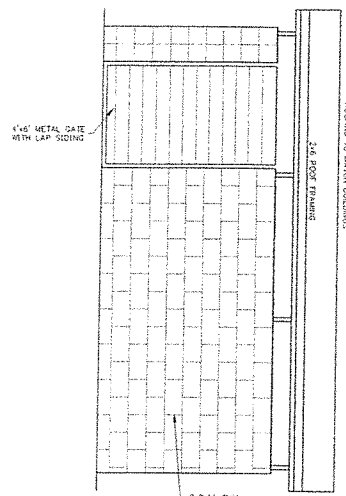


- 204 TOTAL APARTMENTS
- 60 TYPE "A" 2 BED/2 BATH UNITS (960 SF)
- 36 TYPE "B" STUDIO UNITS (553 SF)
- 60 TYPE "C" 1 BED/1 BATH UNITS (736 SF)
- 24 TYPE "D" 3 BED/2 BATH UNITS (1205 SF)
- 24 TYPE "E" 2 BED/2 BATH UNITS (1179 SF)
- 344 TOTAL PARKING STALLS
- 224 STANDARD STALLS
- 92 COMPACT STALLS
- 7 HANDICAP STALLS
- 21 GARAGES (1 HANDICAP)
- 204 BICYCLE SPACES
- 34 UNDER STAIRWELL PARKING
- 170 OUTSIDE BIKE PARKING
- 212 COVERED PARKING

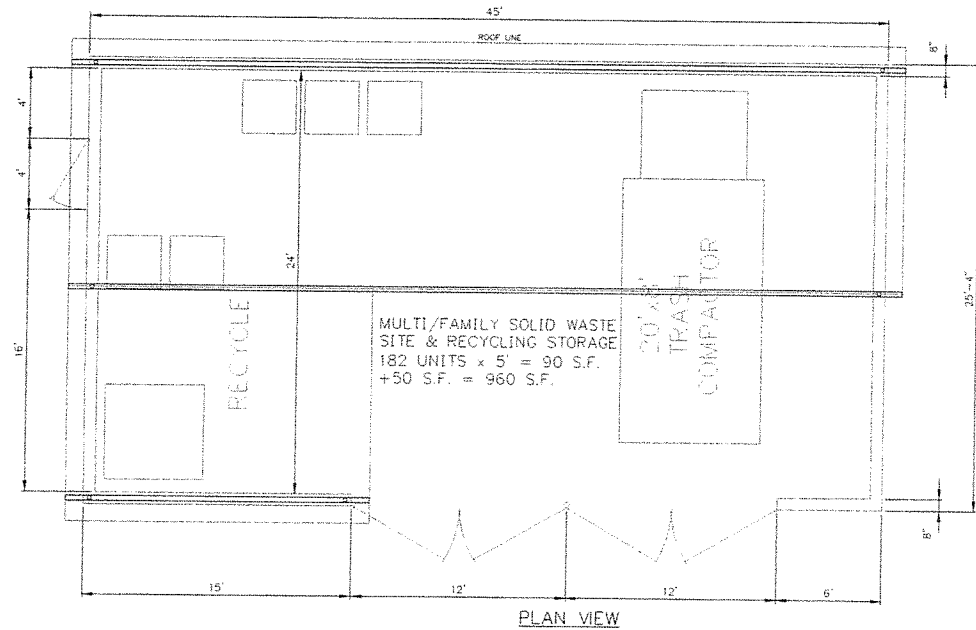
- 1 REC BLDG/MGRS UNIT & OFFICE/2 STUDIOS (BLDG. 18)
- 1 COVERED MAILBOX AREA
- 1 TRASH ENCLOSURE
- 1 POOL
- 2 RECREATION PLAY AREA

- WALL PACK LITE MOUNTED ON BUILDING
- POST LIGHT MAXIMUM 5' TALL
- POLE LIGHT MAXIMUM 14' TALL
- LOCATION OF ELECTRICAL SEPARATION WALL
- (22) 8 BICYCLE SPACES
- WHEEL STOP (ALL STALLS)
- (58) DESIGNATED VISITOR PARKING

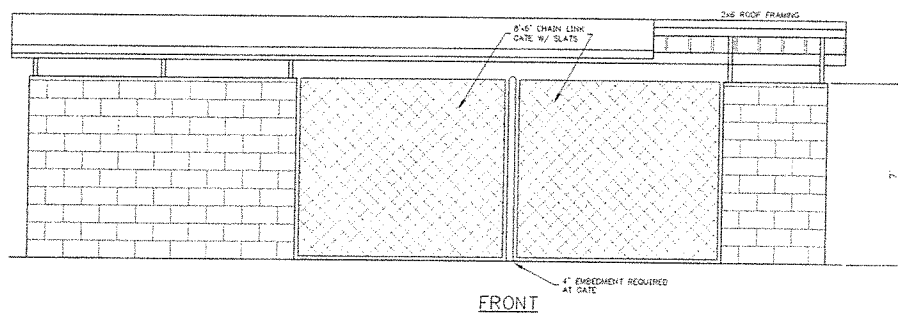
ONLY 21 SHOWN



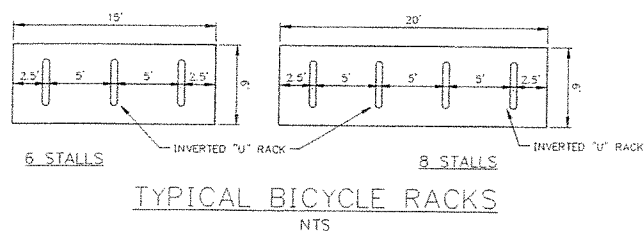
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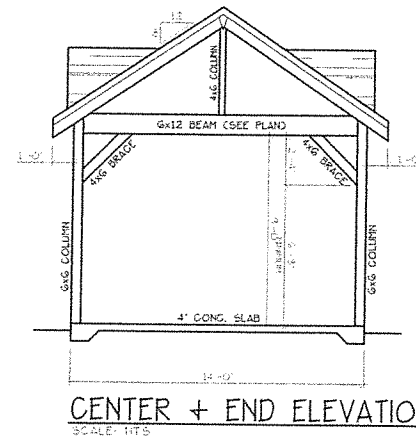
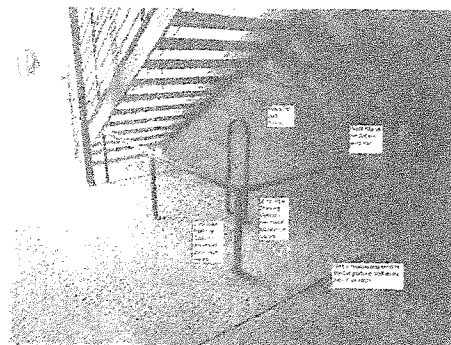
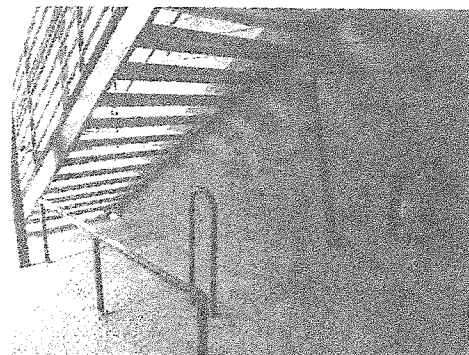
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-NTS-
BETWEEN BUILDINGS #9 & #10



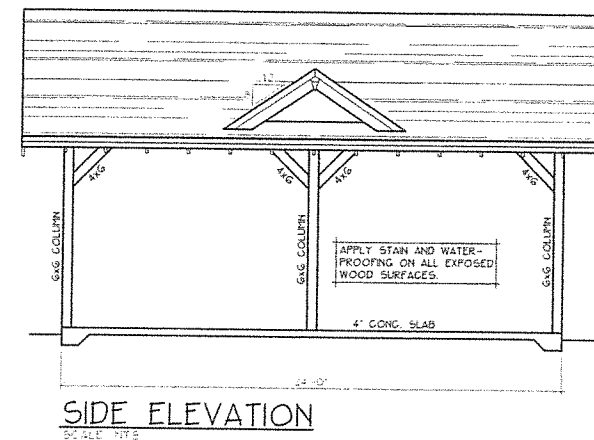
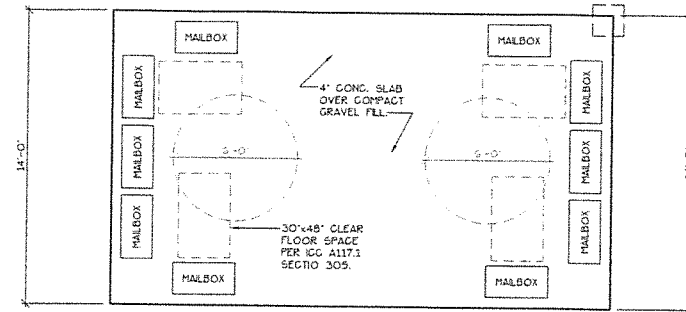
FRONT



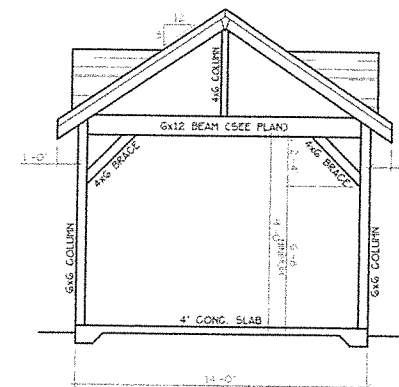
TYPICAL BICYCLE RACKS
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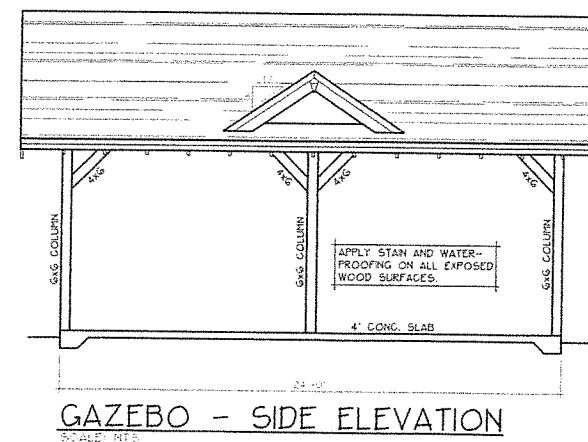
CENTER + END ELEVATION
SCALE: 1/4" = 1'-0"



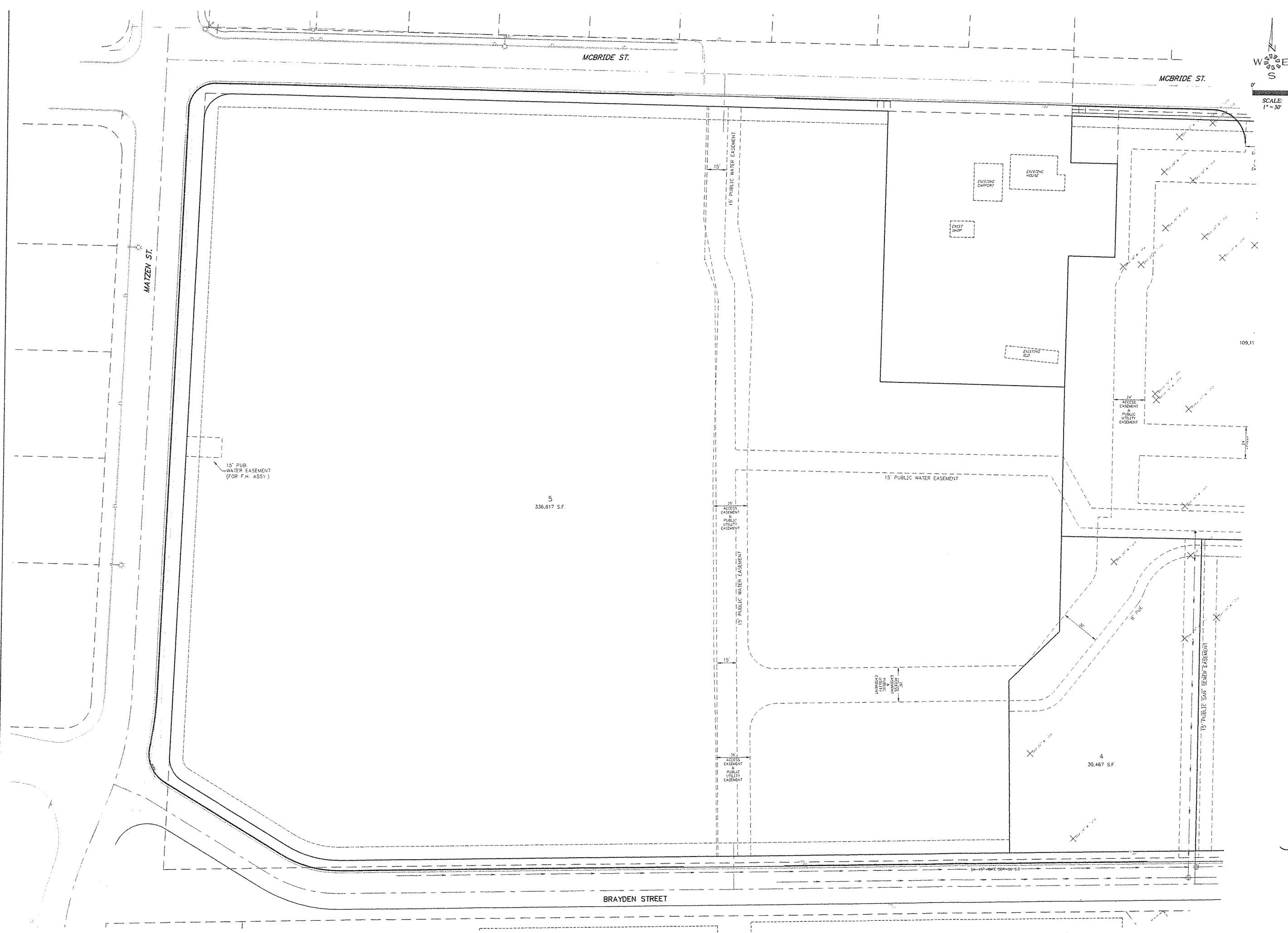
SIDE ELEVATION
SCALE: 1/4" = 1'-0"

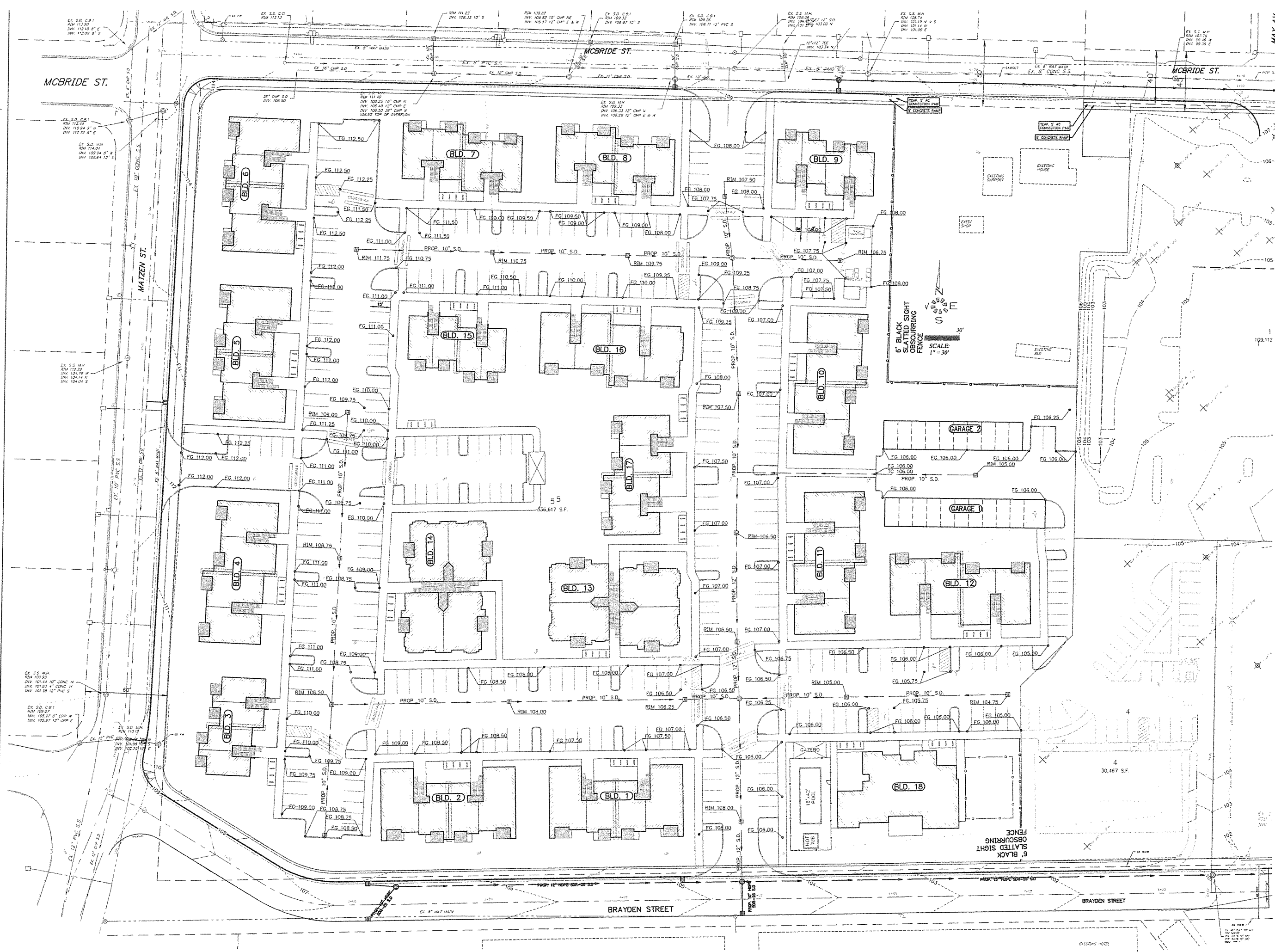


GAZEBO - CENTER + END ELEVATION
SCALE: 1/4" = 1'-0"



GAZEBO - SIDE ELEVATION
SCALE: 1/4" = 1'-0"





ST. HELENS
MULTIFAMILY
DEVELOPMENT

GRADING &
DRAINAGE PLAN

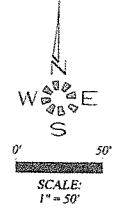
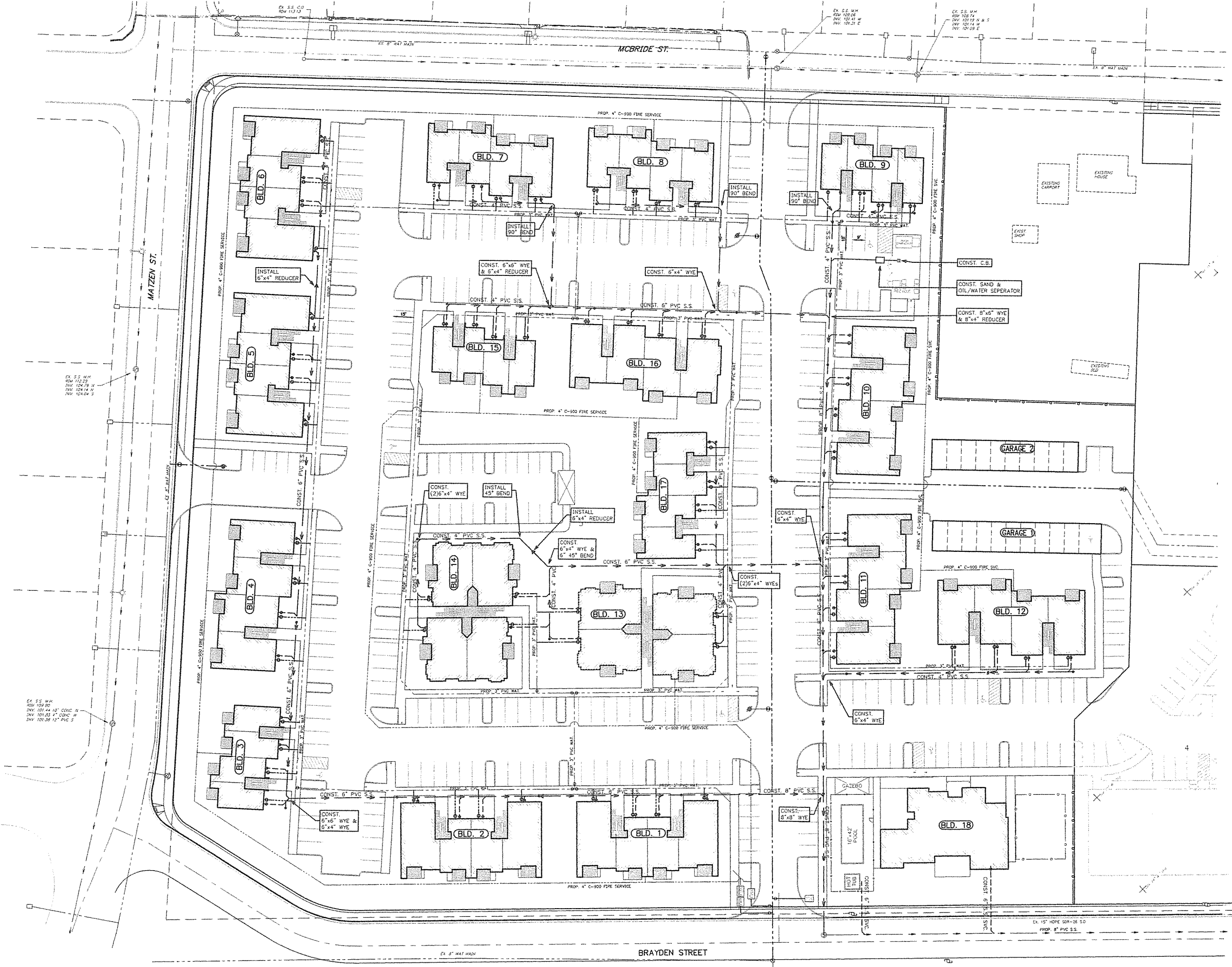
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SDR7

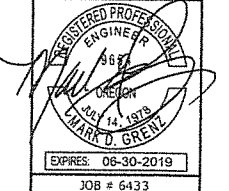


**SANITARY
SEWER
PLAN**

**ST. HELENS
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DEVELOPMENT**

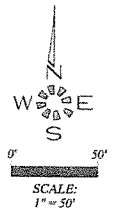
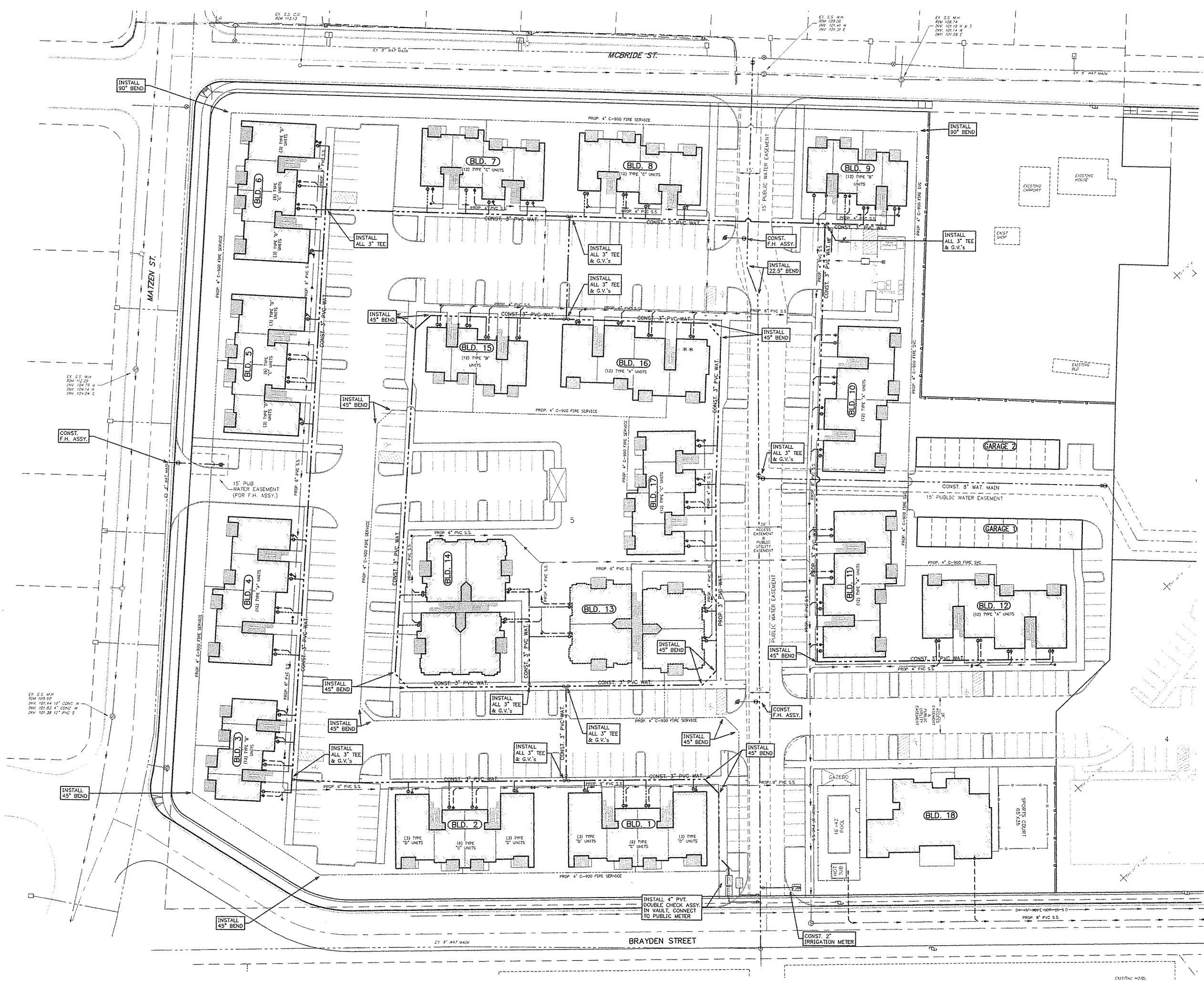
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JOB # 6433

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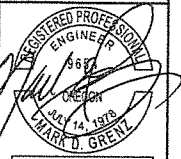


**DOMESTIC WATER
& FIRE SERVICE
PLAN**

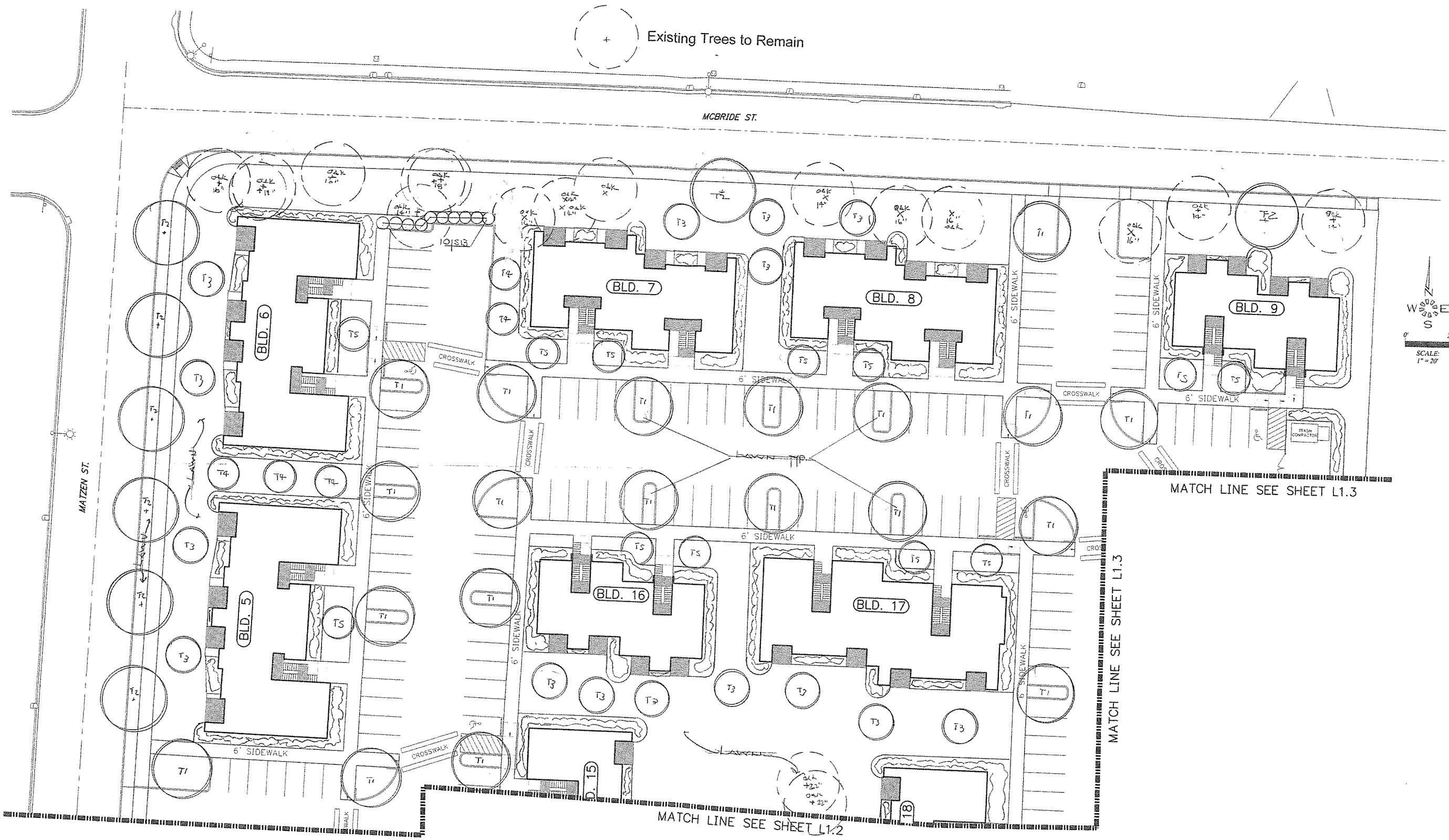
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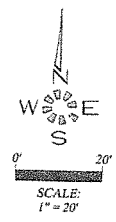


EXPIRES: 06-30-2019
JOB # 6433



Existing Trees to Remain

Existing Trees to Remain

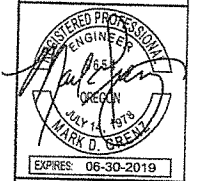


SCHEMATIC LANDSCAPE PLAN

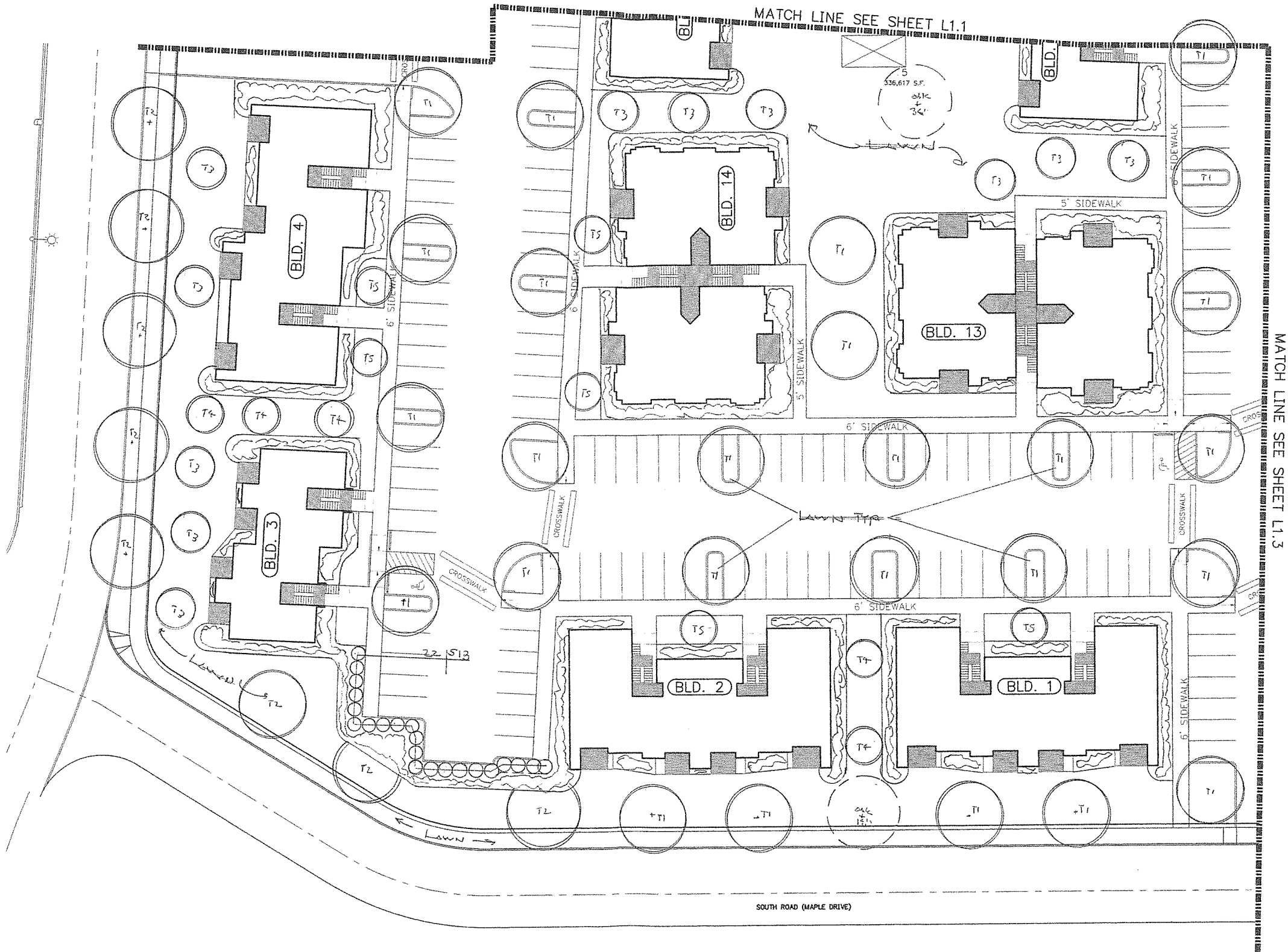
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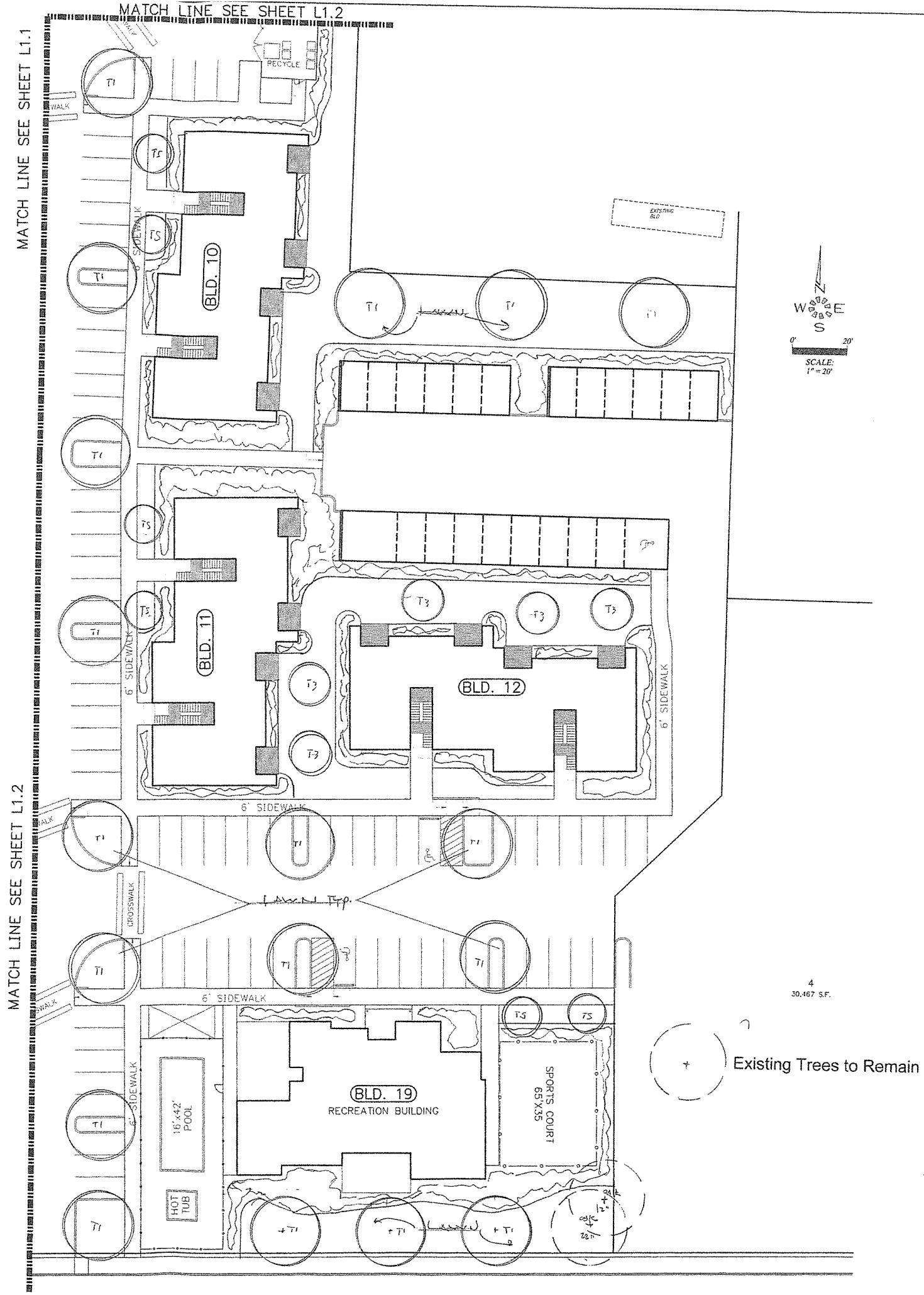


JOB # 6433



+ Existing Trees to Remain

 <p>MULTI/TECH ENGINEERING SERVICES, INC. 1155 S.W. 31st Ave., Suite 100 Fort Lauderdale, FL 33311 PH: (954) 363-7922 FAX: (954) 363-1200 www.mtengr.com</p>	<p>SCHEMATIC LANDSCAPE PLAN</p>	<p>ST. HELENS COMMERCIAL/ MULTI-FAMILY</p>	<p>NO CHANGES, MODIFICATIONS OR REPRODUCTIONS TO BE MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION FROM DESIGN ENGINEER. DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION. MULTI/TECH ENGINEERING EXEMPT FROM LIABILITY IF NOT STAMPED APPROVED</p>	<p>Design: M.D.G. Drawn: C.D.S. Checked: M.D.G. Date: SEPT. 2017 Scale: AS SHOWN As-Built:</p> <p>REGISTERED PROFESSIONAL ENGINEER MARK D. GREENE JULY 14, 1978 EXPIRES: 06-30-2019 JOB # 6433</p>	<p>L1.2</p>
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 ENGINEERING SERVICES, INC. 1155 13th St., S.E. Salem, OR 97302 PH: (503) 363-9227 FAX (503) 364-1260 www.mteengineering.net office@mteengineering.net	
ST. HELENS COMMERCIAL/ MULTI-FAMILY	
SCHEMATIC LANDSCAPE PLAN	
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JOB # 6433	
L1.3	

GENERAL LANDSCAPE NOTES:

General:

1. All local, municipal, state, and federal laws regarding uses, regulations, governing or relating to any portion of the work depicted on these plans are hereby incorporated into and made part of these specifications and their provision shall be carried out by the Contractor. The Contractor shall at all times protect the public throughout the construction process.
2. The Contractor shall carefully correlate construction activities with earthwork contractor and other site development.
3. The Contractor shall verify drawing dimensions with actual field conditions and inspect related work and adjacent surfaces. Contractor shall verify the accuracy of all finish grades within the work area. The Contractor shall report to the Landscape Design & Consultants LLC (LDC) or Owner all conditions which prevent proper execution of this work.
4. The exact location of all existing utilities and underground utilities, which may not be indicated on the drawings, shall be determined by the Contractor. The Contractor shall protect existing structures and utility services and is responsible for their replacement if damaged.
5. Disturbance and impacts to existing native trees/shrubs shall be minimized to the greatest extent practicable.
6. The Contractor shall keep the premises free from rubbish and debris at all times and shall arrange material storage to not interfere with the operation of the project. All unused material, rubbish, and debris shall be removed from the site.
7. All plant material and planting supplies shall be warranted for a period of not less than one year from the completion date of installation. All replacement stock shall be subjected to the same warranty requirement as the original stock. Any damage due to replacement operations shall be repaired by the Contractor. At the end of the warranty period, inspections shall be made by LDC, Owner/General Contractor. All plant and lawn areas not in a healthy growing condition shall be removed and replaced with plants and turf cover of a like kind and size before the close of the next planting season.

Grading / Erosion Control:

1. The design and placement of the building on the site lends itself to minimal slope conditions with positive drainage being maintained around the entire building. In this case standard landscaping procedures of topsoil, lawn, and a two inch layer of bark mulch on all planting beds will be sufficient to control erosion. In the event site conditions change or there are Slopes / Bio Swales / Detention Ponds on the project with slopes greater than 30% Poly Jute Netting shall be installed with anchoring pins as per manufactures recommendations prior to planting. Recommend DeWitt PJN4216 Erosion Control Poly Jute Netting and DeWitt anchor pins or approved equal.
2. Seed recommendation is Pro Time 700 Low Profile or approved equal over the jute netting at a rate of 2 lbs. per 1000 sq. feet. The address of Pro Time is 1712 SE Ankeny, Portland OR 97214. Phone 503-239-7518. There email is info@protimeinc.com
3. The work limits shown on this plan shall clearly be marked in the field prior to construction. No disturbance beyond the work limits shall be permitted.
4. Grading shall be performed during optimal weather conditions.
5. Erosion control measures shall be constructed in conjunction with all clearing and grading activities, and in such a manner as to ensure that sediment and sediment-laden water does not enter the drainage system or violate applicable water standards.
6. Prior to the commencement of construction activities, Contractor shall place orange construction fencing around perimeters of construction impact areas, and sediment fencing at downhill portions of the site. Contractor is responsible for proper installation, maintenance, replacement, and upgrading of all erosion and sediment control measures, in accordance with local, state, and federal regulations.

Plant Material:

1. Contractor shall verify all plant & tree quantities with LDC or Owner prior to construction.
2. In the event of a discrepancy between plants materials listed on the drawings, the drawings shall govern the plant species and quantities required.
3. Plant material shall be first quality stock and shall conform to the code of standards set forth in the current edition of the American Standards for Nursery Stock sponsored by the American Association of Nurserymen, Inc. (AAN).
4. Species and variety as specified on the drawings and delivered to the site shall be certified true to their genus, species and variety and as defined within the current edition International Code of Nomenclature for Cultivated Plants.
5. Obtain freshly dug, healthy, vigorous plants nursery-grown under climatic conditions similar to those in the locality for the project for a minimum of two years. Plants shall have been lined out in rows, annually cultivated, sprayed, pruned, and fertilized in accordance with good horticultural practice. All container plants shall have been transplanted or root pruned at least once in the past three years. Balled-and-burlapped (B&B) plants must come from soil which will hold a firm root ball. Heeled in plants and plants from cold storage are not acceptable.
6. Planting stock shall be well-branched and well-formed, sound, vigorous, healthy, free from disease, sun-scald, windburn, abrasion, and harmful insects or insect eggs; and shall have healthy, normal, unbroken root systems. Deciduous trees and shrubs shall be symmetrically developed, uniform habit of growth, with straight trunks or stems, and free from objectionable disfigurements. Evergreen trees and shrubs shall have well-developed symmetrical tops with typical spread of branches for each particular species or variety. Only vines and ground cover plants well-established shall be used. Plants budding into leaf or having soft growth shall be sprayed with an anti-desiccant at the nursery before digging.
7. Contractor shall not make substitutions of plant materials. If required landscape material is not obtainable, submit proof of non-availability and proposal for use of equivalent material. When authorized, adjustments of contract amount (if any) will be made by change order.
8. Plant sizes and grading shall conform to the latest edition of American Standard for Nursery Stock as sponsored by the American Association of Nurserymen Inc. (AAN).
9. All vegetation shown on this plan shall be maintained in a healthy and vigorous growing condition throughout the duration of the proposed use. All vegetation not so maintained shall be replaced with new vegetation at the beginning of the next growing season.

Planting:

1. Planting shall be installed between February 1st and March 30th or between October 1st and November 15th. If planting is installed outside these time frames, additional measures may be needed to ensure survival and shall be pre-approved by the owner.
2. Plant material shall be transported to the site in a timely manner to minimize on-site storage. Where storage is required, all plants shall be kept moist and shaded.
3. Plant stock shall be handled in a manner that will not break, scrape, or twist any portion of the plant. Protect plants at all times from conditions that can damage the plant (e.g., sun, wind, freezing conditions).
4. Provide the following clearance for planting of trees where applicable:

Maintain 30 feet vision triangles at all intersections and corners
5 feet from all street/parking lot light standards
10 feet from fire hydrants
5 feet from all utility vaults, meter boxes, etc.

5. No trees or shrubs shall be planted on existing or proposed utility lines.
6. All shrub beds shall receive a minimum 2" layer of bark mulch evenly applied immediately after planting is completed. All plant beds shall drain away from buildings.
7. Excavate plant pits for shrubs and trees as follows:
Container stock: width = 2 times the container diameter, depth = container depth.
Bare root stock: width = 2 times the widest diameter of the root, depth = of root system.
B & B: width = 2 times ball diameter, depth = ball depth.
Scarify sides and bottom of plant pits to roughen surfaces.
8. Place plants plumb in the pit, backfill with native soil or top soil mixture to the original plant soil line, and tap solidly around the ball and roots. Water plants immediately after planting if soil is not saturated to the surface.

Soil Mixture:

1. A 2" to 4" layer of garden care compost, mushroom compost or similar material sterilized at 105 degrees Fahrenheit shall be incorporated into the existing soil prior to planting and seeding/sod lawns.

Incorporate into existing soil prior to planting the following fertilizers at a rate specified per 1000 sq. ft. of planting area.
20 lbs. 10-5-4 50% Slow Release
30 lbs. 38-0-0 Nitroform
10 lbs. Iron Sulfate 21%
20 lbs. 0-18-0 Super Phosphate
25 lbs. Dolomite Lime
10 lbs. 13-0-11 Potassium Nitrate

Bark Mulch:

1. All shrub beds shall receive a minimum 2" layer of fine hemlock or fir bark mulch evenly applied immediately after planting is completed. All plant beds shall drain away from buildings.

Poly Jute Netting for Bio Swales/Detention Ponds/Vegetated Swale/Rain Gardens:

1. Tight net Poly Jute Netting shall be installed on Bio Swales/Detention Ponds/Vegetated Swale and Rain Gardens as a soil stabilizer and erosion control agent. Jute Netting shall be installed with anchoring pins as per manufactures recommendations prior to planting. Recommend DeWitt PJN4216 Erosion Control Poly Jute Netting and DeWitt anchor pins or approved equal.

Rain Gardens Bark Mulch:

1. After Poly Jute Netting and Plants are installed a 2" layer of bark mulch shall be installed in rain gardens.

Bio Swales/Detention Ponds/Vegetated Swales:

1. Bark Mulch shall not be applied to Bio Swales/Detention Ponds or Vegetated Swales.

Weed Control Agent:

1. Apply casoron as a weed control agent after planting as per manufactures specified recommendations around building or approved equal.

Non-Native Plant Species:

1. All non-native, invasive plant species shall be removed from the site.

Growing Medium for Stormwater Bio Swales/Vegetated Swales/Rain Gardens Planter Boxes:

1. Furnish imported growing medium for vegetated stormwater facilities conforming to the following:
2. Standard Blend for Public and Private Facilities: Use this blend for all vegetated stormwater management facilities.
3. General Composition: The medium shall be a blend of loamy soil, sand, and compost that is 30 to 40 percent compost (by volume) and sterilized to 105 degrees Fahrenheit.
4. Analysis Requirements for the Blended Material:
 - a. Particle Gradation: A particle gradation analysis of the blended material, including compost, shall be conducted in conformance with ASTM C117/C136 (AASHTO T117/T27). The analysis shall include the following sieve sizes: 1 inch, 3/8 inch, #4, #10, #20, #40, #60, #100, and #200. The gradation of the blend shall meet the following gradation criteria:

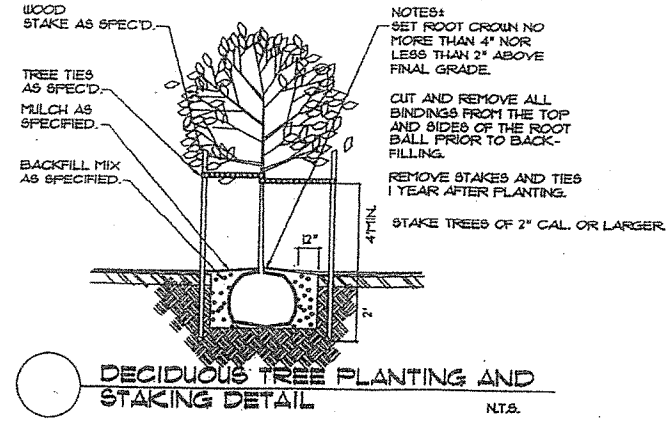
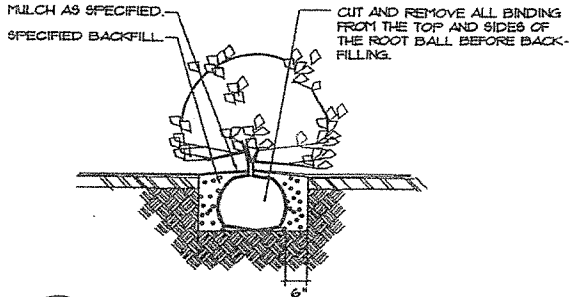
Sieve Size	Percent Passing
1 inch	100
#4	60-100
#10	40-100
#40	15-50
#100	5-25
#200	3-5
 - b. The blend shall have a Coefficient of Uniformity (D90/D10) equal to or greater than 6 to ensure that it is well graded (has a broad range of particle sizes). The coefficient is the ratio of two particle diameters on a grain-size distribution curve; it is the particle diameter at 60 percent passing divided by the particle diameter at 10 percent passing.
 - c. Organic Matter Content: An analysis of soil organic matter content shall be conducted in conformance with ASTM D2974 (loss on ignition test). The soil organic matter content shall be a minimum of 10 percent, as reported by that test.
 - d. pH: The blended material shall be tested and have a pH of 5.5 to 7.
 - e. Depth of growing medium shall be 18 inches. Growing medium shall be placed in 4 inch lifts and lightly compacted.
 - f. Once planting is completed Bark Mulch shall not be installed in Stormwater Bio Swales.
5. General Requirements for the Blended Material:
 - a. The material shall be loose and friable.
 - b. It shall be well mixed and homogeneous.
 - c. It shall be free of wood chips, plastic, screened and free of stones 1 inch (25 mm) or larger in any dimension; free of roots, plants, soil, clods, clay lumps, pockets of coarse sand, paint, paint washout, concrete slurry, concrete layers or chunks, cement, plaster, building debris, oils, gasoline, diesel fuel, paint thinner, turpentine, tar, roofing compound, acid, and other extraneous materials harmful to plant growth; and free of weeds and invasive plants including but not limited to:
 1. *Cirsium arvense* (Canadian Thistle)

2. *Convolvulus* spp. (Morning Glory)
3. *Cytisus scoparius* (Scotch Broom)
4. *Oxalis stricta* (Common Yellow)
5. *Festuca arundinacea* (Tall Fescue)
6. *Hedera helix* (English Ivy)
7. *Holcus lanatus* (Velvet Grass)
8. *Lolium* spp. (Rye Grasses)
9. *Lotus corniculatus* (Bird's Foot Trefoil)
10. *Lythrum salicaria* (Purple Loose Strife)
11. *Melilotus* spp. (Sweet Clover)
12. *Myriophyllum spicatum* (European Milfoil)
13. *Phalaris arundinacea* (Reed Canary Grass)
14. *Rubus discolor* (Himalayan Blackberry)
15. *Solanum* spp. (Nightshade)
16. *Trifolium* spp. (Clovers)

17. Not infested with nematodes, grubs, other pests, pest eggs, or other undesirable organisms and disease-causing plant pathogens; friable and with sufficient structure to give good tilth and aeration, continuous, air-filled, pore-space content on a volumetric basis shall be at least 15 percent when moisture is present at field capacity; and soil shall have a field capacity of at least 15 percent on a dry weight basis.

6. Compost: The compost shall be derived from plant material and provided by a member of the U.S. Composting Council Seal of Testing Assurance (STA) program. See www.compostingcouncil.org for a list of providers in Portland and surrounding area.
7. The compost shall be the result of the biological degradation and transformation of plant-derived materials under conditions designed to promote aerobic decomposition. The material shall be well composted, free of viable weed seeds, and stable with regard to oxygen consumption and carbon dioxide generation. The compost shall have no visible free water and produce no dust when handled. It shall meet the following criteria, as reported by the U.S. Composting Council STA Compost Technical Data Sheet provided by the vendor.
 - a. 100 percent of the material must pass through a 1/2-inch screen. The pH of the material shall be between 6 and 8.
 - b. Manufactured inert material (plastic, concrete, ceramics, metal, etc.) shall be less than 1.0 percent by weight. The organic matter content shall be between 35 and 65 percent.
 - c. The soluble salt content shall be less than 6.0 mmhos/cm. Germination (an indicator of maturity) shall be greater than 80 percent.
8. The stability shall be between classes 6-7.
9. The carbon/nitrogen ratio shall be less than 25:1.
10. Submittals: At least 14 working days in advance of construction, submit the following:
 - a. Two 5-gallon buckets of the blended material.
 - b. Documentation for the three analyses described in Section (4) of this specification (particle gradation with calculated coefficient of uniformity; organic matter content; pH). The analyses shall be performed by an accredited laboratory with certification maintained current. The date of the analyses shall be no more than 90 calendar days prior to the date of the submittal.

The report shall include the following information:
Name and address of the laboratory
Phone contact and e-mail address for the laboratory
Test data, including the date and name of the test procedure



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ENGINEERING SERVICES
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PH: (503) 534-8555 FAX: (503) 534-8555
www.multitechengineering.net

LANDSCAPE
DETAILS
& NOTES

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As-Built:

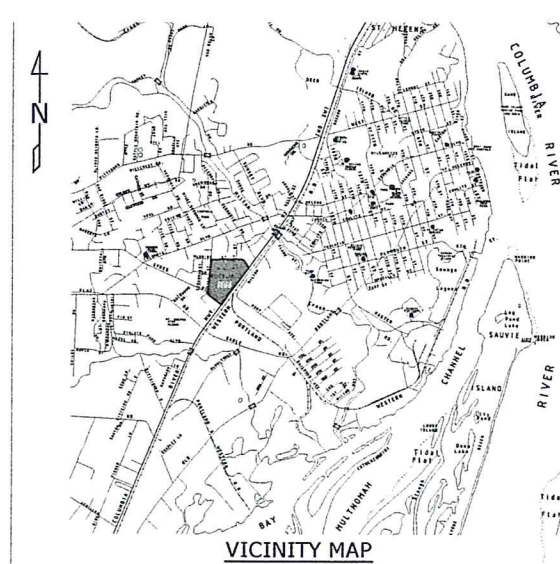
REGISTERED PROFESSIONAL ENGINEER
MARK D. GRENT
EXPIRES: 06-30-2019
JOB # 6433

L1.4

**9550 SE CLACKAMAS RD.
CLACKAMAS, OR 97015
(503) 655-7933
KARL@IECON.US**

SEC. 5, T. 4 S., R. 1 W., W.M.
CITY OF ST. HELENS
COLUMBIA COUNTY, OREGON
TOTAL ACREAGE 12.5 AC.
TOTAL SQUARE FEET 336,617 S.F.

LOCATED IN THE CITY OF ST. HELENS, OR
THE STATION IS A 4 INCH OREGON PRIMARY
GPS DISK STAMPED "HELEN 1989" SET IN
BEDROCK FLUSH WITH GROUND
ELEVATION 78.30 NAVD88.



MULTI/TECH

ENGINEERING SERVICE

1,155 43TH ST., S.E., SALEM, CT 06424
 PH. (503) 363-9227 FAX (503) 363-9261
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COVER SHEET

**ST. HELENS
LOT #5/
MULTIFAMILY**

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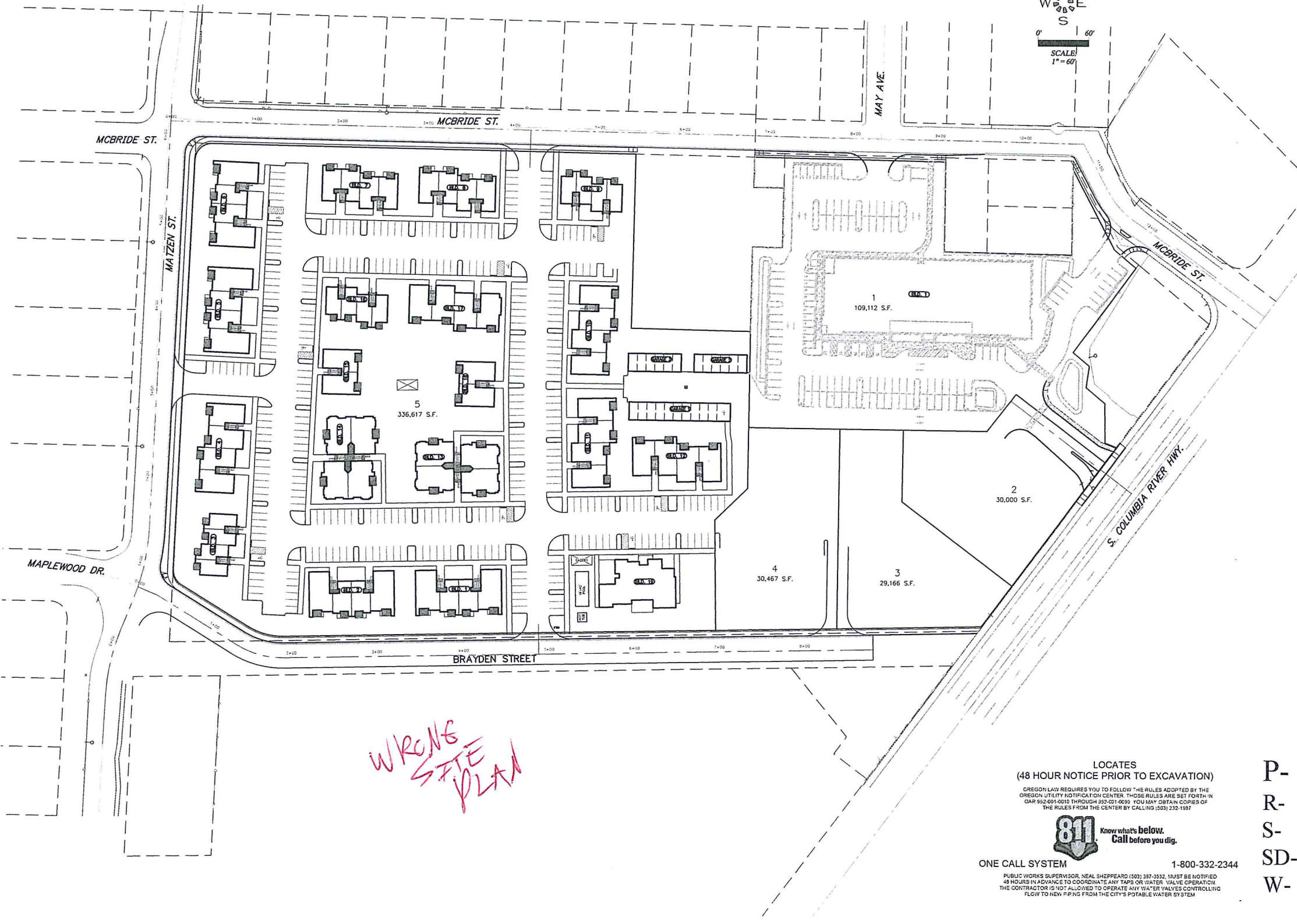
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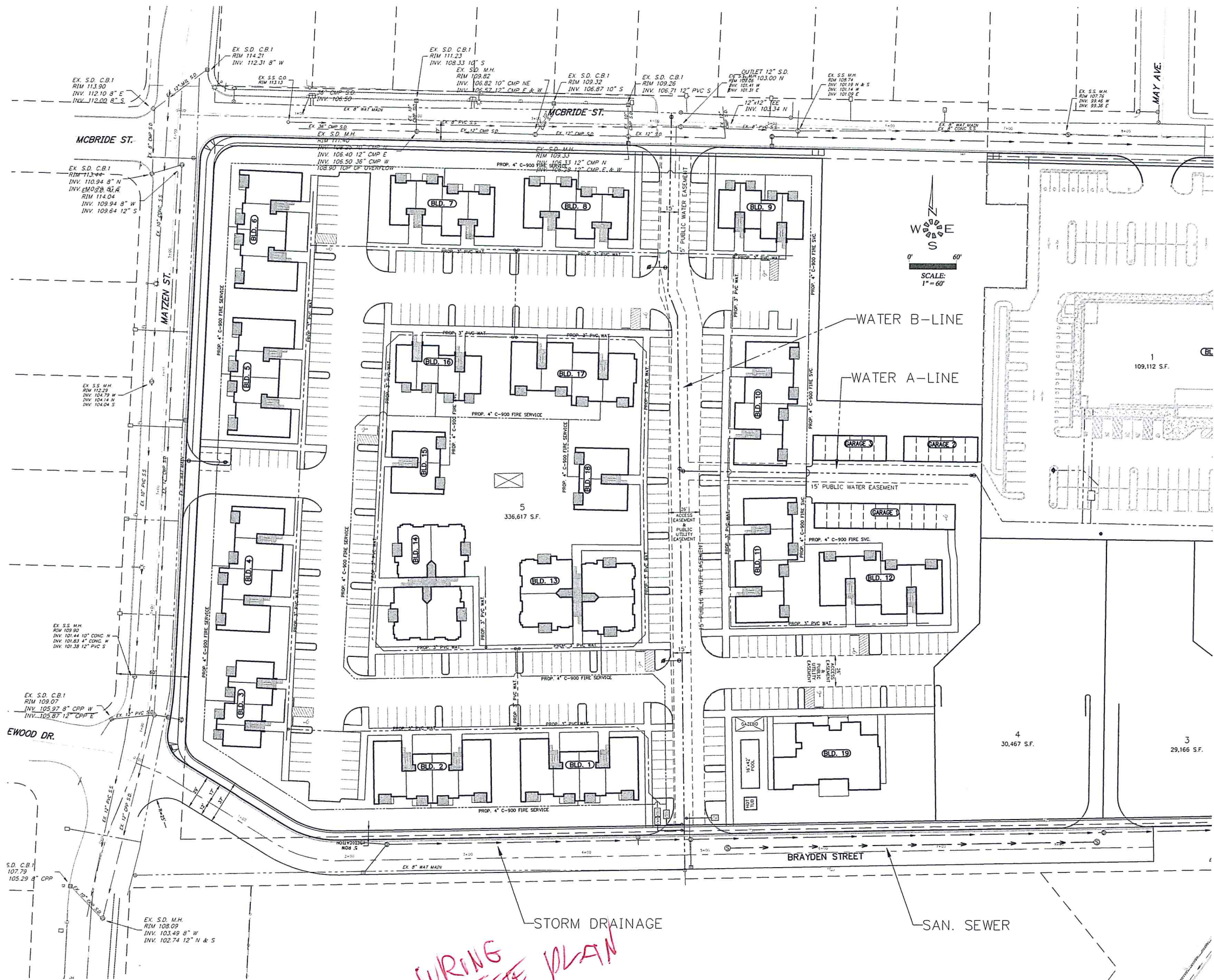
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REGISTERED PROFESSIONAL
ENGINEER
9654
OREGON
JULY 14 1978
MARK D. GRENZ
EXPIRES: 06-30-2019

JOB # 6433

101





WRING SITE PLAN

UTILITY PLAN

ST. HELENS
LOT #5/
MULTIFAMILY

MULTI/TECH ENGINEERING SERVICE 69
LIABILITY IF NOT STAMPED APPROVED
NOT FOR
CONSTRUCTION
UNLESS STAMPED
APPROVED HERE

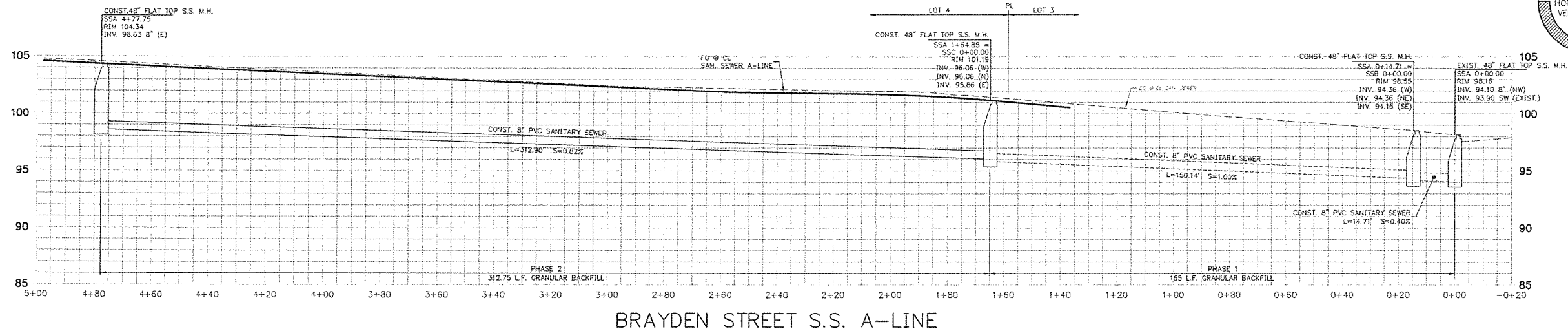
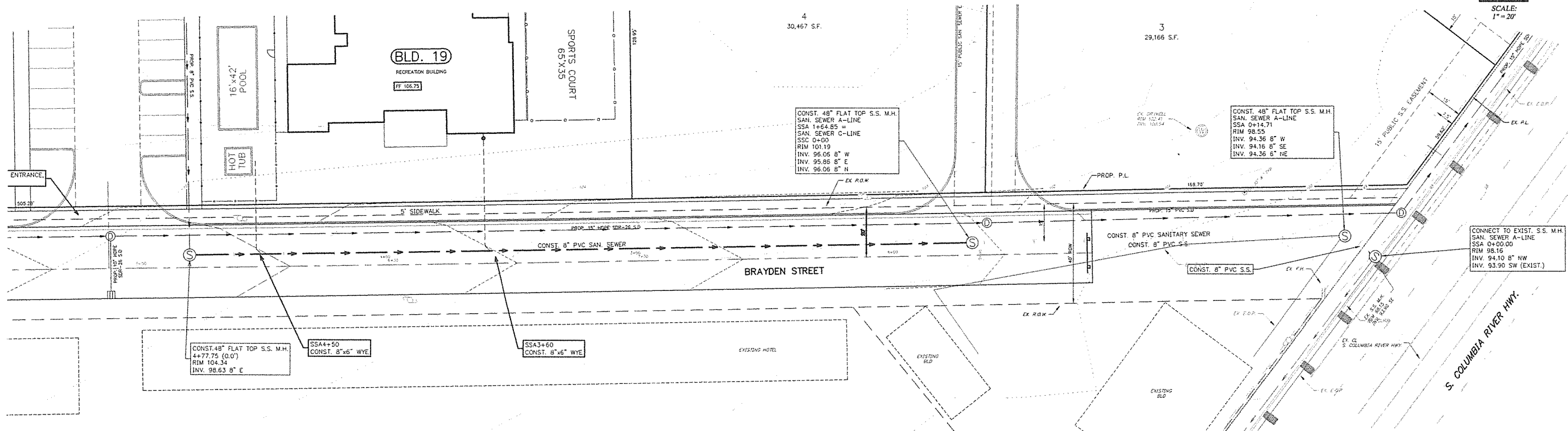
NO CHANGES, MODIFICATIONS
OR REPRODUCTIONS TO BE
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WITHOUT WRITING THE
AUTHOR'S NAME IN THE
DESIGN ENGINEER.
DIMENSIONS & NOTES TAKE
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Drawn: C.D.S.
Checked: M.D.G.
Date: SEPT. 2017
Scale: AS SHOWN
As-Built: # # #



EXPRES. 06-30-2019
JOB # 6433

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BRAYDEN STREET S.S. A-LINE

PUBLIC
SANITARY SEWER
IMPROVEMENTS

ST. HELENS
LOT #5/
MULTIFAMILY

MULTITECH ENGINEERING EXEMPT FROM
LIMITS IF NOT SHOWN APPROVED
NOT FOR
CONSTRUCTION
VALUES SHOWN
APPROVED 1/26/20

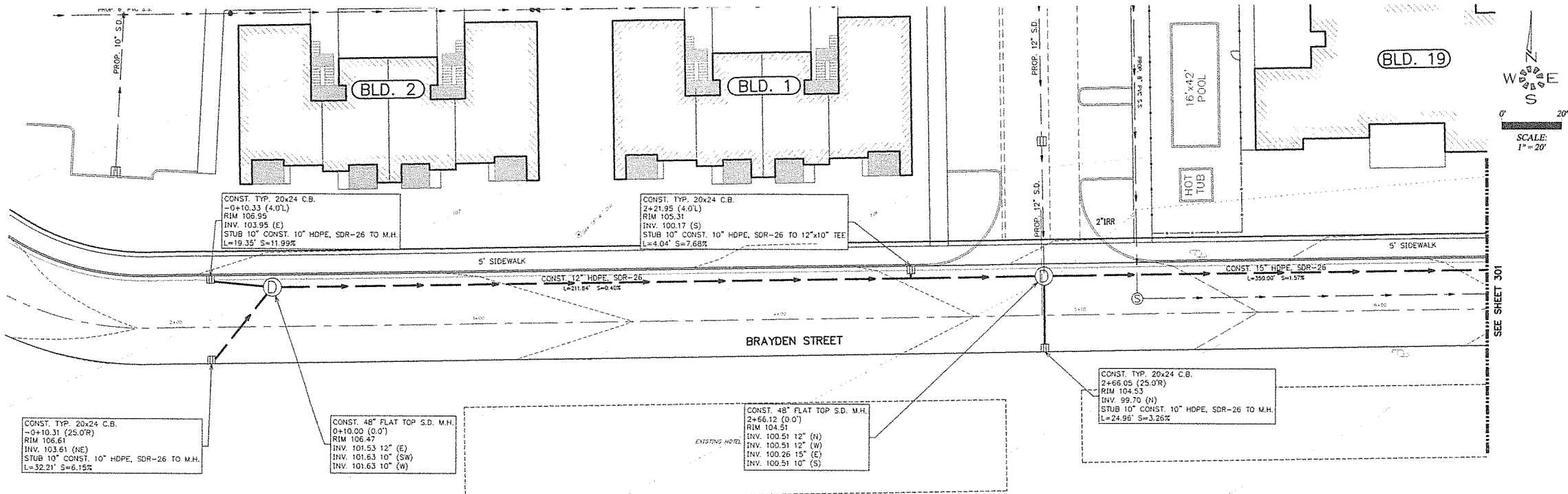
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Design: M.D.G.
Drawn: C.D.S.
Checked: M.D.G.
Date: SEPT. 2017
Scale: AS SHOWN
As-Built: ###



EXPRES 06-30-2019

JOB # 6433

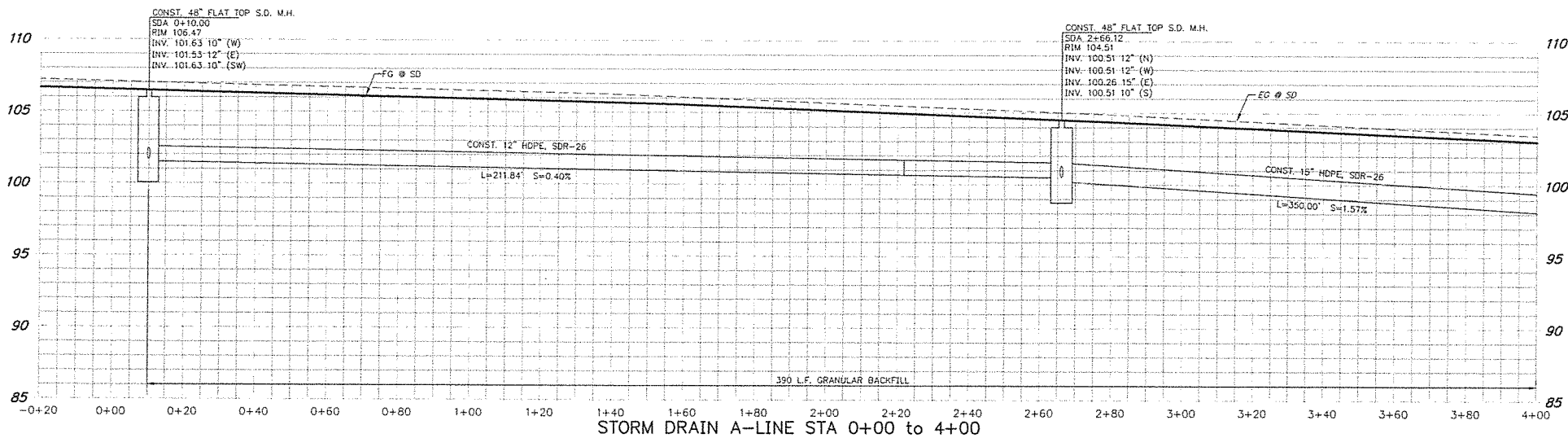


CONST. TYP. 20x24 C.B.
-0+10.31 (25.0'R)
RIM 106.61
INV. 103.61 (NE)
STUB 10" CONST. 10" HDPE, SDR-26 TO M.H.
L=32.21' S=6.15%

CONST. 48" FLAT TOP S.D. M.H.
0+10.00 (0.0')
RIM 106.47
INV. 101.63 10" (W)
INV. 101.63 12" (E)
INV. 101.63 10" (SW)
INV. 101.63 10" (W)

EXISTING M.H.
CONST. 48" FLAT TOP S.D. M.H.
2+56.12 (0.0')
RIM 104.51
INV. 100.51 12" (N)
INV. 100.51 12" (W)
INV. 100.26 15" (E)
INV. 100.51 10" (S)

CONST. TYP. 20x24 C.B.
2+66.05 (25.0'R)
RIM 104.53
INV. 99.70 (N)
STUB 10" CONST. 10" HDPE, SDR-26 TO M.H.
L=24.95' S=3.26%



STORM DRAIN A-LINE STA 0+00 TO 4+00

MULTI/TECH
ENGINEERING SERVICE
1135 13th St. S.E. Salem, OR 97302
PH. (503) 363-9227 FAX (503) 363-9202
www.multiphase.com

STORM DRAIN
IMPROVEMENTS -
BRAYDEN STREET

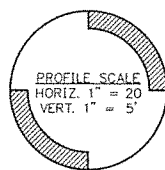
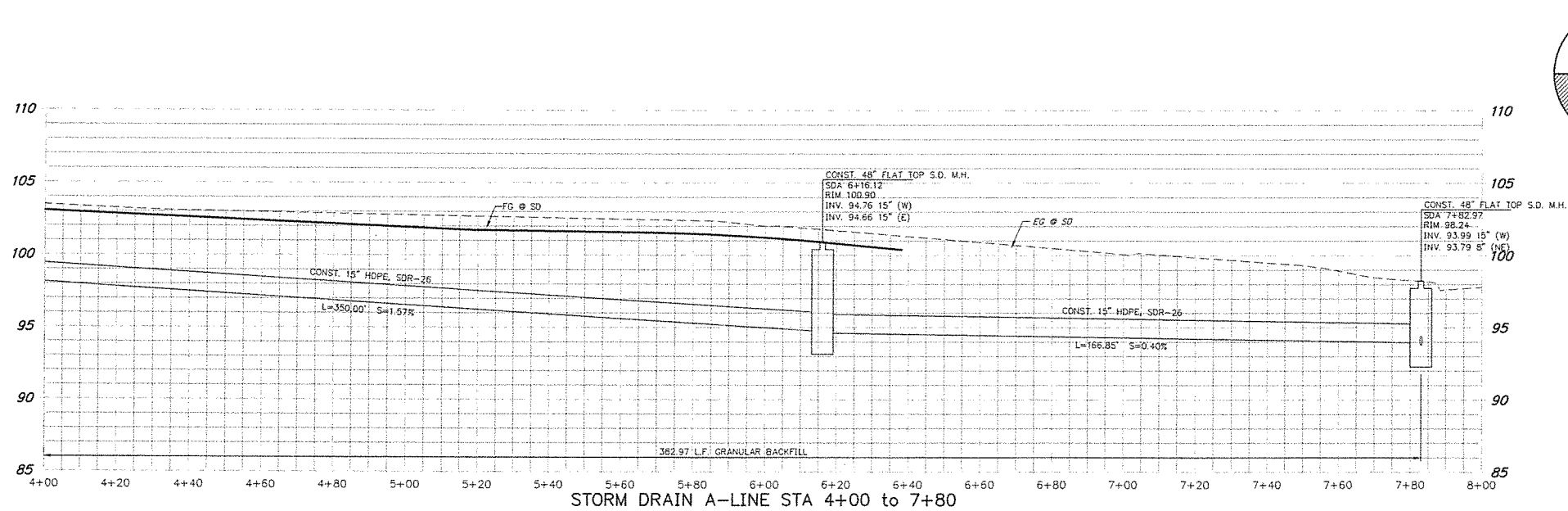
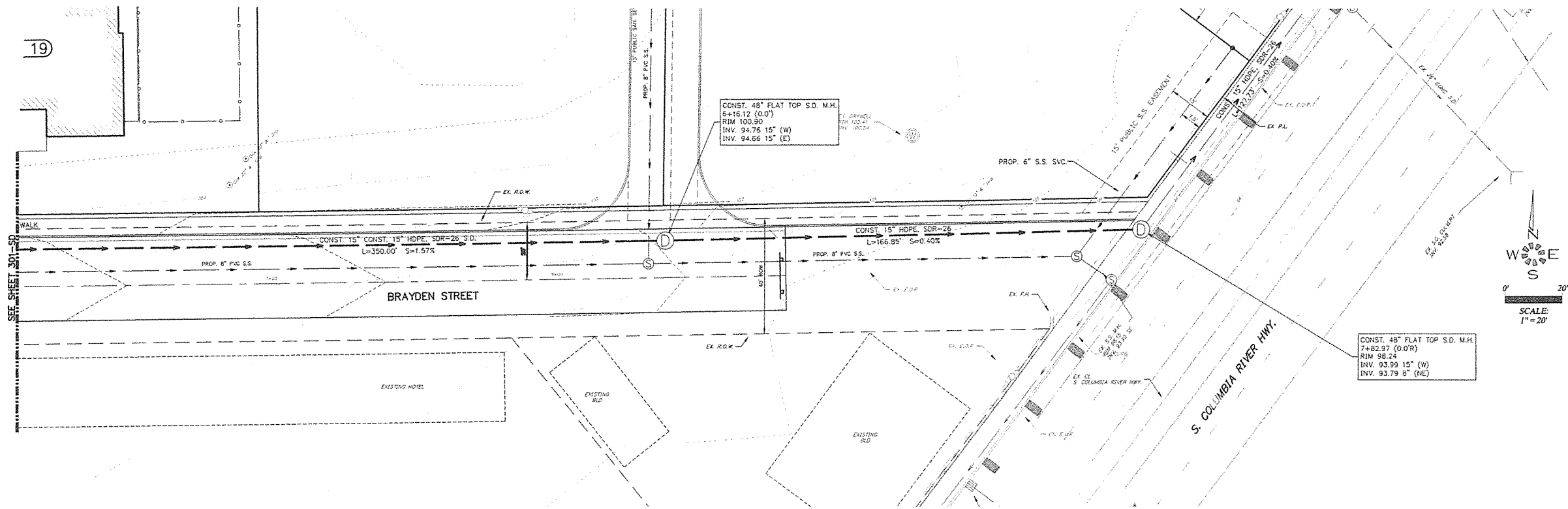
ST. HELENS
LOT #5/
MULTIFAMILY

MULTI/TECH ENGINEERING EXEMPT FROM
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Design: M.D.G.
Drawn: C.D.S.
Checked: M.D.G.
Date: SEPT. 2017
Scale: AS SHOWN
As-Built: #22#

REGISTERED PROFESSIONAL
ENGINEER
MARK D. GREGG
JULY 14, 1978
OREGON

EXP. 06-30-2019
JOB # 6433



STORM DRAIN -
IMPROVEMENTS -
BRAYDEN STREET

ST. HELENS
LOT #5/
MULTIFAMILY

MULTITECH ENGINEERING EXEMPT FROM
QUALITY CONTROL STANDARDS APPROVED
FOR THE
CONSTRUCTION
OF THIS PROJECT
DATE: 08-30-2019

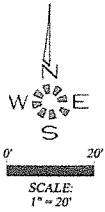
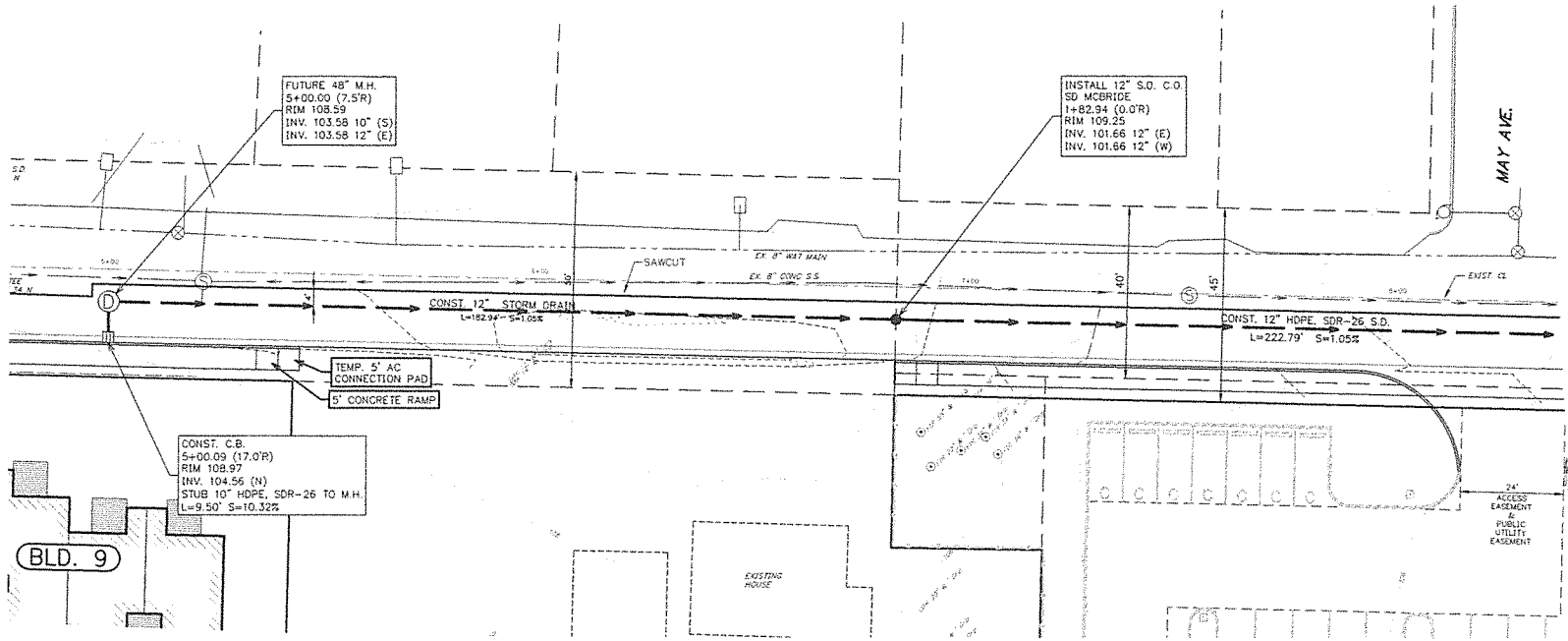
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Drawn: C.D.S.
Checked: M.D.G.
Date: SEPT. 2017
Scale: AS SHOWN
As-Built: # # #

REGISTERED PROFESSIONAL
ENGINEER
MARK D. GREY
JULY 14 1978
EXPIRES: 08-30-2019

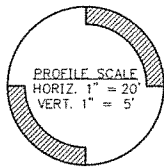
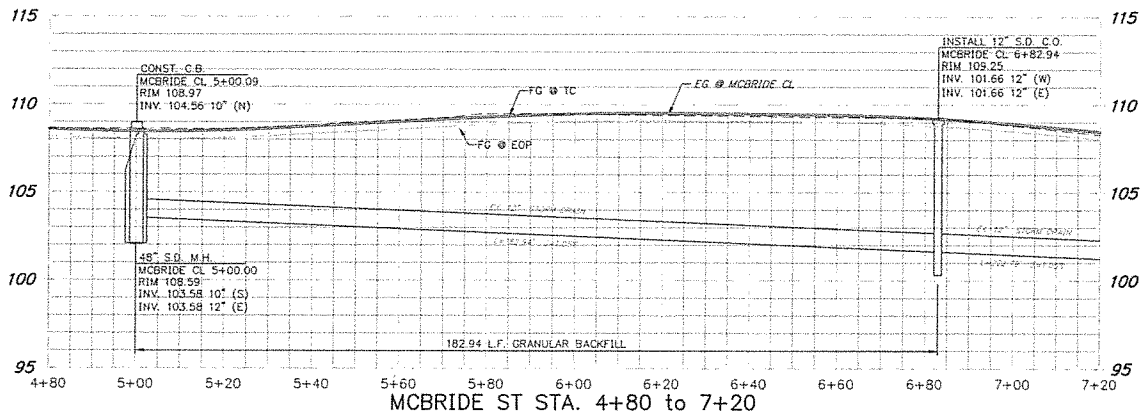
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STORM DRAIN -
IMPROVEMENTS -
MCBRIDE STREET

ST. HELENS
LOT #5/
MULTIFAMILY

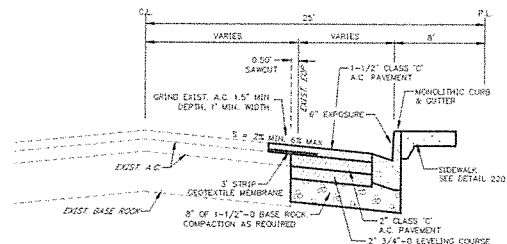
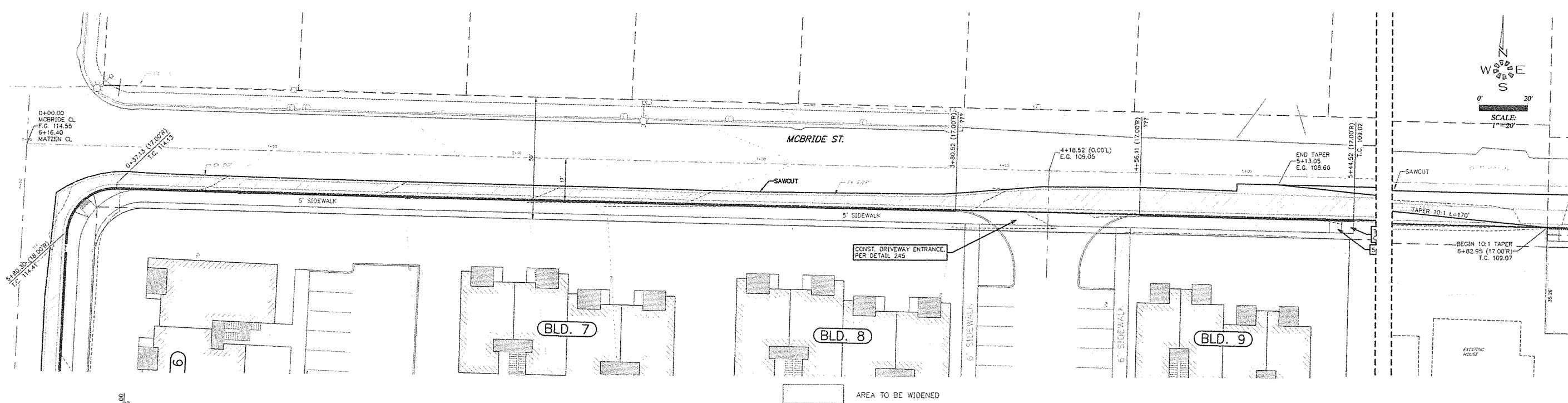


MULTITECH ENGINEERING EXEMPT FROM
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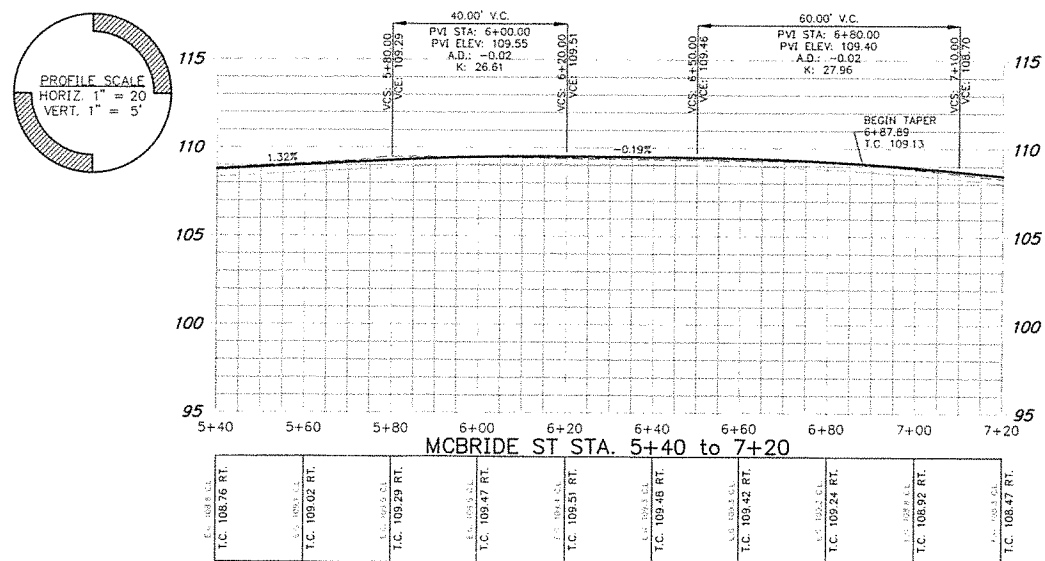
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Design: M.D.G.
Drawn: C.D.S.
Checked: M.D.G.
Date: SEPT 2017
Scale: AS SHOWN
As-Built: ###

REGISTERED PROFESSIONAL
ENGINEER
6 SE
OREGON
JULY 14, 1978
MARK D. GREY
EXPRES 06-30-2019
JOB # 6433



1. VERIFY EXISTING ASPHALT & BASE ROCK CONDITION
2. IF ACCEPTABLE, DETAIL IS APPROVED
3. IF NOT ACCEPTABLE, REMOVE & REPLACE AS REQUIRED TO OBTAIN STANDARD STREET CROSS SECTION.



PUBLIC
STREET IMPROVEMENTS
- MCBRIDE STREET

ST. HELENS
LOT #5/
MULTIFAMILY

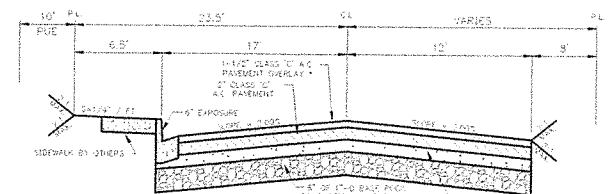
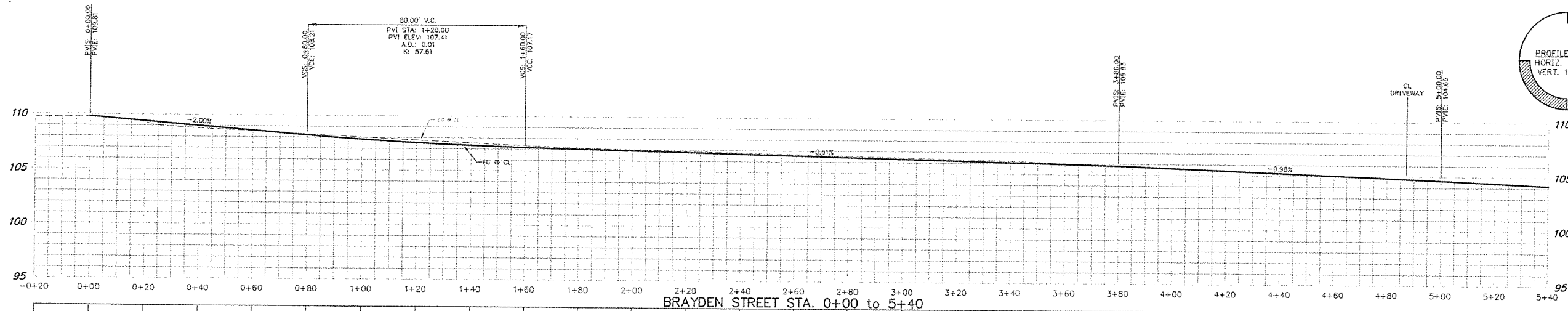
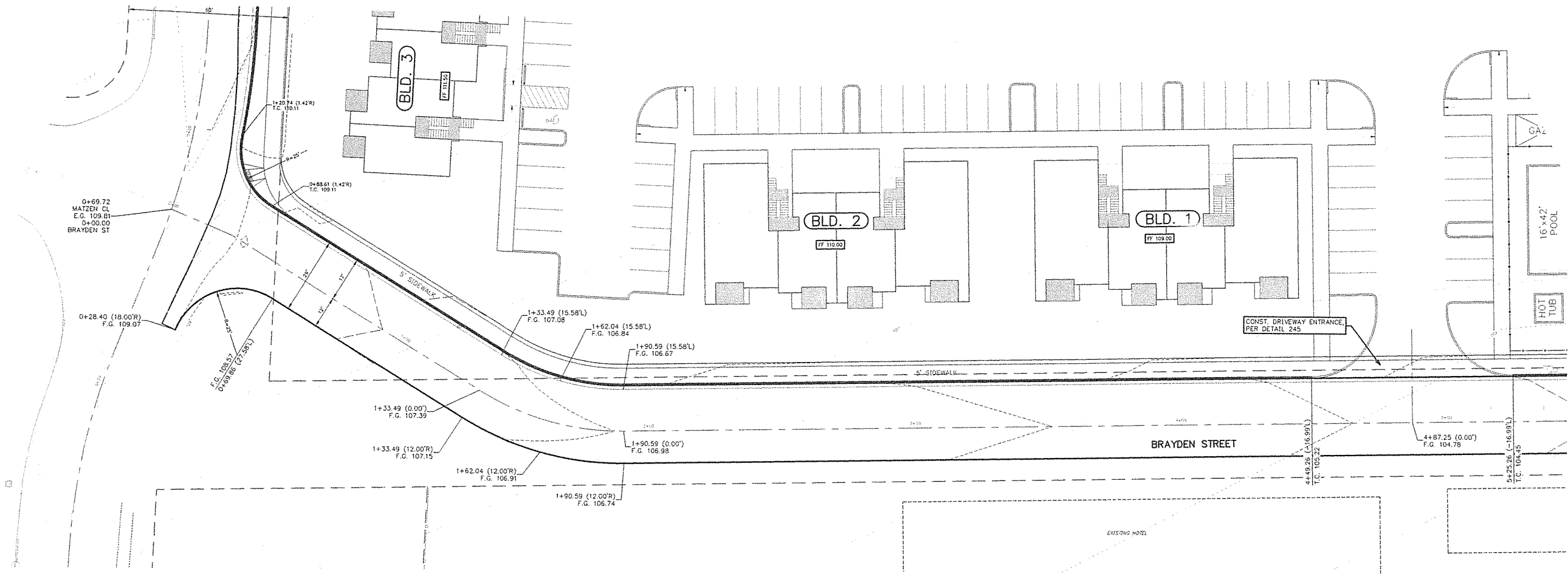
MULTITECH ENGINEERING EXEMPT FROM
QUALITY IF NOT OTHERWISE APPROVED
FOR THE
CONSULTANT
APPROVED

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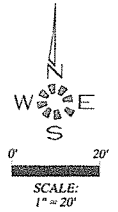
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Drawn: C.D.S.
Checked: M.D.G.
Date: SEPT 2017
Scale: AS SHOWN
As-Built: # # #

REGISTERED PROFESSIONAL
ENGINEER
MARK D. GREGG
JULY 14, 1978
EXPIRES 06-30-2019
JOB # 6433

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TYPICAL STREET SECTION
BRAYDEN STREET



MULTI/TECH
ENGINEERING SERVICE 789
1195 13TH ST. S.E. SALEM, OR 97331
PH: (503) 363-4227 FAX: (503) 364-1268
www.mteengineering.net office@mteengineering.net

PUBLIC
STREET IMPROVEMENTS
SOUTH ROAD

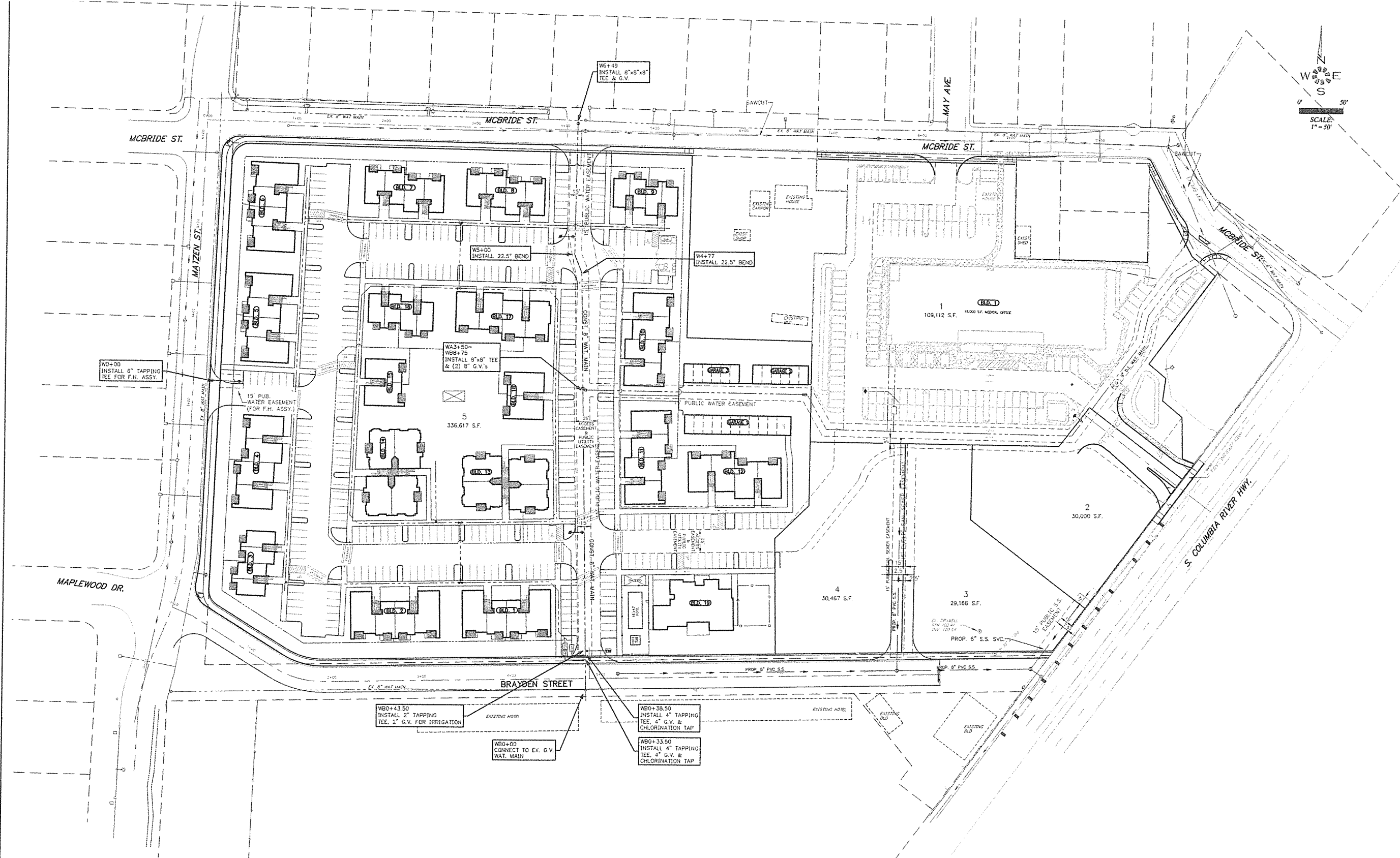
ST. HELENS
LOT #5/
MULTIFAMILY

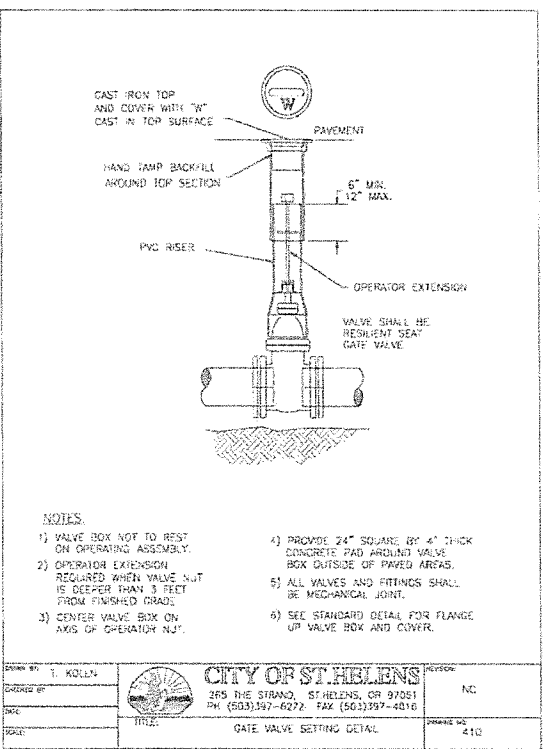
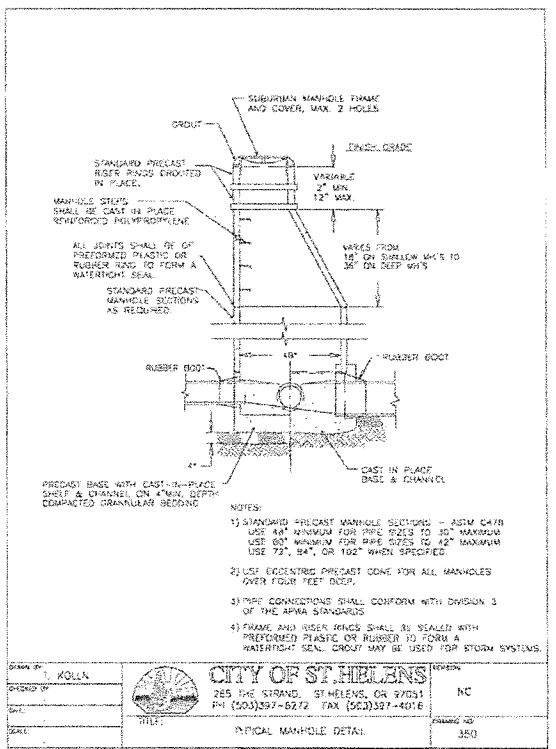
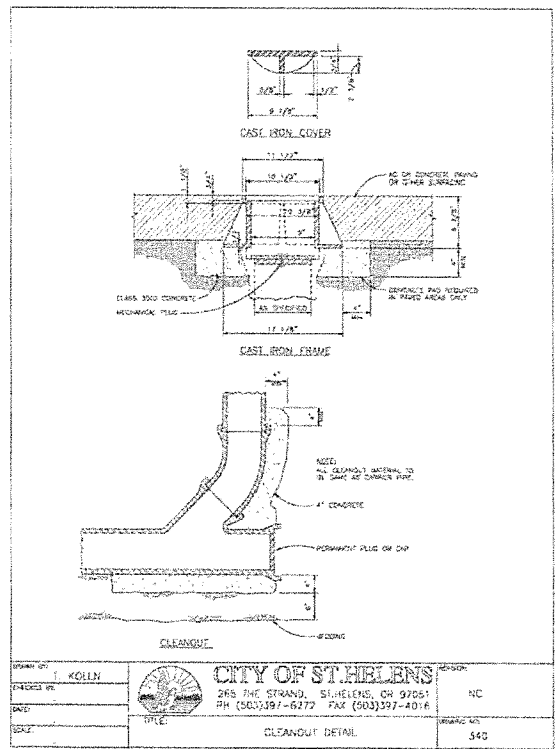
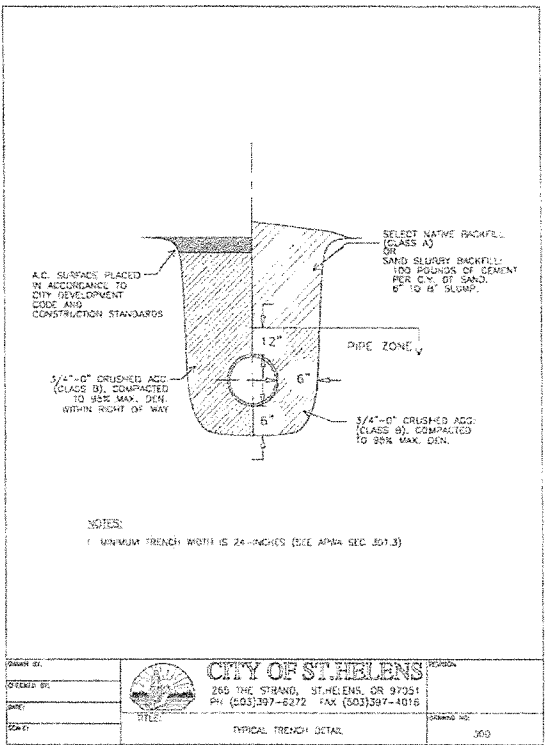
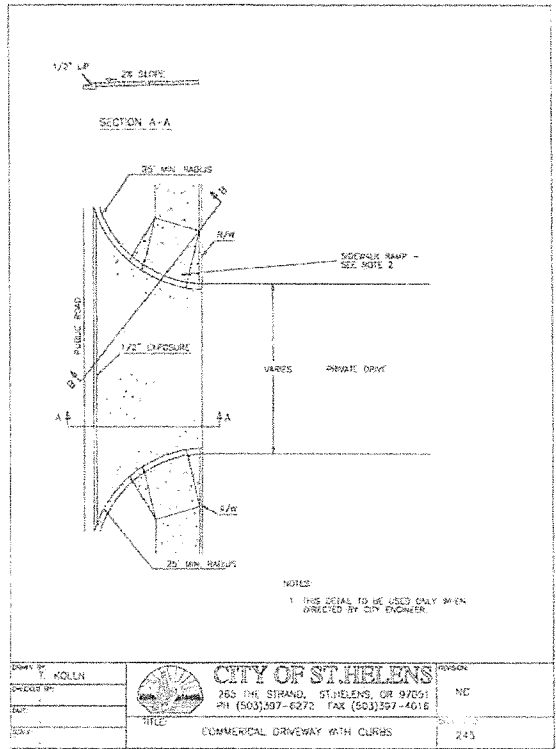
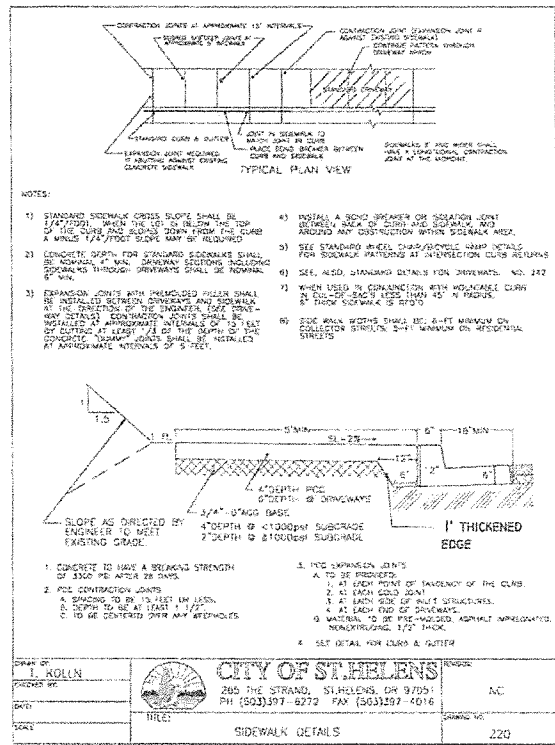
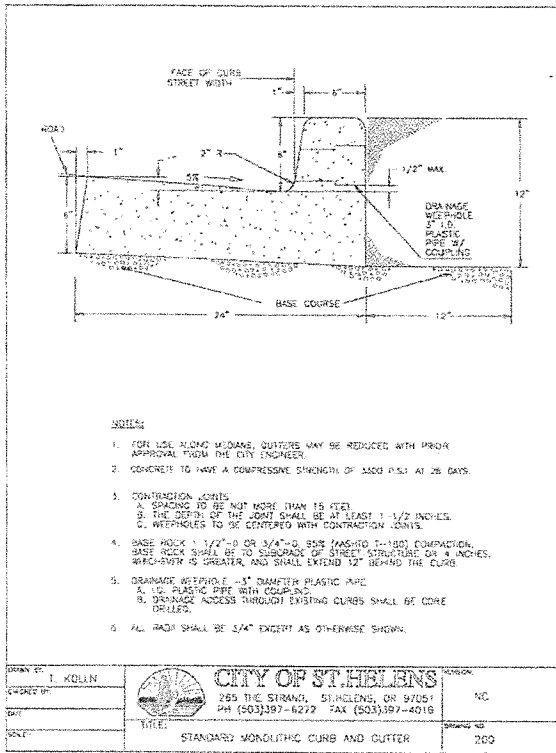
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LIABILITY IF NOT STAMPED APPROVED
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CONSTRUCTION
BASED SURVEY
APPROVED SIGN

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Design: M.D.G.
Drawn: C.D.S.
Checked: M.D.G.
Date: SEPT. 2017
Scale: AS SHOWN
As-Built: ###

REGISTERED PROFESSIONAL
ENGINEER
JULY 1978
MARK D. GREY
EXPIRES 06-30-2019
JOB # 6433





DETAIL SHEET

ST. HELENS
LOT #5/
MULTIFAMILY

MULTITECH ENGINEERING EXEMPT FROM
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CONSTRUCTION
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Drawn: C.D.G.
Checked: M.D.G.
Date: SEPT. 2017
Scale: AS SHOWN
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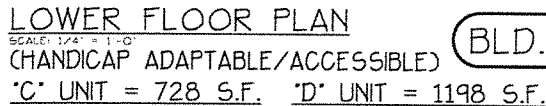
REGISTERED PROFESSIONAL
ENGINEER
MARK D. GRIFFIN
JULY 11, 1978
EXPIRES 06-30-2019

**ST. HELENS
APARTMENT COMPLEX**

Design: P.L.M.
Drawn: G.D.
Checked: M.D.C.
Date: Apr-18
Scale: AS SHOWN

Professional Engineer Seal for Mark D. Spenz, Oregon, License No. 1255, Commission Expires July 14, 1978.

A1.31



CONSTRUCTION TYPE V B SPRINKLED
SEE WALL DETAIL SHEETS FOR
SHEETROCK APPLICATION.

TYPE C UNITS

FLOOR/CEILING ASSEMBLY AT TUB/SHOWERS

TYPE D UNIT

SEE 'GENERAL STRUCTURAL NOTES'
ON SHEET A1.2 BEFORE BEGINNING
ANY CONSTRUCTION.

HANDICAP UNIT NOTES:

THE UNITS HAVE BEEN DESIGNED TO COMPLY WITH OSBC 2014 REVISED TO BE EFFECTIVE APRIL 1, 2014. CHAPTER 11 OF THE OSBC 2014 REVISED INCORPORATES AS PART OF IT AMERICAN NATIONAL STANDARD ICC/ANSI A117.1-1003. WITH ICC/ANSI A117.1 CHAPTER 10 SETS OUT SPECIFIC CODE REQUIREMENTS FOR DWELLING AND SLEEPING UNITS. CHAPTER 10 SETS OUT THE CODE REQUIREMENTS THAT ALL GROUND FLOOR UNITS MUST MEET.

THE INTENT IS THAT 'ALL' GROUND FLOOR UNITS ARE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE.

WITHIN THE PROJECT THERE ARE TYPE 'A' UNITS WHICH MUST MEET SPECIFIC REQUIREMENTS SET OUT IN ICC/ANSI A117.1, CHAPTER 10, SECTION 1003.

WITHIN THE PROJECT THERE ARE ALSO TYPE 'B' UNITS WHICH MUST MEET SPECIFIC REQUIREMENTS SET OUT IN ICC/ANSI A117.1 CHAPTER 10 SECTION 1004. ALL ACCESSIBLE FLOOR UNITS WITHIN THIS PROJECT ARE TO BE TYPE 'B' UNITS UNLESS SPECIFICALLY DESIGNATED TYPE 'A' UNITS. WITHIN THESE TYPE 'B' UNITS THE MAIN BATHROOM (OR ONLY BATHROOM) SHALL BE DESIGNATED AS AN OPTION 'B' ADAPTABLE BATHROOM WHICH MUST MEET THE REQUIREMENTS OF ICC/ANSI A117.1 SECTION 1004.11.3.2.

ATTACHED TO THE DRAWING SETS ARE OUR SHEETS ADA-1 THRU 5
THAT SET OUT SPECIFIC INFORMATION FROM OSSC 2014, CHAPTER 10
AS WELL AS THE REFERENCED DOCUMENTS. THE DRAWINGS SET OUT
SPECIFIC MINIMUM ELEMENTS AND DIMENSIONS THAT MUST BE MET TO
ASSURE COMPLIANCE WITH THIS CODE.

DOOR SCHEDULE											
DOORS								FRAMES		REMARKS	
NO.	WIDTH	HEIGHT	THICK	TYPE	MATERIAL	FIN	TYPE	MATERIAL	FIN		
1	3'-0"	6'-6"	3/4"	MTL	GLAD	PANT	B	METAL	PANT		S PANEL 60 IN RASTY RT / THRESHOLD WEATHERSTRIP CLOSERS
2	3'-0"	6'-6"	3/4"	MTL	GLAD	PANT	B	METAL	PANT		S PANEL W/ THRESHOLD WEATHERSTRIP AND RETED LOCK
3	2'-6"	6'-6"	3/4"	MTL	GLAD	PANT	B	METAL	PANT		FULL LIT THRP GLASS LOCK THRESHOLD + WEATHERSTRIP
4	2'-6"	6'-6"	3/4"	MTL	GLAD	PANT	B	METAL	PANT		W/ THRESHOLD WEATHERSTRIP AND RETED LOCK
5	3'-0"	6'-6"	3/8"	H.C.	BIRCH	STAIN	E	H.F.M.	O.C.K	STAIN	
6	3'-0"	6'-6"	3/8"	H.C.	BIRCH	STAIN	E	H.F.M.	O.C.K	STAIN	
7	2'-0"	6'-6"	3/8"	H.C.	BIRCH	STAIN	E	H.F.M.	O.C.K	STAIN	
8	2'-0"	6'-6"	3/8"	H.C.	BIRCH	STAIN	E	H.F.M.	O.C.K	STAIN	
9	2'-6"	6'-6"	3/8"	H.C.	BIRCH	STAIN	E	H.F.M.	O.C.K	STAIN	
10	2'-6"	6'-6"	3/8"	H.C.	BIRCH	STAIN	E	H.F.M.	O.C.K	STAIN	
11	2'-0"	6'-6"	3/8"	H.C.	BIRCH	STAIN	E	H.F.M.	O.C.K	STAIN	
12	2'-0"	6'-6"	3/8"	H.C.	BIRCH	STAIN	E	H.F.M.	O.C.K	STAIN	
13	2'-0"	6'-6"	3/8"	H.C.	BIRCH	STAIN	E	H.F.M.	O.C.K	STAIN	
14	2'-0"	6'-6"	3/8"	H.C.	BIRCH	STAIN	E	H.F.M.	O.C.K	STAIN	
15	4'-0"	6'-6"	3/8"	H.C.	BIRCH	STAIN	E	H.F.M.	O.C.K	STAIN	
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17	3'-0"	6'-6"	3/8"	H.C.	BIRCH	STAIN	E	H.F.M.	O.C.K	STAIN	
18	3'-0"	6'-6"	3/8"	H.C.	BIRCH	STAIN	E	H.F.M.	O.C.K	STAIN	
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34	3'-0"	6'-6"	3/8"	H.C.	BIRCH	STAIN	E	H.F.M.	O.C.K	STAIN	
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36	3'-0"	6'-6"	3/8"	H.C.	BIRCH	STAIN	E	H.F.M.	O.C.K	STAIN	
37	3'-0"	6'-6"	3/8"	H.C.	BIRCH	STAIN	E	H.F.M.	O.C.K	STAIN	
38	3'-0"	6'-6"	3/8"	H.C.	BIRCH	STAIN	E	H.F.M.	O.C.K	STAIN	
39	3'-0"	6'-6"	3/8"	H.C.	BIRCH	STAIN	E	H.F.M.	O.C.K	STAIN	

FLOOR 7 CONT.

WINDOW SCHEDULE							
Q	SIZE	TYPE	MFG.	COLOR	INSUL.	REMARKS	HEADERS
01	3 0 X 1 0	VNLT STAT	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF R1 4x12
02	3 0 X 1 6	VNLT STAT	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF R1 4x12
03	3 0 X 4 6	VNLT SGL	MILGARD	WHITE	YES	SINGLE HUNG W/ SCREEN	DF R1 4x12
04	3 6 X 4 6	VNLT SLD	MILGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DF R1 4x12
05	4 0 X 3 6	VNLT SGL	MILGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DF R1 4x12
06	4 0 X 4 6	VNLT SLD	MILGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DF R1 4x12
07	4 0 X 5 0	VNLT SLD	MILGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DF R1 4x12
08	5 0 X 2 6	VNLT SGL	MILGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DF R1 6x6 (SEE ALT. HEADER DETAIL SHT. A14-403)
09	5 0 X 4 6	VNLT SLD	MILGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DF R1 4x12
10	5 0 X 5 0	VNLT SLD	MILGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DF R1 4x12
11	6 0 X 4 6	VNLT SLD	MILGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DF R1 6x6 (SEE ALT. HEADER DETAIL SHT. A14-403)
12	4 0 X 5 0	CASEMENT	MILGARD	WHITE	YES	CASEMENT W/ SCREEN	DF R1 4x12

NOTE: ALL ACCESSIBLE DOORS SHALL BE PROVIDED WITH
LEVER DOOR HARDWARE + OTHER OPERATING DEVICES IN
COMPLIANCE WITH ICC/ANSI A117.1 SECTIONS 309.4. + 404.2.6.

NOTE: MAX U-VALUE FOR ALL WINDOWS AS PER TABLE 401.1(2) OF ESC U-0.32.

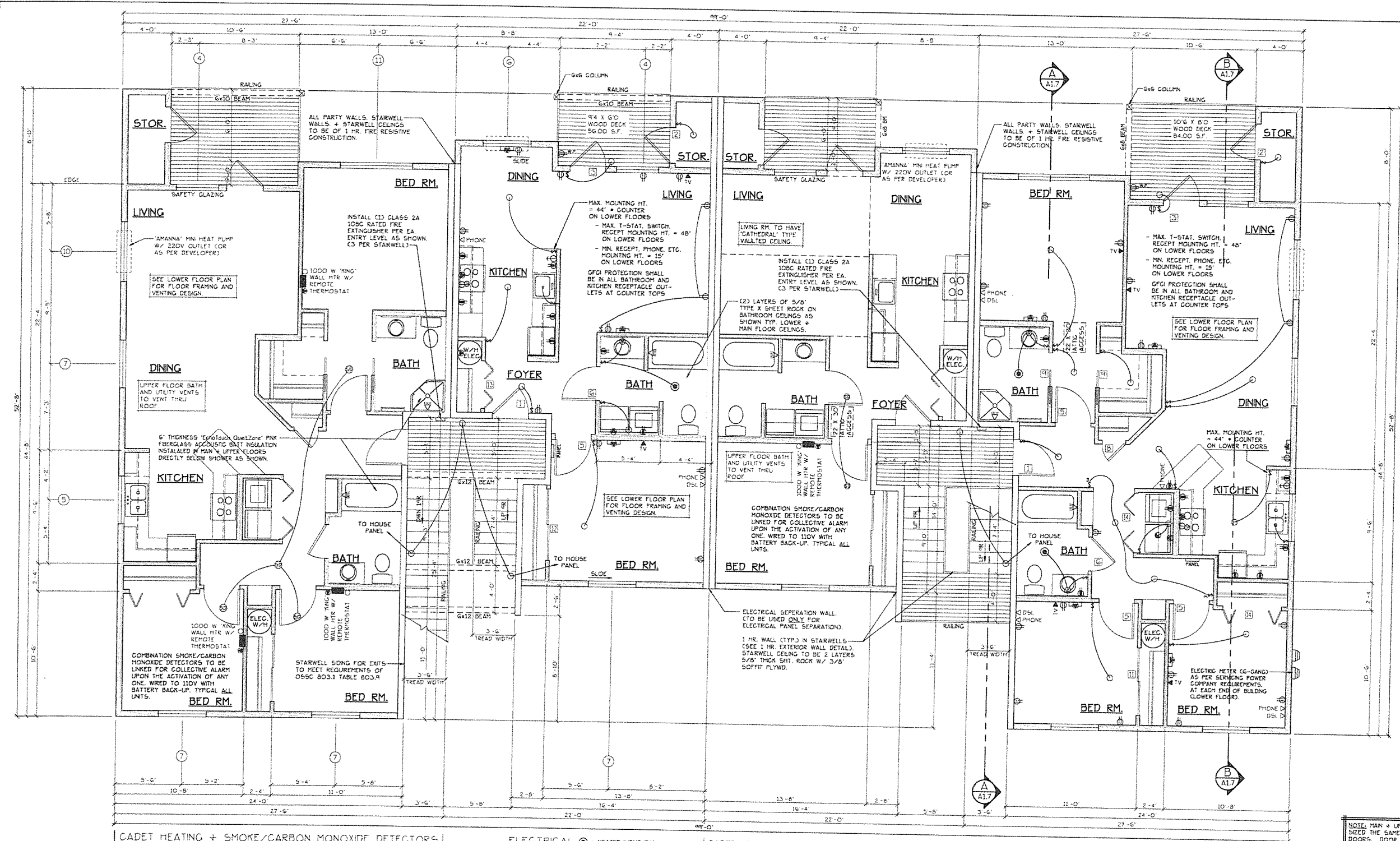
NOTE: WINDOW SILLS MORE THAN 72" ABOVE FINISH GRADE SHALL BE A MINIMUM OF 36" ABOVE FINISH FLOOR SURFACE (OR) BE INSTALLED WITH WINDOW OPENING CONTROL DEVICES IN COMPLIANCE WITH THE 2014 OSBC SECTIONS 1013.8.1 AND 1028.4

NOTE: FOR WINDOW PLACEMENT SEE "WINDOW PLACEMENT FOR EGRESS AND FALL PROTECTION" DETAIL ON SHEET AB-40.

CONSTRUCTION TYPE V B SPRINKLED

GENERAL NOTES:

1. ALL EXTERIOR WALLS TO BE 2 X 6 STUDS. ALL OTHER WALLS TO BE 2 X 4 STUDS UNLESS OTHERWISE NOTED.
2. FIRE BLOCK CONCEALED SPACERS (VERTICAL + HORIZONTAL) AS PER DSGG 710.2.2 AND DSGG 710.2.3.
3. PRIOR TO INSTALLATION OF FIBERGLASS TUB/SHOWER + SHOWER UNITS, SHEET ROCK SHALL BE APPLIED TO STUD WALLS AS INDICATED ON PLANS.
4. ALL BATH FANS TO HAVE MIN. 80 CFM RANGE HOOD EXHAUST FANS TO HAVE MIN. 150 CFM.
5. ELECTRO OUTLETS IN 1 HR. WALL MAY NOT BE BACK TO BACK AND MUST BE SEPARATED BY HORIZONTAL DISTANCE OF 2'-0".
6. ALL EXTERIOR FLOOR LIGHTING SHALL BE CONNECTED TO HOUSE PANELS LOCATED IN ON-SITE UTILITY ROOMS + STORAGE BLDGS.
7. AS PER DSGG HIGH-EFFICIENCY LIGHTING SYSTEMS - A MINIMUM OF 50 PERCENT OF THE LAMPS IS PERMANENTLY NONGLOW LIGHTING FIXTURES SHALL BE COMPACT OR NEAR FLUORESCENT OR A LIGHTING SOURCE THAT HAS MINIMUM EFFICACY OF 40 LUMENS PER INPUT WATT.
8. ALL TYPE "A" ACCESSIBLE UNITS REQUIRE THE PATIO TO BE AT SAME LEVEL AS DWELLING UNIT.



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"
'C' UNIT = 728 S.F.
'D' UNIT = 1198 S.F.

TYPE D UNIT
BLD. 1.5+6

TYPE C UNIT

TYPE C UNIT
UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"

TYPE D UNIT

DOOR SCHEDULE										
DOORS					FRAMES			REMARKS		
NO.	WIDTH	HEIGHT	THICK	TYPE	MATL.	FIN.	APP.			
(1)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	A	METAL	PANT	G PANEL, 20 PH RATIO 4557 W/ THRESHOLD WEATHERSTOP CLOSURE H PANEL, 20 PH RATIO 4557 W/ THRESHOLD WEATHERSTOP AND RETED LOCK FIXED LITE 1/4" THIN GLASS LOKER THRESHOLD 2 WEATHERSTOP W/ THRESHOLD WEATHERSTOP AND RETED LOCK
(2)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	B	METAL	PANT	
(3)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	C	METAL	PANT	
(4)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	D	METAL	PANT	
(5)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	E	MFL OCK	STAIN	**
(6)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	F	MFL OCK	STAIN	
(7)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	G	MFL OCK	STAIN	
(8)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	H	MFL OCK	STAIN	
(9)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	I	MFL OCK	STAIN	POCKET DOOR POCKET DOOR **
(10)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	J	MFL OCK	STAIN	
(11)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	K	MFL OCK	STAIN	
(12)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	L	MFL OCK	STAIN	
(13)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	M	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(14)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	N	MFL OCK	STAIN	
(15)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	O	MFL OCK	STAIN	
(16)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	P	MFL OCK	STAIN	
(17)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	Q	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(18)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	R	MFL OCK	STAIN	
(19)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	S	MFL OCK	STAIN	
(20)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	T	MFL OCK	STAIN	
(21)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	U	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(22)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	V	MFL OCK	STAIN	
(23)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	W	MFL OCK	STAIN	
(24)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	X	MFL OCK	STAIN	
(25)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	Y	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(26)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	Z	MFL OCK	STAIN	
(27)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	AA	MFL OCK	STAIN	
(28)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	AB	MFL OCK	STAIN	
(29)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	AC	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(30)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	AD	MFL OCK	STAIN	
(31)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	AE	MFL OCK	STAIN	
(32)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	AF	MFL OCK	STAIN	
(33)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	AG	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(34)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	AH	MFL OCK	STAIN	
(35)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	AI	MFL OCK	STAIN	
(36)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	AJ	MFL OCK	STAIN	
(37)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	AK	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(38)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	AL	MFL OCK	STAIN	
(39)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	AM	MFL OCK	STAIN	
(40)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	AN	MFL OCK	STAIN	
(41)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	AO	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(42)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	AP	MFL OCK	STAIN	
(43)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	AQ	MFL OCK	STAIN	
(44)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	AR	MFL OCK	STAIN	
(45)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	AS	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(46)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	AT	MFL OCK	STAIN	
(47)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	AU	MFL OCK	STAIN	
(48)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	AV	MFL OCK	STAIN	
(49)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	AW	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(50)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	AX	MFL OCK	STAIN	
(51)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	AY	MFL OCK	STAIN	
(52)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	AZ	MFL OCK	STAIN	
(53)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	BA	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(54)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	BB	MFL OCK	STAIN	
(55)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	BC	MFL OCK	STAIN	
(56)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	BD	MFL OCK	STAIN	
(57)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	BE	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(58)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	BF	MFL OCK	STAIN	
(59)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	BG	MFL OCK	STAIN	
(60)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	BH	MFL OCK	STAIN	
(61)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	BI	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(62)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	BJ	MFL OCK	STAIN	
(63)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	BK	MFL OCK	STAIN	
(64)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	BL	MFL OCK	STAIN	
(65)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	BM	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(66)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	BN	MFL OCK	STAIN	
(67)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	BO	MFL OCK	STAIN	
(68)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	BP	MFL OCK	STAIN	
(69)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	BQ	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(70)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	BR	MFL OCK	STAIN	
(71)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	BS	MFL OCK	STAIN	
(72)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	BT	MFL OCK	STAIN	
(73)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	BU	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(74)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	BV	MFL OCK	STAIN	
(75)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	BW	MFL OCK	STAIN	
(76)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	BX	MFL OCK	STAIN	
(77)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	BY	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(78)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	BZ	MFL OCK	STAIN	
(79)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	CA	MFL OCK	STAIN	
(80)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	CB	MFL OCK	STAIN	
(81)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	CC	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(82)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	CD	MFL OCK	STAIN	
(83)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	CE	MFL OCK	STAIN	
(84)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	CF	MFL OCK	STAIN	
(85)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	CG	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(86)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	CH	MFL OCK	STAIN	
(87)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	CI	MFL OCK	STAIN	
(88)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	CJ	MFL OCK	STAIN	
(89)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	CK	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(90)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	CL	MFL OCK	STAIN	
(91)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	CM	MFL OCK	STAIN	
(92)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	CN	MFL OCK	STAIN	
(93)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	CO	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(94)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	CP	MFL OCK	STAIN	
(95)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	CQ	MFL OCK	STAIN	
(96)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	CR	MFL OCK	STAIN	
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(98)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	CT	MFL OCK	STAIN	
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(104)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	CZ	MFL OCK	STAIN	
(105)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	DA	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(106)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	DB	MFL OCK	STAIN	
(107)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	DC	MFL OCK	STAIN	
(108)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	DD	MFL OCK	STAIN	
(109)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	DE	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(110)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	DF	MFL OCK	STAIN	
(111)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	DG	MFL OCK	STAIN	
(112)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	DH	MFL OCK	STAIN	
(113)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	DI	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(114)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	DJ	MFL OCK	STAIN	
(115)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	DK	MFL OCK	STAIN	
(116)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	DL	MFL OCK	STAIN	
(117)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	DM	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(118)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	DN	MFL OCK	STAIN	
(119)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	DO	MFL OCK	STAIN	
(120)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	DP	MFL OCK	STAIN	
(121)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	DQ	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(122)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	DR	MFL OCK	STAIN	
(123)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	DS	MFL OCK	STAIN	
(124)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	DT	MFL OCK	STAIN	
(125)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	DU	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(126)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	DV	MFL OCK	STAIN	
(127)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	DW	MFL OCK	STAIN	
(128)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	DX	MFL OCK	STAIN	
(129)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	DY	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(130)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	DZ	MFL OCK	STAIN	
(131)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	EA	MFL OCK	STAIN	
(132)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	EB	MFL OCK	STAIN	
(133)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	EC	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(134)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	ED	MFL OCK	STAIN	
(135)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	EE	MFL OCK	STAIN	
(136)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	EF	MFL OCK	STAIN	
(137)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	EG	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(138)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	EH	MFL OCK	STAIN	
(139)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	EI	MFL OCK	STAIN	
(140)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	EJ	MFL OCK	STAIN	
(141)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	EK	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(142)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	EL	MFL OCK	STAIN	
(143)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	EM	MFL OCK	STAIN	
(144)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	EN	MFL OCK	STAIN	
(145)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	EO	MFL OCK	STAIN	B-PASS DOOR B-PASS DOOR B-PASS DOOR B-PASS DOOR
(146)	3'-0"	6'-8"	3/4"	MFL	GLAD	PANT	EP	MFL OCK	STAIN	
(147)	3'-0"	6'-8"	3							

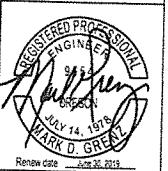


BUILDING ELEVATIONS

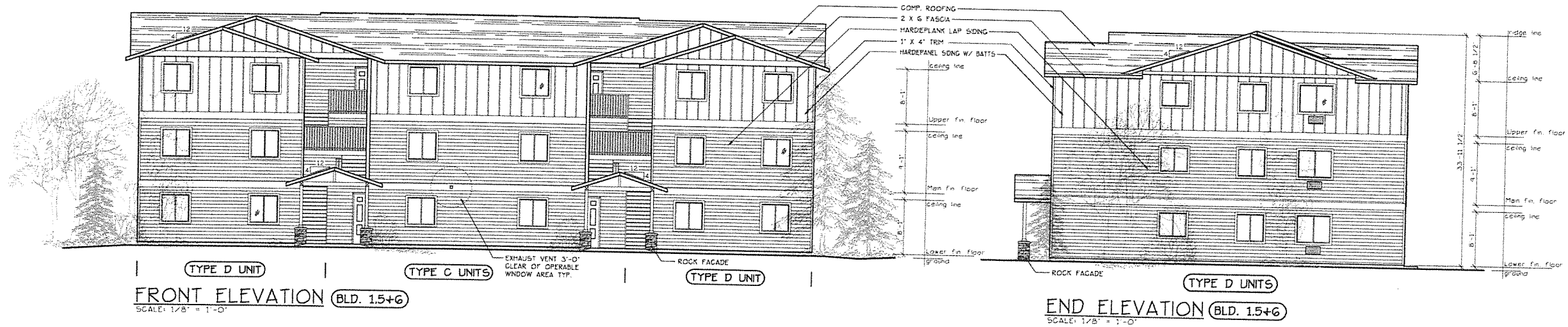
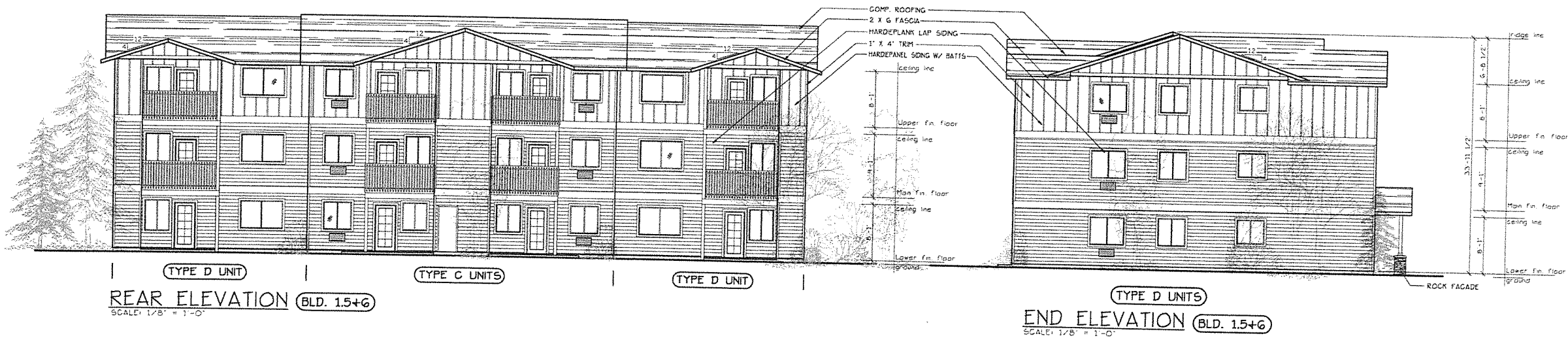
ST. HELENS APARTMENT COMPLEX

NO CHANGES, MODIFICATIONS OR REPRODUCTIONS TO BE MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION FROM THE DESIGN ENGINEER.
DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

DESIGN:	P.L.M.
DRAWN:	G.I.D.
CHECKED:	M.D.G.
DATE:	Apr-18
SCALE:	AS SHOWN
JOB # 6433	



A1.80



LOWER FLOOR PLAN

ST. HELENS APARTMENT COMPLEX

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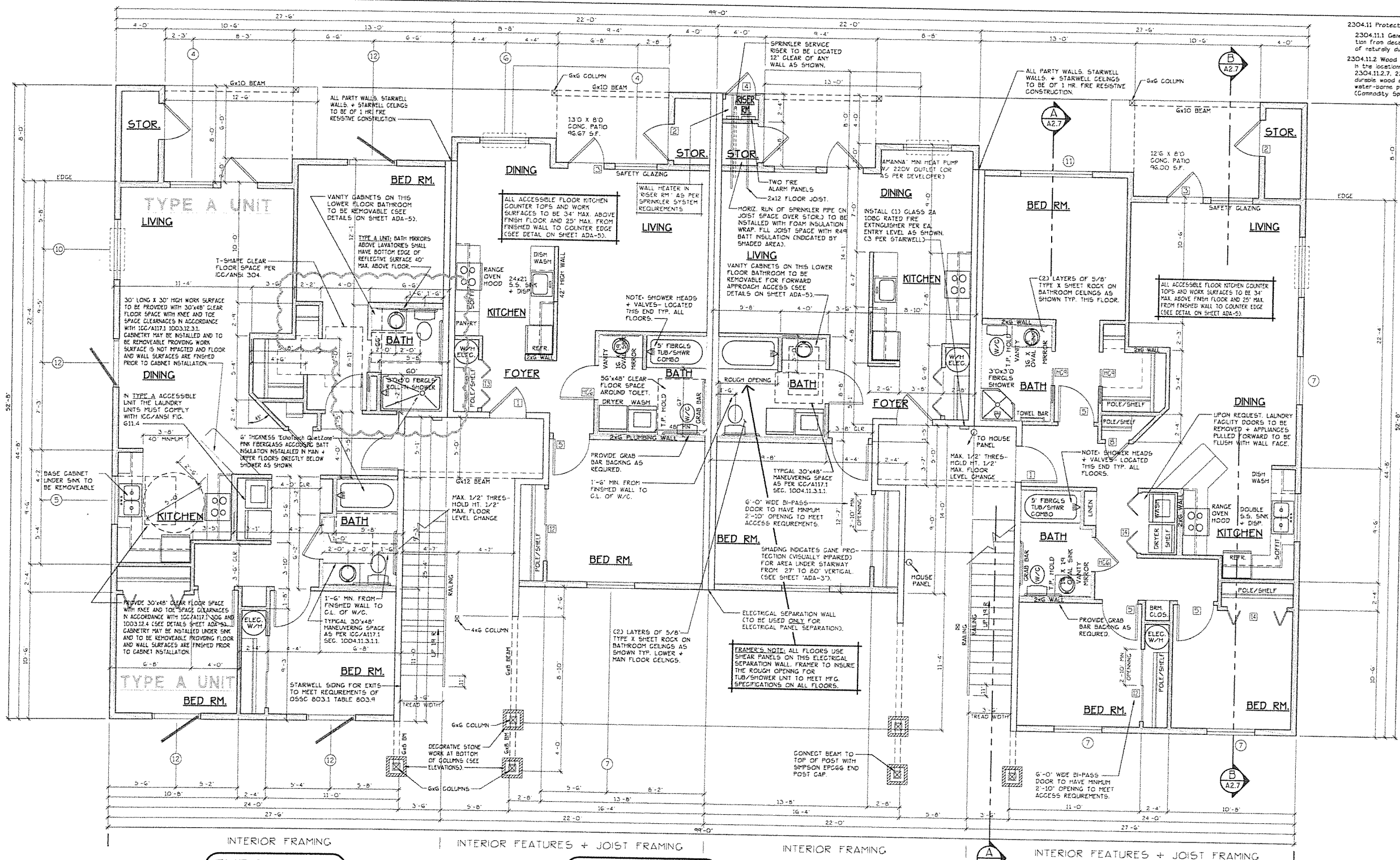
NO CHANGES, MODIFICATIONS OR REPRODUCTIONS TO BE MADE TO THESE DRAWINGS WITHOUT WRITTEN PERMISSION FROM THE DESIGN ENGINEER.

NO CHANGES, MODIFICATIONS OR REPRODUCTIONS TO BE MADE TO THESE DRAWINGS WITHOUT WRITTEN PERMISSION FROM THE DESIGN ENGINEER.

Design: P.L.M.
Drawn: G.L.D.
Checked: M.D.G.
Date: APR-18
Scale: AS SHOWN

REGISTERED PROFESSIONAL ENGINEER
MARK D. SPUR
MAY 1978
RENEW DATE: 2026-2028

A2.31



LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0"

(HANDICAP ADAPTABLE/ACCESSIBLE)

'C' UNIT = 728 S.F. 'D' UNIT = 1198 S.F.

TYPE D UNIT

BLD. 2

CONSTRUCTION TYPE V B SPRINKLED
SEE WALL DETAIL SHEETS FOR SHEETROCK APPLICATION.

DOOR SCHEDULE									
NO.	WIDTH	HEIGHT	THRESHOLD	TYPE	FINISH	REMARKS	FRAMES	REMARKS	
101	3'-0"	6'-8"	1 3/4" HT.	GLAD	PANT	A METAL	PANT	G-PANEL 60 MIN. RATED ASSY. W/ THRESHOLD WEATHERSTRIP GLOVES	
102	3'-0"	6'-8"	1 3/4" HT.	GLAD	PANT	B METAL	PANT	G-PANEL W/ THRESHOLD WEATHERSTRIP AND KEYED LOCK	
103	3'-0"	6'-8"	1 3/4" HT.	GLAD	PANT	C METAL	PANT	FULL LITE TEMP. GLASS LOCK THRESHOLD + WEATHERSTRIP W/ THRESHOLD WEATHERSTRIP AND KEYED LOCK	
104	2'-6"	6'-8"	1 3/4" HT.	GLAD	PANT	D METAL	PANT		
105	3'-0"	6'-8"	1 3/8" HT.	BKCH	STAIN	E HEMLOCK	STAIN		
106	2'-10"	6'-8"	1 3/8" HT.	BKCH	STAIN	F HEMLOCK	STAIN		
107	2'-10"	6'-8"	1 3/8" HT.	BKCH	STAIN	G HEMLOCK	STAIN		
108	2'-10"	6'-8"	1 3/8" HT.	BKCH	STAIN	H HEMLOCK	STAIN		
109	2'-10"	6'-8"	1 3/8" HT.	BKCH	STAIN	I HEMLOCK	STAIN		
110	2'-10"	6'-8"	1 3/8" HT.	BKCH	STAIN	J HEMLOCK	STAIN		
111	2'-10"	6'-8"	1 3/8" HT.	BKCH	STAIN	K HEMLOCK	STAIN		
112	2'-10"	6'-8"	1 3/8" HT.	BKCH	STAIN	L HEMLOCK	STAIN		
113	2'-10"	6'-8"	1 3/8" HT.	BKCH	STAIN	M HEMLOCK	STAIN		
114	2'-10"	6'-8"	1 3/8" HT.	BKCH	STAIN	N HEMLOCK	STAIN		
115	2'-10"	6'-8"	1 3/8" HT.	BKCH	STAIN	O HEMLOCK	STAIN		
116	2'-10"	6'-8"	1 3/8" HT.	BKCH	STAIN	P HEMLOCK	STAIN		
117	2'-10"	6'-8"	1 3/8" HT.	BKCH	STAIN	Q HEMLOCK	STAIN		
118	2'-10"	6'-8"	1 3/8" HT.	BKCH	STAIN	R HEMLOCK	STAIN		
119	2'-10"	6'-8"	1 3/8" HT.	BKCH	STAIN	S HEMLOCK	STAIN		
120	2'-10"	6'-8"	1 3/8" HT.	BKCH	STAIN	T HEMLOCK	STAIN		

WINDOW SCHEDULE									
NO.	SIZE	TYPE	HFG.	COLOR	INSUL.	REMARKS	HEADERS	REMARKS	
1	3'-0" X 1'-0"	VNTL	STAT	MILGARD	WHITE	YES	STATIONARY W/ TROUBLE GLASS	DF #1 4X12	
2	3'-0" X 1'-0"	VNTL	STAT	MILGARD	WHITE	YES	STATIONARY W/ TROUBLE GLASS	DF #1 4X12	
3	3'-0" X 1'-0"	VNTL	STAT	MILGARD	WHITE	YES	STATIONARY W/ TROUBLE GLASS	DF #1 4X12	
4	3'-0" X 1'-0"	VNTL	STAT	MILGARD	WHITE	YES	STATIONARY W/ TROUBLE GLASS	DF #1 4X12	
5	3'-0" X 1'-0"	VNTL	STAT	MILGARD	WHITE	YES	STATIONARY W/ TROUBLE GLASS	DF #1 4X12	
6	3'-0" X 1'-0"	VNTL	STAT	MILGARD	WHITE	YES	STATIONARY W/ TROUBLE GLASS	DF #1 4X12	
7	3'-0" X 1'-0"	VNTL	STAT	MILGARD	WHITE	YES	STATIONARY W/ TROUBLE GLASS	DF #1 4X12	
8	3'-0" X 1'-0"	VNTL	STAT	MILGARD	WHITE	YES	STATIONARY W/ TROUBLE GLASS	DF #1 4X12	
9	3'-0" X 1'-0"	VNTL	STAT	MILGARD	WHITE	YES	STATIONARY W/ TROUBLE GLASS	DF #1 4X12	
10	3'-0" X 1'-0"	VNTL	STAT	MILGARD	WHITE	YES	STATIONARY W/ TROUBLE GLASS	DF #1 4X12	
11	3'-0" X 1'-0"	VNTL	STAT	MILGARD	WHITE	YES	STATIONARY W/ TROUBLE GLASS	DF #1 4X12	
12	3'-0" X 1'-0"	VNTL	STAT	MILGARD	WHITE	YES	STATIONARY W/ TROUBLE GLASS	DF #1 4X12	
13	3'-0" X 1'-0"	VNTL	STAT	MILGARD	WHITE	YES	STATIONARY W/ TROUBLE GLASS	DF #1 4X12	
14	3'-0" X 1'-0"	VNTL	STAT	MILGARD	WHITE	YES	STATIONARY W/ TROUBLE GLASS	DF #1 4X12	
15	3'-0" X 1'-0"	VNTL	STAT	MILGARD	WHITE	YES	STATIONARY W/ TROUBLE GLASS	DF #1 4X12	
16	3'-0" X 1'-0"	VNTL	STAT	MILGARD	WHITE	YES	STATIONARY W/ TROUBLE GLASS	DF #1 4X12	
17	3'-0" X 1'-0"	VNTL	STAT	MILGARD	WHITE	YES	STATIONARY W/ TROUBLE GLASS	DF #1 4X12	
18	3'-0" X 1'-0"	VNTL	STAT	MILGARD	WHITE	YES	STATIONARY W/ TROUBLE GLASS	DF #1 4X12	
19	3'-0" X 1'-0"	VNTL	STAT	MILGARD	WHITE	YES	STATIONARY W/ TROUBLE GLASS	DF #1 4X12	
20	3'-0" X 1'-0"	VNTL	STAT	MILGARD	WHITE	YES	STATIONARY W/ TROUBLE GLASS	DF #1 4X12	

FLOOR/CEILING ASSEMBLY AT TUB/SHOWERS

NOTE: ALL ACCESSIBLE DOORS SHALL BE PROVIDED WITH LEVER DOOR HARDWARE + OTHER OPERATING DEVICES IN COMPLIANCE WITH ICC/ANSI A117.1 SECTIONS 309.4 + 404.2.6.

NOTE: MAX. U-VALUE FOR ALL WINDOWS AS PER TABLE 401.1(2) OSGC U-0.32.

NOTE: WINDOW SILLS MORE THAN 72" ABOVE FINISH GRADE SHALL BE A MINIMUM OF 36" ABOVE FINISH FLOOR SURFACE (COR) BE INSTALLED WITH WINDOW OPENING CONTROL DEVICES IN COMPLIANCE WITH THE 2014 OSGC SECTIONS 1013.6.1 AND 1029.4.

NOTE: FOR WINDOW PLACEMENT SEE 'WINDOW PLACEMENT FOR EGRESS AND FALL PROTECTION' DETAIL ON SHEET A5.40.

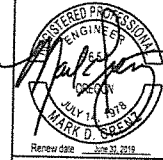
CONSTRUCTION TYPE V B SPRINKLED.

MAIN & UPPER
FLOOR PLANS

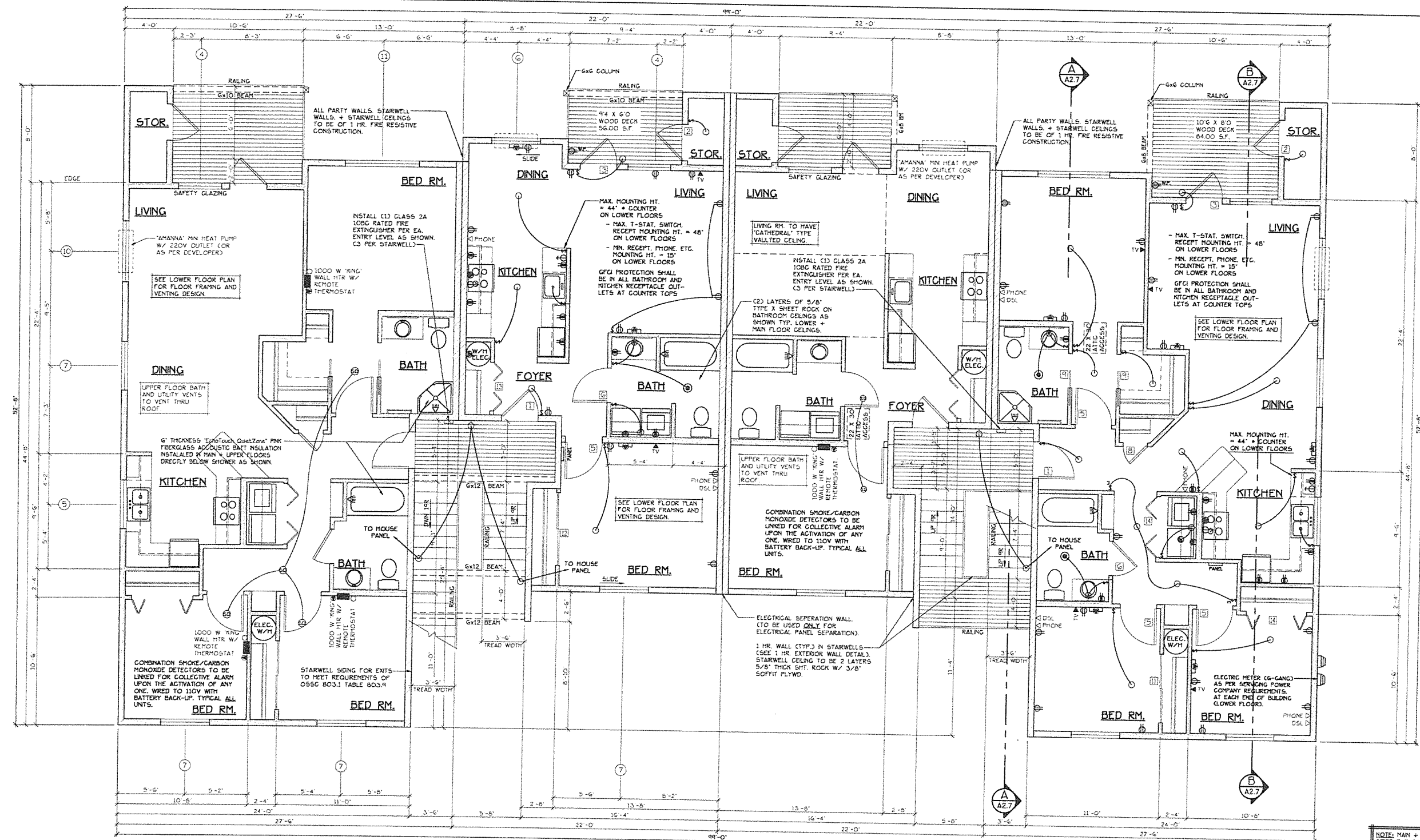
ST. HELENS
APARTMENT COMPLEX

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DIMENSIONS & NOTES TAKE
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REPRESENTATION.

Design: P.L.M.
Drawn: G.L.D.
Checked: M.D.G.
Date: Apr-19
Scale: AS SHOWN
JOB # 6433



A2.41



MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"
'C' UNIT = 728 S.F.
'D' UNIT = 1198 S.F.

TYPE D UNIT
BLD. 2

ELECTRICAL (●) = HEATER/LIGHT/FAN

TYPE C UNIT

ELECTRICAL (●) = HEATER/LIGHT/FAN

TYPE C UNIT

ELECTRICAL (●) = HEATER/LIGHT/FAN

TYPE D UNIT

NOTE: MAIN + UPPER FLOOR DOORS ARE
THE SAME AS LOWER FLOOR
DOORS. DOOR SIZE OPTIONS FOR MAIN
+ UPPER FLOORS ARE AS FOLLOWS:
BED RM. = 2'-0" DOOR
BATH RM. = 2'-4" DOOR

SEE 'GENERAL STRUCTURAL NOTES'
ON SHEET A2.2 BEFORE BEGINNING
ANY CONSTRUCTION.

DOOR SCHEDULE									
DOORS					FRAMES				
NO.	WIDTH	HEIGHT	THICK	TYPE	MATL.	FIN.	TYPE	MATL.	REMARKS
11	3'-0"	6'-8"	1 3/4"	MTL.	GLDR	PNT	A	METAL	PNT
12	3'-0"	6'-8"	1 3/4"	MTL.	GLDR	PNT	B	METAL	PNT
13	3'-0"	6'-8"	1 3/4"	MTL.	GLDR	PNT	C	METAL	PNT
14	3'-0"	6'-8"	1 3/4"	MTL.	GLDR	PNT	D	METAL	PNT
15	3'-0"	6'-8"	1 3/4"	MTL.	GLDR	PNT	E	METAL	PNT
16	3'-0"	6'-8"	1 3/4"	MTL.	GLDR	PNT	F	METAL	PNT
17	3'-0"	6'-8"	1 3/4"	MTL.	GLDR	PNT	G	METAL	PNT
18	3'-0"	6'-8"	1 3/4"	MTL.	GLDR	PNT	H	METAL	PNT
19	3'-0"	6'-8"	1 3/4"	MTL.	GLDR	PNT	I	METAL	PNT
20	3'-0"	6'-8"	1 3/4"	MTL.	GLDR	PNT	J	METAL	PNT
21	3'-0"	6'-8"	1 3/4"	MTL.	GLDR	PNT	K	METAL	PNT
22	3'-0"	6'-8"	1 3/4"	MTL.	GLDR	PNT	L	METAL	PNT
23	3'-0"	6'-8"	1 3/4"	MTL.	GLDR	PNT	M	METAL	PNT
24	3'-0"	6'-8"	1 3/4"	MTL.	GLDR	PNT	N	METAL	PNT
25	3'-0"	6'-8"	1 3/4"	MTL.	GLDR	PNT	O	METAL	PNT
26	3'-0"	6'-8"	1 3/4"	MTL.	GLDR	PNT	P	METAL	PNT
27	3'-0"	6'-8"	1 3/4"	MTL.	GLDR	PNT	Q	METAL	PNT
28	3'-0"	6'-8"	1 3/4"	MTL.	GLDR	PNT	R	METAL	PNT
29	3'-0"	6'-8"	1 3/4"	MTL.	GLDR	PNT	S	METAL	PNT
30	3'-0"	6'-8"	1 3/4"	MTL.	GLDR	PNT	T	METAL	PNT
31	3'-0"	6'-8"	1 3/4"	MTL.	GLDR	PNT	U	METAL	PNT
32	3'-0"	6'-8"	1 3/4"	MTL.	GLDR	PNT	V	METAL	PNT
33	3'-0"	6'-8"	1 3/4"	MTL.	GLDR	PNT	W	METAL	PNT
34	3'-0"	6'-8"	1 3/4"	MTL.	GLDR	PNT	X	METAL	PNT
35	3'-0"	6'-8"	1 3/4"	MTL.	GLDR	PNT	Y	METAL	PNT
36	3'-0"	6'-8"	1 3/4"	MTL.	GLDR	PNT	Z	METAL	PNT

WINDOW SCHEDULE									
WINDOWS					HEADERS				
NO.	SIZE	TYPE	MFG.	COLOR	INSUL.	REMARKS	NO.	SIZE	TYPE
1	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
2	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
3	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
4	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
5	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
6	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
7	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
8	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
9	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
10	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
11	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
12	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
13	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
14	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
15	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
16	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
17	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
18	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
19	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
20	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
21	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
22	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
23	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
24	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
25	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
26	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
27	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
28	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
29	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
30	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
31	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
32	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
33	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
34	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
35	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	
36	3'-0" x 1'-0"	VTNL. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4'x12'	

NOTE: ALL ACCESSIBLE DOORS SHALL BE PROVIDED WITH
LEVER DOOR HARDWARE + OTHER OPERATING DEVICES IN
COMPLIANCE WITH ICC/ANSI A117.1 SECTIONS 309.4 + 404.2.6.

NOTE: MAX. U-VALUE FOR ALL WINDOWS AS
PER TABLE 401.1(2) DEESC U-0.32.

NOTE: WINDOW SILL MORE THAN 72" ABOVE FINISH GRADE SHALL
BE A MINIMUM OF 36" ABOVE FINISH FLOOR SURFACE (COR) BE
INSTALLED WITH WINDOW OPENING CONTROL DEVICES IN COMPLIANCE
WITH THE 2014 DEESC SECTIONS 1013.8.1 AND 1029.4.

NOTE: FOR WINDOW PLACEMENT SEE 'WINDOW PLACEMENT FOR
EGRESS AND FALL PROTECTION' DETAIL ON SHEET A2.40.

CONSTRUCTION TYPE V B SPRINKLED.

* ACCESSIBLE POCKET DOORS MUST STOP FULLY OPEN WITH THEIR OPERATING HANDLES FULLY EXPOSED
** TO PROVIDE MINIMUM 32" NET CLEAR WIDTH PER ICC/A117.1 SEC. 1004.5.2.1 WHEN FULLY OPENED.



TYPE D UNIT | TYPE C UNITS | TYPE D UNIT |

SOUTH ELEVATION (BLD. 2)
SCALE: 1/8" = 1'-0"

TYPE D UNITS

EAST ELEVATION (BLD. 2)
SCALE: 1/8" = 1'-0"



TYPE D UNIT | TYPE C UNITS | EXHAUST VENT 3'-0" CLEAR OF OPERABLE WINDOW AREA TYP. | ROCK FACADE | TYPE D UNIT |

NORTH ELEVATION (BLD. 2)
SCALE: 1/8" = 1'-0"

TYPE D UNITS

WEST ELEVATION (BLD. 2)
SCALE: 1/8" = 1'-0"

**BUILDING
ELEVATIONS**

**ST. HELENS
APARTMENT COMPLEX**

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DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

DESIGN: P.L.M.
DRAWN: G.L.O.
CHECKED: M.D.G.
DATE: APR-18
SCALE: AS SHOWN

JOB # 6433





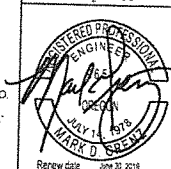
MULTI/TECH
CONSULTANTS, INC.
ENGINEERING SERVICES, INC.
1100 N. 34th St., N.E.
Tomball, TX 77375
Phone: (281) 343-0887 • Fax: (281) 343-1280
www.multitechinc.com

LOWER FLOOR PLAN

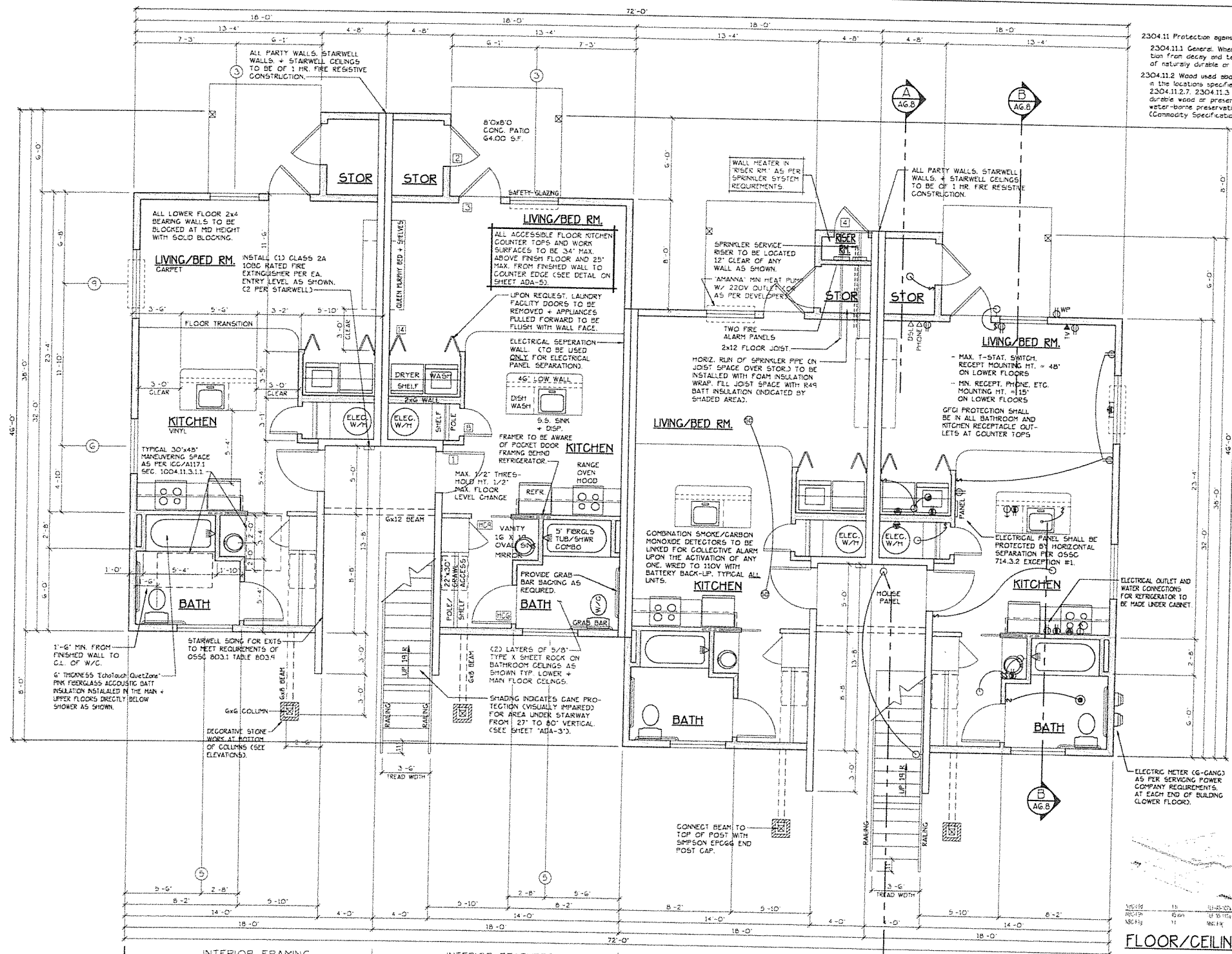
ST. HELENS APARTMENT COMPLEX

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DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

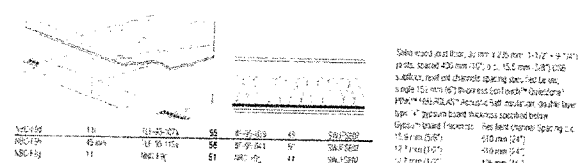
Design: P.L.M.
Drawn: G.L.D.
Checked: M.D.G.
Date: Apr-18
Scale: AS SHOWN
JOB # 6433



A3.31



FLOOR/CEILING ASSEMBLY AT TUB/SHOWERS



LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0"
(HANDICAP ADAPTABLE/ACCESSIBLE)

'B' UNIT = 549 S.F.

TYPE B UNITS

BLD. 3.9+15

CADET HEATING + SMOKE/ CARBON MONOXIDE DETECTORS

CONSTRUCTION TYPE V B SPRINKLED
SEE WALL DETAIL SHEETS FOR SHEETROCK APPLICATION.

ELECTRICAL (●) = HEATER/LIGHT/FAN

(F) 907.2.10.3 SMOKE ALARMS. SINGLE AND MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 907.2.11.
(F) 907.2.11 SINGLE AND MULTIPLE-STATION SMOKE ALARMS. LISTED SINGLE AND MULTIPLE-STATION SMOKE ALARMS COMPLYING WITH UL 217 SHALL BE INSTALLED IN ACCORDANCE WITH SECTIONS 907.2.11.1 THROUGH 907.2.11.4 AND NFPA 72.

SEE 'GENERAL STRUCTURAL NOTES' ON SHEET A3.3 BEFORE BEGINNING ANY CONSTRUCTION.

GENERAL NOTES:

- ALL EXTERIOR WALLS TO BE 2 X 6 STUDS. ALL OTHER WALLS TO BE 2 X 4 STUDS UNLESS OTHERWISE NOTED.
- FIRE BLOCK CONCEALED SPACES (VERTICAL + HORIZONTAL) AS PER OSGC 718.2.2 AND OSGC 718.2.3.
- PRIOR TO INSTALLATION OF FIBERGLASS TUB/SHOWER + SHOWER UNITS, SHEET ROCK SHALL BE APPLIED TO STUD WALLS AS INDICATED ON PLANS.
- ALL BATH FANS TO HAVE MIN. 80 CFM RANGE HOOD EXHAUST FANS TO HAVE MIN. 150 CFM.
- ELECTRIC OUTLETS IN 1 HR. WALL MAY NOT BE BACK TO BACK AND MUST BE SEPARATED BY HORIZONTAL DISTANCE OF 2'-0".
- ALL EXTERIOR FLOOD LIGHTING SHALL BE CONNECTED TO HOUSE PANELS LOCATED IN ON-SITE UTILITY ROOMS + STORAGE BLDG.
- AS PER OSGC HIGH-EFFICIENCY LIGHTING SYSTEMS - A MINIMUM OF 50 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE COMPACT OR NEAR FLUORESCENT, OR A LIGHTING SOURCE THAT HAS A MINIMUM EFFICACY OF 40 LUMENS PER INPUT WATT.
- ALL 'TYPE A' ACCESSIBLE UNITS REQUIRE THE PATIO TO BE AT SAME LEVEL AS DWELLING UNIT.

HANDICAP UNIT NOTES:

THE UNITS HAVE BEEN DESIGNED TO COMPLY WITH OSGC 2014 REVISED TO BE EFFECTIVE APRIL 1, 2014. CHAPTER 11 OF THE OSGC 2014 AS REVISED INCORPORATES AS PART OF IT. AMERICAN NATIONAL STANDARD ICC/ANSI A117.1-1003. WITHIN ICC/ANSI A117.1, CHAPTER 10 SETS OUT SPECIFIC CODE REQUIREMENTS FOR DWELLING AND SLEEPING UNITS. CHAPTER 10 SETS OUT THE CODE REQUIREMENTS THAT ALL GROUND FLOOR UNITS MUST MEET.

THE INTENT IS THAT 'ALL' GROUND FLOOR UNITS ARE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE.

WITHIN THE PROJECT THERE ARE TYPE 'A' UNITS WHICH MUST MEET SPECIFIC REQUIREMENTS SET OUT IN ICC/ANSI A117.1, CHAPTER 10, SECTION 1004. ALL ACCESSIBLE FLOOR UNITS WITHIN THIS PROJECT ARE TO BE TYPE 'B' UNITS UNLESS SPECIFICALLY DESIGNATED TYPE 'A' UNITS. WITHIN THESE TYPE 'B' UNITS THE MAIN BATHROOM COR ONLY BATHROOM SHALL BE DESIGNATED AS AN OPTION 'B' ADAPTABLE BATHROOM WHICH MUST MEET THE REQUIREMENTS OF ICC/ANSI A117.1 SECTION 1004.11.3.2.

ATTACHED TO THE DRAWING SETS ARE OUR SHEETS ADA-1 THRU 5 THAT SET OUT SPECIFIC INFORMATION FROM OSGC 2014, CHAPTER 10 AS WELL AS THE REFERENCED DOCUMENTS. THE DRAWINGS SET OUT SPECIFIC MINIMUM ELEMENTS AND DIMENSIONS THAT MUST BE MET TO ASSURE COMPLIANCE WITH THIS CODE.

NOTE: ALL ACCESSIBLE DOORS SHALL BE PROVIDED WITH LEVER DOOR HARDWARE + OTHER OPERATING DEVICES IN COMPLIANCE WITH ICC/ANSI A117.1 SECTIONS 309.4, + 404.2.6.

NOTE: MAX. U-VALUE FOR ALL WINDOWS AS PER TABLE 401.1(2) OSGC U-0.32.

NOTE: WINDOW SILLS MORE THAN 72" ABOVE FINISH GRADE SHALL BE A MINIMUM OF 36" ABOVE FINISH FLOOR SURFACE (COR) BE INSTALLED WITH WINDOW OPENING CONTROL DEVICES IN COMPLIANCE WITH THE 2014 OSGC SECTIONS 1013.6.1 AND 1029.4.

NOTE: FOR WINDOW PLACEMENT SEE 'WINDOW PLACEMENT FOR EGRESS AND FALL PROTECTION' DETAIL ON SHEET A15.40.

CONSTRUCTION TYPE V B SPRINKLED.

DOOR SCHEDULE									
NO.	WIDTH	HEIGHT	THICK	TYPE	MATL	FIN.	FRM.	MATL	REMARKS
1	3'-0"	6'-8"	1 3/4"	MIL	GLAD	PANT	A	METAL	5 PANEL 60 MIN RATED ASSY. W/ THRESHOLD WEATHERSTRIP + GLAZING
2	3'-0"	6'-8"	1 3/4"	MIL	GLAD	PANT	B	METAL	5 PANEL W/ THRESHOLD WEATHERSTRIP AND KEYED LOCK
3	3'-0"	6'-8"	1 3/4"	MIL	GLAD	PANT	C	METAL	FULL LITE TEMP GLASS LOCK THRESHOLD + WEATHERSTRIP
4	3'-0"	6'-8"	1 3/4"	MIL	GLAD	PANT	D	METAL	W/ THRESHOLD WEATHERSTRIP AND KEYED LOCK
5	3'-0"	6'-8"	1 3/4"	H.G.	BIRCH	STAIN	E	HEMLOCK STAIN	
6	2'-10"	6'-8"	1 3/4"	H.G.	BIRCH	STAIN	F	HEMLOCK STAIN	
7	2'-10"	6'-8"	1 3/4"	H.G.	BIRCH	STAIN	G	HEMLOCK STAIN	
8	2'-10"	6'-8"	1 3/4"	H.G.	BIRCH	STAIN	H	HEMLOCK STAIN	
9	2'-10"	6'-8"	1 3/4"	H.G.	BIRCH	STAIN	I	HEMLOCK STAIN	
10	2'-10"	6'-8"	1 3/4"	H.G.	BIRCH	STAIN	J	HEMLOCK STAIN	
11	2'-10"	6'-8"	1 3/4"	H.G.	BIRCH	STAIN	K	HEMLOCK STAIN	
12	2'-10"	6'-8"	1 3/4"	H.G.	BIRCH	STAIN	L	HEMLOCK STAIN	
13	2'-10"	6'-8"	1 3/4"	H.G.	BIRCH	STAIN	M	HEMLOCK STAIN	
14	2'-10"	6'-8"	1 3/4"	H.G.	BIRCH	STAIN	N	HEMLOCK STAIN	
15	2'-10"	6'-8"	1 3/4"	H.G.	BIRCH	STAIN	O	HEMLOCK STAIN	
16	2'-10"	6'-8"	1 3/4"	H.G.	BIRCH	STAIN	P	HEMLOCK STAIN	
17	2'-10"	6'-8"	1 3/4"	H.G.	BIRCH	STAIN	Q	HEMLOCK STAIN	
18	2'-10"	6'-8"	1 3/4"	H.G.	BIRCH	STAIN	R	HEMLOCK STAIN	
19	2'-10"	6'-8"	1 3/4"	H.G.	BIRCH	STAIN	S	HEMLOCK STAIN	
20	2'-10"	6'-8"	1 3/4"	H.G.	BIRCH	STAIN	T	HEMLOCK STAIN	
21	2'-10"	6'-8"	1 3/4"	H.G.	BIRCH	STAIN	U	HEMLOCK STAIN	
22	2'-10"	6'-8"	1 3/4"	H.G.	BIRCH	STAIN	V	HEMLOCK STAIN	
23	2'-10"	6'-8"	1 3/4"	H.G.	BIRCH	STAIN	W	HEMLOCK STAIN	
24	2'-10"	6'-8"	1 3/4"	H.G.	BIRCH	STAIN	X	HEMLOCK STAIN	
25	2'-10"	6'-8"	1 3/4"	H.G.	BIRCH	STAIN	Y	HEMLOCK STAIN	
26	2'-10"	6'-8"	1 3/4"	H.G.	BIRCH	STAIN	Z	HEMLOCK STAIN	

* ACCESSIBLE POCKET DOORS MUST STOP FULLY OPEN WITH THEIR OPERATING HANDLES FULLY EXPOSED.
** TO PROVIDE MINIMUM 32" NET CLEAR WIDTH PER ICC/A117.1 SEC. 1004.5.2.1 WHEN FULLY OPENED.

WINDOW SCHEDULE									
NO.	SIZE	TYPE	MFG.	COLOR	INSUL	REMARKS	HEADERS		
1	3'-0" X 1'-0"	VNTL STAT	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
2	3'-0" X 1'-0"	VNTL STAT	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
3	3'-0" X 4'-0"	VNTL SLD	MILGARD	WHITE	YES	SINGLE HUNG W/ SCREEN	DF #1 4x12		
4	3'-6" X 4'-0"	VNTL SLD	MILGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DF #1 4x12		
5	4'-0" X 3'-6"	VNTL SLD	MILGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DF #1 4x12		
6	4'-0" X 4'-0"	VNTL SLD	MILGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DF #1 4x12		
7	4'-0" X 5'-0"	VNTL SLD	MILGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DF #1 4x12 (SEE ALT. HEADER DETAIL SHT. A15.40)		
8	5'-0" X 2'-6"	VNTL SLD	MILGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DF #1 4x12		
9	5'-0" X 4'-0"	VNTL SLD	MILGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DF #1 4x12		
10	5'-0" X 5'-0"	VNTL SLD	MILGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DF #1 4x12 (SEE ALT. HEADER DETAIL SHT. A15.40)		
11	5'-0" X 4'-0"	VNTL SLD	MILGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DF #1 4x12		
12	4'-0" X 5'-0"	CAS/WTN	MILGARD	WHITE	YES	CASEMENT W/ SCREEN	DF #1 4x12		

NOTE: ALL LOWER FLOOR OPERABLE WINDOWS + HARDWARE TO COMPLY WITH OSGC 2014 CHAPTER 11 SEC. 1107.2 ON TO ICC/ANSI A117.1. THEN SEC. 1002.9. OPERABLE PARTS SHALL COMPLY WITH SEC. 309.4. SEE 'OPERABLE WINDOWS IN ACCESSIBLE LOCATIONS' DETAIL ON SHEET ADA-5. ALL LOWER FLOOR WINDOW HEADERS TO BE SET MIN. 7'-0" AFF. UNO.

MAIN FLOOR PLAN

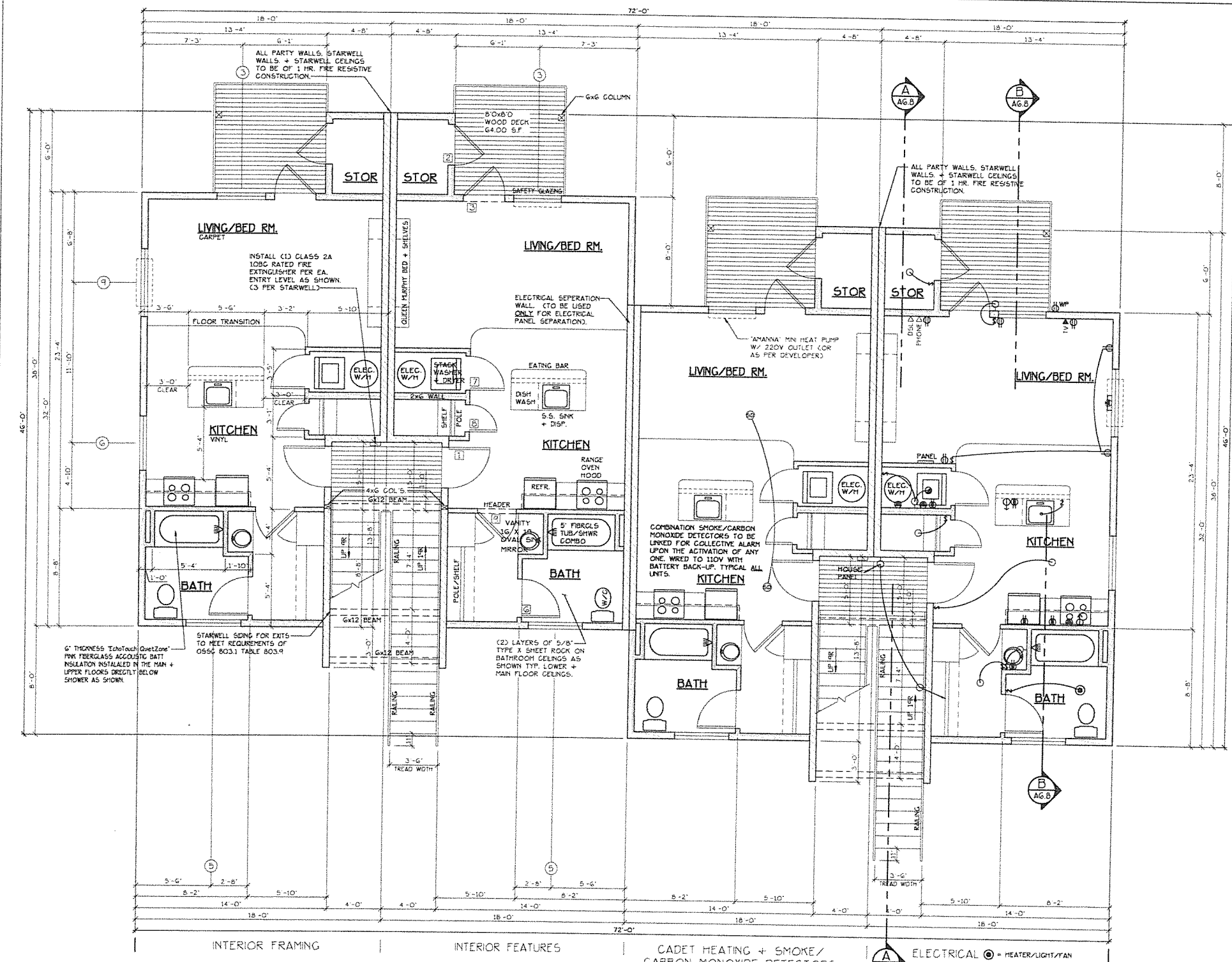
ST. HELENS APARTMENT COMPLEX

NO CHANGES, MODIFICATIONS OR REPRODUCTIONS TO BE MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION FROM THE DESIGN ENGINEER.
DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

Design: P.L.W. G.L.D. M.D.G. A.D.T.-18
Drawn: G.L.D. M.D.G. A.D.T.-18
Checked: M.D.G. A.D.T.-18
Scale: AS SHOWN
JOB # 6433

REGISTERED PROFESSIONAL ENGINEER
MARK D. BREW
JULY 1978
RENEW DATE: JUL 20, 2028

A3.41

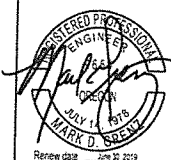


UPPER FLOOR PLAN

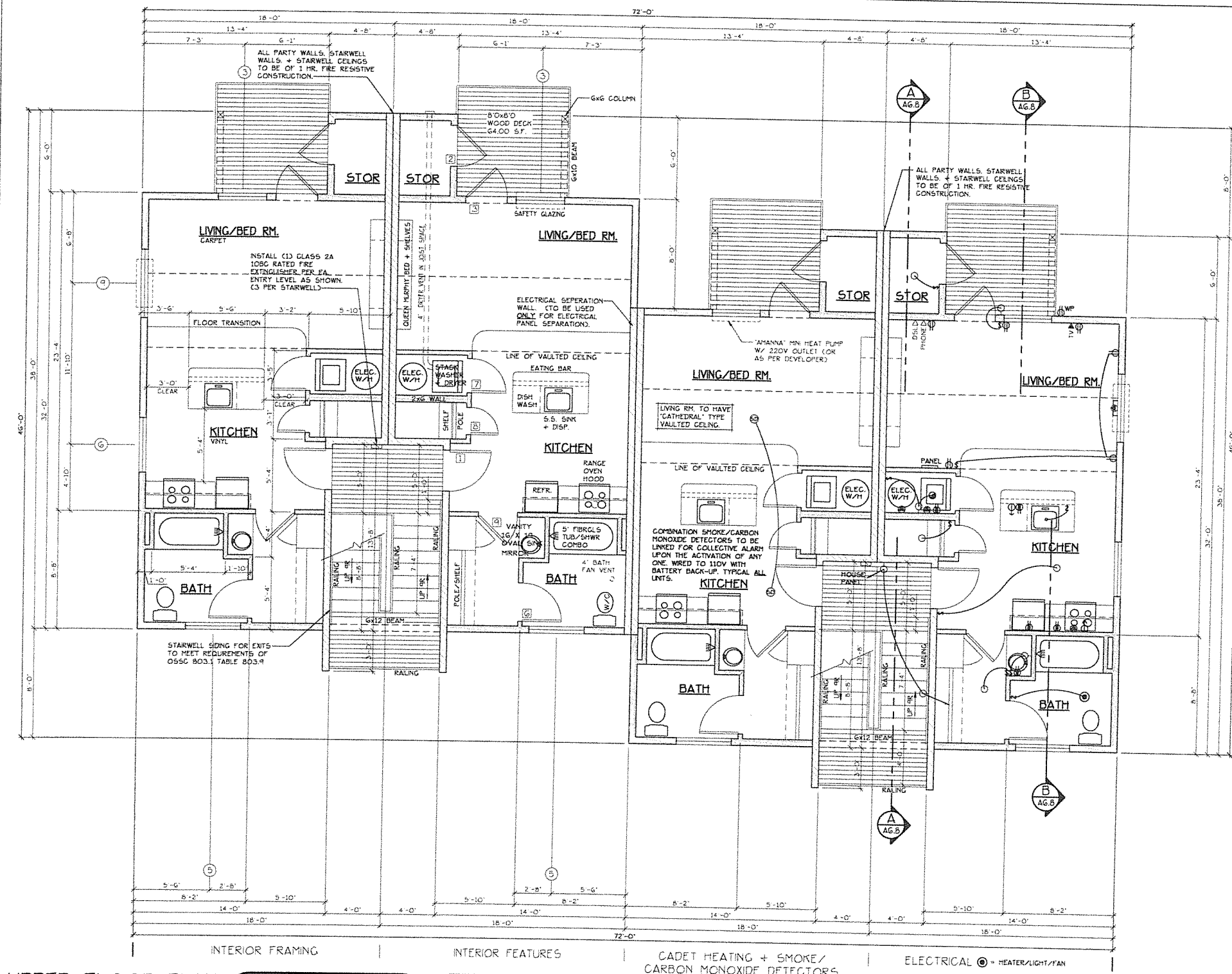
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DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

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Drawn: G.L.D.
Checked: M.D.G.
Date: Apr-18
Scale: AS SHOWN
JOB # 6433



A3.50



UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

'B' UNIT = 549 S.F.

TYPE B UNITS

BLD. 3.9+15

CONSTRUCTION TYPE V B SPRINKLED
SEE WALL DETAIL SHEETS FOR SHEETROCK APPLICATION.

(F) 907.2.10.3 SMOKE ALARMS, SINGLE AND MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 907.2.11.
(F) 907.2.11 SINGLE AND MULTIPLE-STATION SMOKE ALARMS, LISTED SINGLE AND MULTIPLE-STATION SMOKE ALARMS COMPLYING WITH UL 217 SHALL BE INSTALLED IN ACCORDANCE WITH SECTIONS 907.2.11.1 THROUGH 907.2.11.4 AND NFPA 72.

NOTE: MAIN + UPPER FLOOR DOORS ARE SIZED THE SAME AS LOWER FLOOR DOORS. DOOR SIZE OPTIONS FOR MAIN + UPPER FLOORS ARE AS FOLLOWS:
BED RM. = 2'-6" DOOR
BATH RM. = 2'-4" DOOR

SEE 'GENERAL STRUCTURAL NOTES' ON SHEET AG.3 BEFORE BEGINNING ANY CONSTRUCTION.

GENERAL NOTES:

- ALL EXTERIOR WALLS TO BE 2 X 4 STUDS. ALL OTHER WALLS TO BE 2 X 4 STUDS UNLESS OTHERWISE NOTED.
- FIRE BLOCK CONCEALED SPACES (VERTICAL + HORIZONTAL) AS PER OSGC 718.2.2 AND OSGC 718.2.3.
- PRIOR TO INSTALLATION OF FIBERGLASS TUB/SHOWER + SHOWER UNITS, SHEET ROCK SHALL BE APPLIED TO STUD WALLS AS INDICATED ON PLANS.
- ALL BATH FANS TO HAVE MIN. 80 CFM. RANGE HOOD EXHAUST FANS TO HAVE MIN. 150 CFM.
- ELECTRIC OUTLETS IN 1 HR. WALL MAY NOT BE BACK TO BACK AND MUST BE SEPARATED BY HORIZONTAL DISTANCE OF 2'-0".
- ALL EXTERIOR FLOOD LIGHTING SHALL BE CONNECTED TO HOUSE PANELS LOCATED IN ON-SITE UTILITY ROOMS + STORAGE BLDG.
- AS PER OSGC HIGH-EFFICIENCY LIGHTING SYSTEMS - A MINIMUM OF 50 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE COMPACT OR LINEAR FLUORESCENT, OR A LIGHTING SOURCE THAT HAS A MINIMUM EFFICACY OF 40 LUMENS PER INPUT WATT.
- ALL 'TYPE A' ACCESSIBLE UNITS REQUIRE THE PATIO TO BE AT SAME LEVEL AS DWELLING UNIT.

DOOR SCHEDULE									
NO.	WIDTH	HEIGHT	THICKNESS	TYP.	MATL.	FIN.	TYPE	REMARKS	
101	3'-0"	6'-8"	1 3/4"	MTL	CLAD	PNT	A	STANDARD	
102	3'-0"	6'-8"	1 3/4"	MTL	CLAD	PNT	B	STANDARD	
103	3'-0"	6'-8"	1 3/4"	MTL	CLAD	PNT	C	STANDARD	
104	3'-0"	6'-8"	1 3/4"	MTL	CLAD	PNT	D	STANDARD	
105	3'-0"	6'-8"	1 3/4"	H.G.	BRCH	STN	E	STANDARD	
106	2'-10"	6'-8"	1 3/4"	H.G.	BRCH	STN	F	STANDARD	
107	2'-10"	6'-8"	1 3/4"	H.G.	BRCH	STN	G	STANDARD	
108	2'-10"	6'-8"	1 3/4"	H.G.	BRCH	STN	H	STANDARD	
109	2'-10"	6'-8"	1 3/4"	H.G.	BRCH	STN	I	STANDARD	
110	2'-10"	6'-8"	1 3/4"	H.G.	BRCH	STN	J	STANDARD	
111	2'-10"	6'-8"	1 3/4"	H.G.	BRCH	STN	K	STANDARD	
112	2'-10"	6'-8"	1 3/4"	H.G.	BRCH	STN	L	STANDARD	
113	2'-10"	6'-8"	1 3/4"	H.G.	BRCH	STN	M	STANDARD	
114	2'-10"	6'-8"	1 3/4"	H.G.	BRCH	STN	N	STANDARD	
115	2'-10"	6'-8"	1 3/4"	H.G.	BRCH	STN	O	STANDARD	
116	2'-10"	6'-8"	1 3/4"	H.G.	BRCH	STN	P	STANDARD	
117	2'-10"	6'-8"	1 3/4"	H.G.	BRCH	STN	Q	STANDARD	
118	2'-10"	6'-8"	1 3/4"	H.G.	BRCH	STN	R	STANDARD	
119	2'-10"	6'-8"	1 3/4"	H.G.	BRCH	STN	S	STANDARD	
120	2'-10"	6'-8"	1 3/4"	H.G.	BRCH	STN	T	STANDARD	

* ACCESSIBLE POCKET DOORS MUST STOP FULLY OPEN WITH THEIR OPERATING HANDLE'S FULLY EXPOSED.
** TO PROVIDE MINIMUM 32" NET CLEAR WIDTH PER ICC/A117.1, SEC. 1004.5.2.1 WHEN FULLY OPENED.

WINDOW SCHEDULE									
NO.	SIZE	TYPE	MFG.	COLOR	INSUL.	REMARKS	HEADERS		
101	3'-0" X 1'-0"	VNTL. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
102	3'-0" X 1'-0"	VNTL. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
103	3'-0" X 1'-0"	VNTL. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
104	3'-0" X 1'-0"	VNTL. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
105	3'-0" X 1'-0"	VNTL. SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF #1 4x12		
106	3'-0" X 1'-0"	VNTL. SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF #1 4x12		
107	3'-0" X 1'-0"	VNTL. SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF #1 4x12		
108	3'-0" X 1'-0"	VNTL. SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF #1 4x12		
109	3'-0" X 1'-0"	VNTL. SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF #1 4x12		
110	3'-0" X 1'-0"	VNTL. SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF #1 4x12		
111	3'-0" X 1'-0"	VNTL. SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF #1 4x12		
112	3'-0" X 1'-0"	VNTL. SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF #1 4x12		
113	3'-0" X 1'-0"	VNTL. SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF #1 4x12		
114	3'-0" X 1'-0"	VNTL. SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF #1 4x12		
115	3'-0" X 1'-0"	VNTL. SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF #1 4x12		
116	3'-0" X 1'-0"	VNTL. SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF #1 4x12		
117	3'-0" X 1'-0"	VNTL. SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF #1 4x12		
118	3'-0" X 1'-0"	VNTL. SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF #1 4x12		
119	3'-0" X 1'-0"	VNTL. SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF #1 4x12		
120	3'-0" X 1'-0"	VNTL. SLD.	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN	DF #1 4x12		

NOTE: ALL LOWER FLOOR OPERABLE WINDOWS + HARDWARE TO COMPLY WITH O.S.S.C. 2014 CHAPTER 11 SEC. 1107.2 ON TO ICC/ANSI A117.1 THEN SEC. 1002.9. OPERABLE PARTS SHALL COMPLY WITH SEC. 309. SEE 'OPERABLE WINDOWS IN ACCESSIBLE LOCATIONS' DETAIL ON SHEET ADA-5. ALL LOWER FLOOR WINDOW HEADERS TO BE SET MIN. 7'-0" A.F.F. UNO.

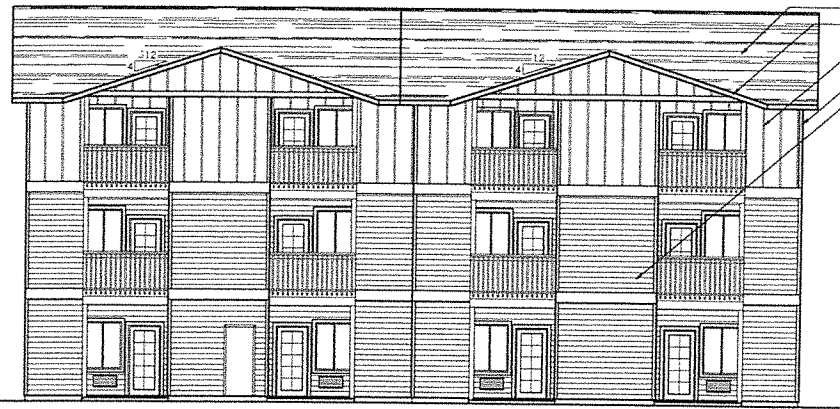
NOTE: ALL ACCESSIBLE DOORS SHALL BE PROVIDED WITH LEVER DOOR HARDWARE + OTHER OPERATING DEVICES IN COMPLIANCE WITH ICC/ANSI A117.1 SECTIONS 309.4 + 404.2.6.

NOTE: MAX U-VALUE FOR ALL WINDOWS AS PER TABLE 401.1(2) DEESC U-0.32.

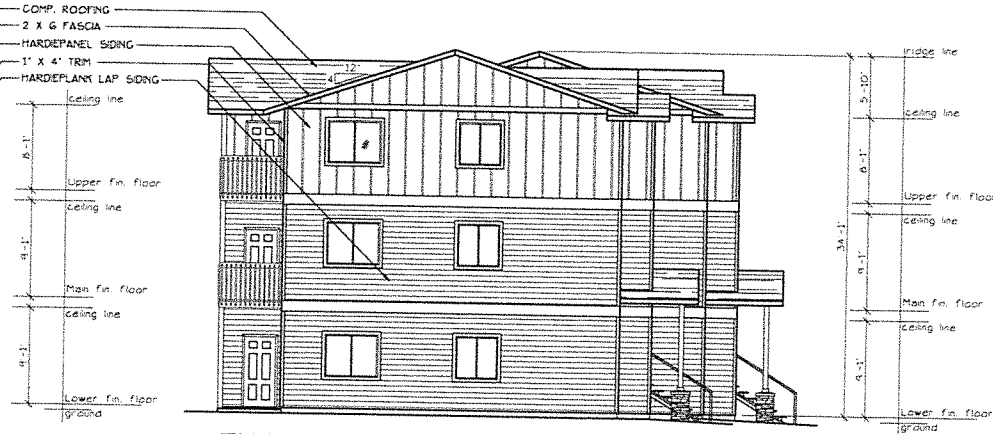
NOTE: WINDOW SILLS MORE THAN 72" ABOVE FINISH GRADE SHALL BE A MINIMUM OF 36" ABOVE FINISH FLOOR SURFACE (OR) BE INSTALLED WITH WINDOW OPENING CONTROL DEVICES IN COMPLIANCE WITH THE 2014 OSGC SECTIONS 1013.8.1 AND 1029.4.

NOTE: FOR WINDOW PLACEMENT SEE 'WINDOW PLACEMENT FOR EGRESS AND FALL PROTECTION' DETAIL ON SHEET A15.40.

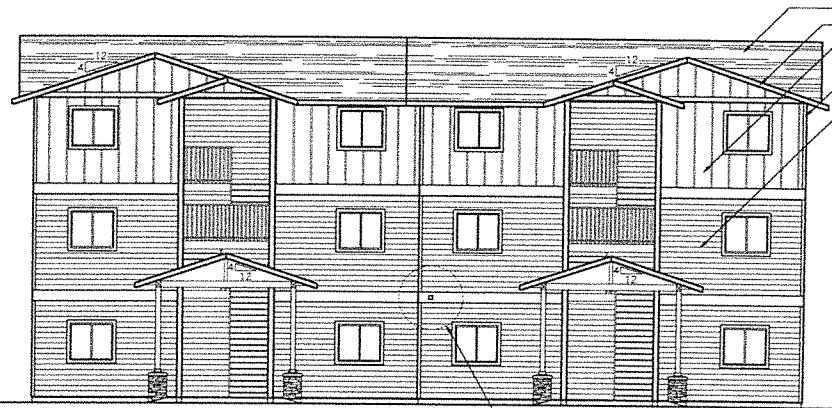
CONSTRUCTION TYPE V B SPRINKLED.



REAR ELEVATION TYPE B UNITS
SCALE: 1/8" = 1'-0"
BLD. 3,9+15



END ELEVATION TYPE B UNITS
SCALE: 1/8" = 1'-0"
BLD. 3,9+15



FRONT ELEVATION TYPE B UNITS
SCALE: 1/8" = 1'-0"
BLD. 3,9+15



END ELEVATION TYPE B UNITS
SCALE: 1/8" = 1'-0"
BLD. 3,9+15

BUILDING
ELEVATIONS

ST. HELENS
APARTMENT COMPLEX

NO CHANGES, MODIFICATIONS OR
REPRODUCTIONS TO BE MADE TO
THESE DRAWINGS WITHOUT WRITTEN
AUTHORIZATION FROM THE DESIGN
ENGINEER.
DIMENSIONS & NOTES TAKE
PRECEDENCE OVER GRAPHICAL
REPRESENTATION.

DESIGN: P.L.M.
DRAWN: G.L.D.
CHECKED: M.D.G.
DATE: APR-18
SCALE: AS SHOWN
JOB # 6433



A3.90

APARTMENT COMPLEX

DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION

REGISTERED PROFESSIONAL
ENGINEER
665
OREGON
JULY 14, 1978
MARK D. GRENZ

Renewable July 14, 1978

2304.11.1 Protection against decay and termites.

2304.11.1.1 General. Where required by this section, protection from decay and termites shall be provided by the use of naturally durable or preservative-treated wood.

2304.11.2 Wood used above ground. Wood used above ground in the locations specified in Sections 2304.11.2.1 through 2304.11.2.7, and 2304.11.3 and 2304.11.5 shall be naturally durable wood or preservative-treated wood using water-borne preservatives, in accordance with AWPA U (Commodity Specifications A or F) for above-ground use.

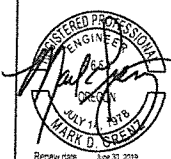
ATTACHED TO THE DRAWING SETS ARE OUR SHEETS ADA-1 THRU 5 THAT SET OUT SPECIFIC INFORMATION FROM OSGC 2014, CHAPTER 10 AS WELL AS THE REFERENCED DOCUMENTS. THE DRAWINGS SET OUT SPECIFIC MINIMUM ELEMENTS AND DIMENSIONS THAT MUST BE MET TO ASSURE COMPLIANCE WITH THIS CODE.

MAIN FLOOR PLAN

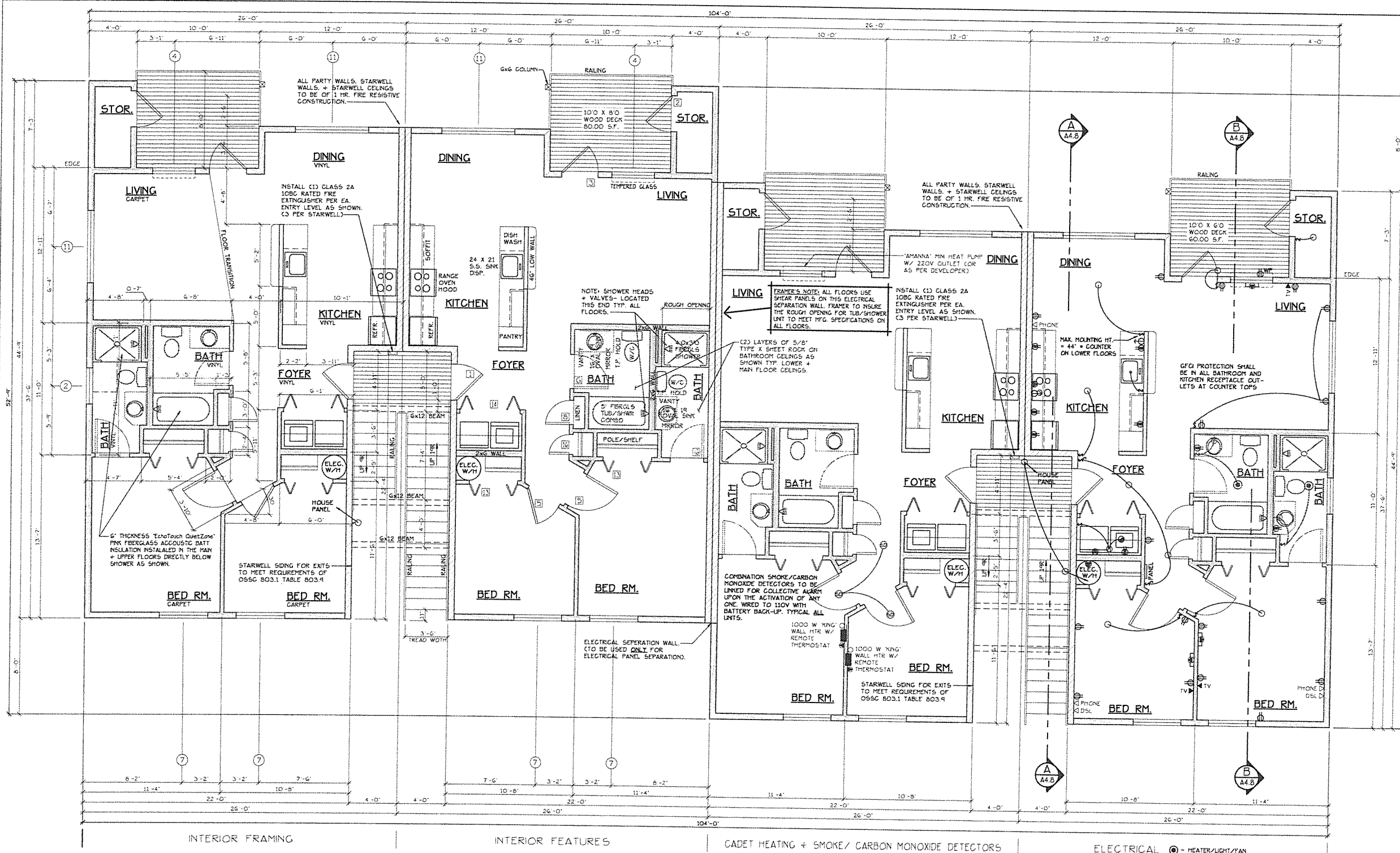
ST. HELENS APARTMENT COMPLEX

NO CHANGES, MODIFICATIONS OR REPRODUCTIONS TO BE MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION FROM THE DESIGN ENGINEER.
DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

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Drawn: G.L.D.
Checked: M.D.G.
Date: APR-18
Scale: AS SHOWN
JOB # 6433



A4.41



MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

'A' UNIT = 957 S.F.

TYPE A UNITS

CONSTRUCTION TYPE V B SPRINKLED
SEE WALL DETAIL SHEETS FOR SHEETROCK APPLICATION.

BLD. 4.10-12

DOOR SCHEDULE									
DOORS					FRAMES				
ID	WIDTH	HEIGHT	THICK	TYP.	MAT.	FIN.	FIN.	MAT.	FIN.
1	3'-0"	6'-8"	1 3/4"	MFL	GLAD	PART	A	MFL	PART
2	3'-0"	6'-8"	1 3/4"	MFL	GLAD	PART	B	MFL	PART
3	3'-0"	6'-8"	1 3/4"	MFL	GLAD	PART	C	MFL	PART
4	2'-6"	6'-8"	1 3/4"	MFL	GLAD	PART	D	MFL	PART
5	3'-0"	6'-8"	1 3/4"	MFL	GLAD	PART	E	MFL	PART
6	2'-10"	6'-8"	1 3/4"	MFL	GLAD	PART	F	MFL	PART
7	2'-6"	6'-8"	1 3/4"	MFL	GLAD	PART	G	MFL	PART
8	2'-10"	6'-8"	1 3/4"	MFL	GLAD	PART	H	MFL	PART
9	2'-6"	6'-8"	1 3/4"	MFL	GLAD	PART	I	MFL	PART
10	2'-10"	6'-8"	1 3/4"	MFL	GLAD	PART	J	MFL	PART
11	2'-6"	6'-8"	1 3/4"	MFL	GLAD	PART	K	MFL	PART
12	2'-10"	6'-8"	1 3/4"	MFL	GLAD	PART	L	MFL	PART
13	2'-6"	6'-8"	1 3/4"	MFL	GLAD	PART	M	MFL	PART
14	2'-10"	6'-8"	1 3/4"	MFL	GLAD	PART	N	MFL	PART
15	2'-6"	6'-8"	1 3/4"	MFL	GLAD	PART	O	MFL	PART
16	2'-10"	6'-8"	1 3/4"	MFL	GLAD	PART	P	MFL	PART
17	2'-6"	6'-8"	1 3/4"	MFL	GLAD	PART	Q	MFL	PART
18	2'-10"	6'-8"	1 3/4"	MFL	GLAD	PART	R	MFL	PART
19	2'-6"	6'-8"	1 3/4"	MFL	GLAD	PART	S	MFL	PART
20	2'-10"	6'-8"	1 3/4"	MFL	GLAD	PART	T	MFL	PART
21	2'-6"	6'-8"	1 3/4"	MFL	GLAD	PART	U	MFL	PART
22	2'-10"	6'-8"	1 3/4"	MFL	GLAD	PART	V	MFL	PART
23	2'-6"	6'-8"	1 3/4"	MFL	GLAD	PART	W	MFL	PART
24	2'-10"	6'-8"	1 3/4"	MFL	GLAD	PART	X	MFL	PART
25	2'-6"	6'-8"	1 3/4"	MFL	GLAD	PART	Y	MFL	PART
26	2'-10"	6'-8"	1 3/4"	MFL	GLAD	PART	Z	MFL	PART

WINDOW SCHEDULE									
ID	SIZE	TYPE	MFG.	COLOR	INSUL	REMARKS	HEADERS		
1	3'-0" X 1'-0"	VNLT	STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4x12
2	3'-0" X 1'-0"	VNLT	STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4x12
3	3'-0" X 1'-0"	VNLT	STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4x12
4	3'-0" X 1'-0"	VNLT	STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4x12
5	3'-0" X 1'-0"	VNLT	STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4x12
6	3'-0" X 1'-0"	VNLT	STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4x12
7	3'-0" X 1'-0"	VNLT	STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4x12
8	3'-0" X 1'-0"	VNLT	STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4x12
9	3'-0" X 1'-0"	VNLT	STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4x12
10	3'-0" X 1'-0"	VNLT	STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4x12
11	3'-0" X 1'-0"	VNLT	STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4x12
12	3'-0" X 1'-0"	VNLT	STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4x12
13	3'-0" X 1'-0"	VNLT	STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4x12
14	3'-0" X 1'-0"	VNLT	STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4x12
15	3'-0" X 1'-0"	VNLT	STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4x12
16	3'-0" X 1'-0"	VNLT	STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4x12
17	3'-0" X 1'-0"	VNLT	STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4x12
18	3'-0" X 1'-0"	VNLT	STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4x12
19	3'-0" X 1'-0"	VNLT	STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4x12
20	3'-0" X 1'-0"	VNLT	STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4x12
21	3'-0" X 1'-0"	VNLT	STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4x12
22	3'-0" X 1'-0"	VNLT	STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4x12
23	3'-0" X 1'-0"	VNLT	STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4x12
24	3'-0" X 1'-0"	VNLT	STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4x12
25	3'-0" X 1'-0"	VNLT	STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4x12
26	3'-0" X 1'-0"	VNLT	STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1	4x12

NOTE: ALL LOWER FLOOR OPERABLE WINDOWS + HARDWARE TO COMPLY WITH 2014 CHAPTER 11 SEC. 1107.2 ON TO ICC/ANSI A117.1 THEN SEC. 1002.9. OPERABLE PARTS SHALL COMPLY WITH SEC. 304. SEE "OPERABLE WINDOWS IN ACCESSIBLE LOCATIONS" DETAIL ON SHEET ADA-5. ALL LOWER FLOOR WINDOW HEADERS TO BE SET MIN. 7'-0" A.F.F. U.N.O.

NOTE: ALL ACCESSIBLE DOORS SHALL BE PROVIDED WITH LEVER DOOR HARDWARE + OTHER OPERATING DEVICES IN COMPLIANCE WITH ICC/ANSI A117.1 SECTIONS 309.4, + 404.2.6.

NOTE: MAX. U-VALUE FOR ALL WINDOWS AS PER TABLE 401.1(2) DEESC U-0.32.

NOTE: WINDOW SILLS MORE THAN 72" ABOVE FINISH GRADE SHALL BE A MINIMUM OF 36" ABOVE FINISH FLOOR SURFACE (OR) BE INSTALLED WITH WINDOW OPENING CONTROL DEVICES IN COMPLIANCE WITH THE 2014 DEESC SECTIONS 1013.8.1 AND 1029.4.

NOTE: FOR WINDOW PLACEMENT SEE "WINDOW PLACEMENT FOR EGRESS AND FALL PROTECTION" DETAIL ON SHEET AB-40.

CONSTRUCTION TYPE V B SPRINKLED.

NOTE: MAIN + UPPER FLOOR DOORS ARE SIZED THE SAME AS LOWER FLOOR DOORS. DOOR SIZE OPTIONS FOR MAIN + UPPER FLOORS ARE AS FOLLOWS:
BED RM. = 2'-4" DOOR
BATH RM. = 2'-4" DOOR

SEE "GENERAL STRUCTURAL NOTES" ON SHEET A4.2 BEFORE BEGINNING ANY CONSTRUCTION.

GENERAL NOTES:

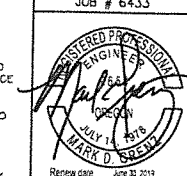
- ALL EXTERIOR WALLS TO BE 2 X 6 STUDS. ALL OTHER WALLS TO BE 2 X 4 STUDS UNLESS OTHERWISE NOTED.
- FIRE BLOCK CONCEALED SPACES (VERTICAL + HORIZONTAL) AS PER DEESC 718.2.2 AND DEESC 718.2.3.
- PRIOR TO INSTALLATION OF FIBERGLASS TUB/SHOWER + SHOWER UNITS, SHEET ROCK SHALL BE APPLIED TO STUD WALLS AS INDICATED ON PLANS.
- ALL BATH FANS TO HAVE MIN. 80 CFM. RANGE HOOD EXHAUST FANS TO HAVE MIN. 150 CFM.
- ELECTRIC OUTLETS IN 1 HR. WALL MAY NOT BE BACK TO BACK AND MUST BE SEPARATED BY HORIZONTAL DISTANCE OF 2'-0".
- ALL EXTERIOR FLOOD LIGHTING SHALL BE CONNECTED TO HOUSE PANELS LOCATED IN ON-SITE UTILITY ROOMS + STORAGE BLDG'S.
- AS PER DEESC HIGH-EFFICIENCY LIGHTING SYSTEMS - A MINIMUM OF 50 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE COMPACT OR LINEAR FLUORESCENT, OR A LIGHTING SOURCE THAT HAS A MINIMUM EFFICACY OF 40 LUMENS PER INPUT WATT.
- ALL "TYPE A" ACCESSIBLE UNITS REQUIRE THE PATIO TO BE AT SAME LEVEL AS DWELLING UNIT.

UPPER FLOOR PLAN

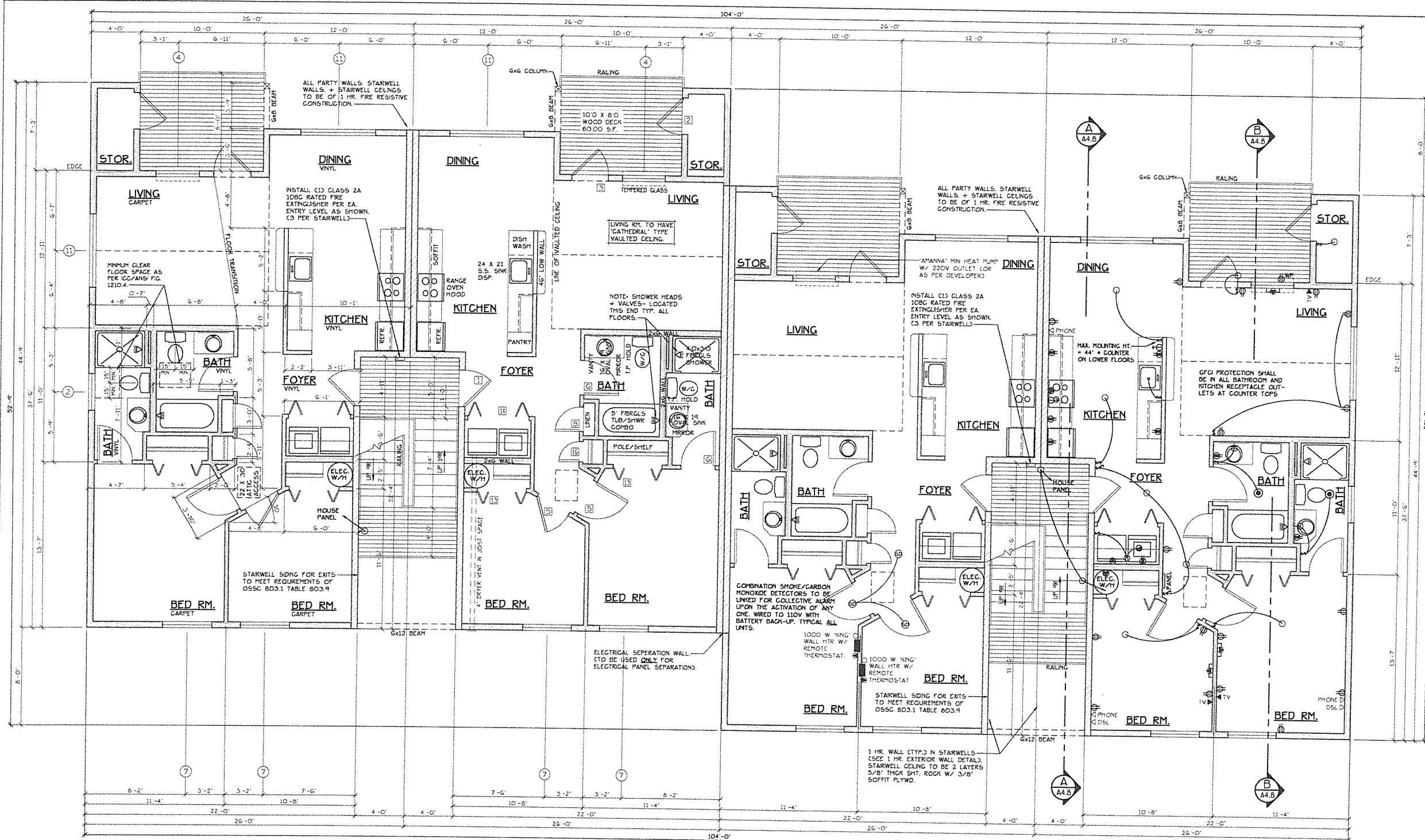
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Drawn: G.L.D.
Checked: M.D.G.
Date: 07-18
Scale: AS SHOWN
JOB # 6433



A4.50



INTERIOR FRAMING INTERIOR FEATURES CADET HEATING + SMOKE/ CARBON MONOXIDE DETECTORS ELECTRICAL (●) = HEATER/LIGHT/FAN

UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"
"A" UNIT = 957 S.F.

TYPE A UNITS
BLD. 4.10-12

CONSTRUCTION TYPE V.B. SPRINKLED
SEE WALL DETAIL SHEETS FOR SHEETROCK APPLICATION.

DOOR SCHEDULE									
NO.	WIDTH	HEIGHT	THICK	TYP.	MAT'L	FIN.	FRM	MAT'L	FIN.
1	3'-0"	6'-8"	1-3/4"	M.T.	GLAD	PANT	A	METAL	PANT
2	3'-0"	6'-8"	1-3/4"	M.T.	GLAD	PANT	B	METAL	PANT
3	3'-0"	6'-8"	1-3/4"	M.T.	GLAD	PANT	C	METAL	PANT
4	3'-0"	6'-8"	1-3/4"	M.T.	GLAD	PANT	D	METAL	PANT
5	3'-0"	6'-8"	1-3/4"	M.T.	GLAD	PANT	E	METAL	PANT
6	2'-10"	6'-8"	1-3/4"	M.T.	GLAD	PANT	F	METAL	PANT
7	2'-10"	6'-8"	1-3/4"	M.T.	GLAD	PANT	G	METAL	PANT
8	2'-10"	6'-8"	1-3/4"	M.T.	GLAD	PANT	H	METAL	PANT
9	2'-10"	6'-8"	1-3/4"	M.T.	GLAD	PANT	I	METAL	PANT
10	2'-10"	6'-8"	1-3/4"	M.T.	GLAD	PANT	J	METAL	PANT
11	2'-10"	6'-8"	1-3/4"	M.T.	GLAD	PANT	K	METAL	PANT
12	2'-10"	6'-8"	1-3/4"	M.T.	GLAD	PANT	L	METAL	PANT
13	2'-10"	6'-8"	1-3/4"	M.T.	GLAD	PANT	M	METAL	PANT
14	2'-10"	6'-8"	1-3/4"	M.T.	GLAD	PANT	N	METAL	PANT
15	2'-10"	6'-8"	1-3/4"	M.T.	GLAD	PANT	O	METAL	PANT
16	2'-10"	6'-8"	1-3/4"	M.T.	GLAD	PANT	P	METAL	PANT
17	2'-10"	6'-8"	1-3/4"	M.T.	GLAD	PANT	Q	METAL	PANT
18	2'-10"	6'-8"	1-3/4"	M.T.	GLAD	PANT	R	METAL	PANT
19	2'-10"	6'-8"	1-3/4"	M.T.	GLAD	PANT	S	METAL	PANT
20	2'-10"	6'-8"	1-3/4"	M.T.	GLAD	PANT	T	METAL	PANT
21	2'-10"	6'-8"	1-3/4"	M.T.	GLAD	PANT	U	METAL	PANT
22	2'-10"	6'-8"	1-3/4"	M.T.	GLAD	PANT	V	METAL	PANT
23	2'-10"	6'-8"	1-3/4"	M.T.	GLAD	PANT	W	METAL	PANT
24	2'-10"	6'-8"	1-3/4"	M.T.	GLAD	PANT	X	METAL	PANT
25	2'-10"	6'-8"	1-3/4"	M.T.	GLAD	PANT	Y	METAL	PANT
26	2'-10"	6'-8"	1-3/4"	M.T.	GLAD	PANT	Z	METAL	PANT

WINDOW SCHEDULE									
NO.	SIZE	TYPE	MFG.	COLOR	INSUL	REMARKS	HEADERS	FOOTERS	FINISH
1	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
2	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
3	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
4	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
5	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
6	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
7	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
8	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
9	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
10	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
11	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
12	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
13	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
14	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
15	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
16	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
17	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
18	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
19	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
20	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		

NOTE: ALL ACCESSIBLE DOORS SHALL BE PROVIDED WITH LEVER DOOR HARDWARE + OTHER OPERATING DEVICES IN COMPLIANCE WITH ICC/ANSI A117.1 SECTIONS 309.4 + 404.2.6.

NOTE: MAX. U-VALUE FOR ALL WINDOWS AS PER TABLE 401.1(2) OESG U-0.32.

NOTE: WINDOW SILL MORE THAN 72" ABOVE FINISH GRADE SHALL BE A MINIMUM OF 36" ABOVE FINISH FLOOR SURFACE (COR) BE INSTALLED WITH WINDOW OPENING CONTROL DEVICES IN COMPLIANCE WITH THE 2014 OESG SECTIONS 1013.8.1 AND 1029.4.

NOTE: FOR WINDOW PLACEMENT SEE "WINDOW PLACEMENT FOR EGRESS AND FALL PROTECTION" DETAIL ON SHEET AB.40.

NOTE: MAIN + UPPER FLOOR DOORS ARE SIZED THE SAME AS LOWER FLOOR DOORS. DOOR SIZE OPTIONS FOR MAIN + UPPER FLOORS ARE AS FOLLOWS:
BED RM. = 2'-6" DOOR
BATH RM. = 2'-4" DOOR

SEE "GENERAL STRUCTURAL NOTES" ON SHEET A4.2 BEFORE BEGINNING ANY CONSTRUCTION.

- GENERAL NOTES:**
- ALL EXTERIOR WALLS TO BE 2 X 4 STUDS. ALL OTHER WALLS TO BE 2 X 4 STUDS UNLESS OTHERWISE NOTED.
 - FIRE BLOCK CONCEALED SPACES (VERTICAL + HORIZONTAL) AS PER OESG 718.2.2 AND OESG 718.2.3.
 - PRIOR TO INSTALLATION OF FIBERGLASS TUB/SHOWER + SHOWER UNITS, SHEET ROCK SHALL BE APPLIED TO STUD WALLS AS INDICATED ON PLANS.
 - ALL BATH FANS TO HAVE MIN. 80 CFM RANGE HOOD EXHAUST FANS TO HAVE MIN. 150 CFM.
 - ELECTRIC OUTLETS IN 1 HR. WALL MAY NOT BE BACK TO BACK AND MUST BE SEPARATED BY HORIZONTAL DISTANCE OF 2'-0".
 - ALL EXTERIOR FLOOD LIGHTING SHALL BE CONNECTED TO HOUSE PANELS LOCATED IN ON-SITE UTILITY ROOMS + STORAGE BLDG.
 - AS PER OESG HIGH-EFFICIENCY LIGHTING SYSTEMS - A MINIMUM OF 50 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE COMPACT OR LINEAR FLUORESCENT, OR A LIGHTING SOURCE THAT HAS A MINIMUM EFFICACY OF 40 LUMENS PER INPUT WATT.
 - ALL "TYPE A" ACCESSIBLE UNITS REQUIRE THE PATIO TO BE AT SAME LEVEL AS DWELLING UNIT.

1. ACCESSIBLE POCKET DOORS MUST STOP FULLY OPEN WITH THEIR OPERATING HANDLES FULLY EXPOSED.
2. TO PROVIDE MINIMUM 36" NET CLEAR WIDTH PER ICC/ANSI 117.1 SEC. 1004.5.2.1 WHEN FULLY OPENED.

NOTE: ALL LOWER FLOOR OPERABLE WINDOWS + HARDWARE TO COMPLY WITH O.S.S.G. 2014 CHAPTER 11 SEC. 1107.2 ON TO ICC/ANSI A117.1 THEN SEC. 1002.9. OPERABLE PARTS SHALL COMPLY WITH SEC. 309. SEE "OPERABLE WINDOWS IN ACCESSIBLE LOCATIONS" DETAIL ON SHEET ADA-5. ALL LOWER FLOOR WINDOW HEADERS TO BE SET MIN. 7'-0" A.F.F. UNO.

CONSTRUCTION TYPE V.B. SPRINKLED.



REAR ELEVATION (TYPE A UNITS)
SCALE: 1/8" = 1'-0"
BLD. 4.10-12

END ELEVATION (TYPE A UNITS)
SCALE: 1/8" = 1'-0"
BLD. 4.10-12



FRONT ELEVATION (TYPE A UNITS)
SCALE: 1/8" = 1'-0"
BLD. 4.10-12

END ELEVATION (TYPE A UNITS)
SCALE: 1/8" = 1'-0"
BLD. 4.10-12



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TEL: 612-338-4477 FAX: 612-338-4478
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AUTHORIZATION FROM THE DESIGN
ENGINEER.
DIMENSIONS & NOTES TAKE
PRECEDENCE OVER GRAPHICAL
REPRESENTATION.

DESIGN: P.L.M.
DRAWN: C.L.D.
CHECKED: M.D.G.
DATE: May-18
SCALE: AS SHOWN

JOB # 6433



A4.90

LOWER FLOOR PLAN

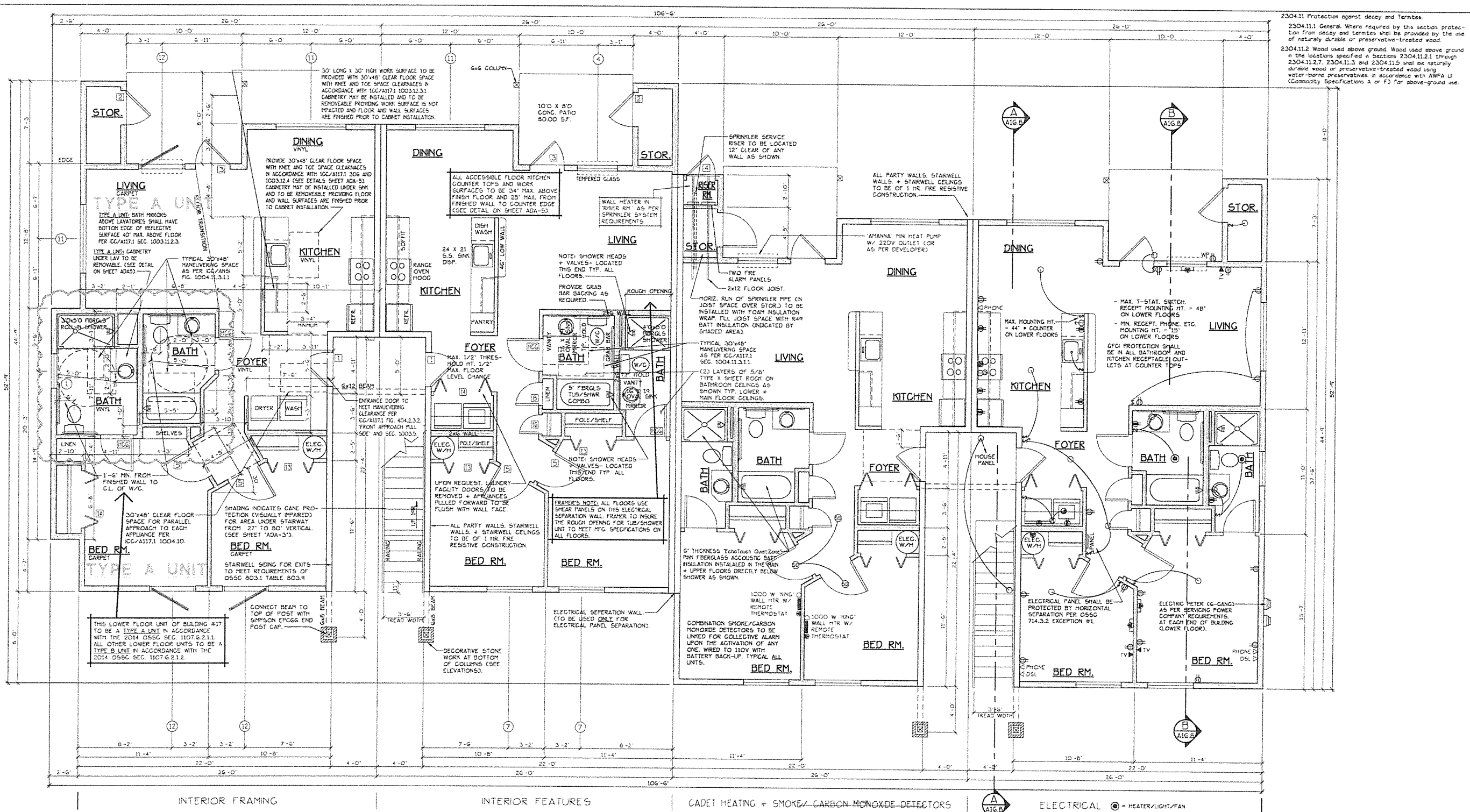
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DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

Design: P.L.M.
 Drawn: G.D.
 Checked: M.D.C.
 Date: Apr-18
 Scale: AS SHOWN

A5.31



SCALE: 1/4" = 1'-0"
(HANDICAP ADAPTABLE/ACCESSIBLE)

A UNIT = 957 S.F.

(TYPE A UNITS

BLD. 16

CONSTRUCTION TYPE V B SPRINKLED
SEE WALL DETAIL SHEETS FOR
SHEETROCK APPLICATION.

IF 907.2.10.3 SMOKE ALARMS. SINGLE AND MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 907.2.11.

IF 907.2.11 SINGLE AND MULTIPLE-STATION SMOKE ALARMS. LISTED SINGLE AND MULTIPLE-STATION SMOKE ALARMS COMPLYING WITH UL 217 SHALL BE INSTALLED IN ACCORDANCE WITH SECTIONS 907.2.11.1 THROUGH 907.2.11.4 AND NFPA 72.

FLOOR/CEILING ASSEMBLY AT TUB/SHOWERS

NOTE: ALL ACCESSIBLE DOORS SHALL BE PROVIDED WITH LEVER DOOR HARDWARE + OTHER OPERATING DEVICES IN COMPLIANCE WITH ICC/ANSI A117.1 SECTIONS 309.4. + 404.2.G.

NOTE: MAX. U-VALUE FOR ALL WINDOWS AS
PER TABLE 401.1(2) OEEEC U-0.32.

NOTE: WINDOW SILLS MORE THAN 72" ABOVE FINISH GRADE SHALL BE A MINIMUM OF 36" ABOVE FINISH FLOOR SURFACE (OR) BE INSTALLED WITH WINDOW OPENING CONTROL DEVICES IN COMPLIANCE WITH THE 2014 OSSC SECTIONS 1013.8.1 AND 1029.4.

NOTE: FOR WINDOW PLACEMENT SEE "WINDOW PLACEMENT FOR
EGRESS AND FALL PROTECTION" DETAIL ON SHEET A15.40.

CONSTRUCTION TYPE V B SPRINKLED

GENERAL NOTES:

1. ALL EXTERIOR WALLS TO BE 2 X 6 STUDS. ALL OTHER WALLS TO BE 2 X 4 STUDS UNLESS OTHERWISE NOTED.
2. FIRE BLOCK CONCEALED SPACES (VERTICAL + HORIZONTAL):
AS PER OSGC 719.2.2 AND OSGC 718.2.3.
3. PRIOR TO INSTALLATION OF FIBERGLASS TUB/SHOWER + SHOWER UNITS, SHEET ROCK SHALL BE APPLIED TO STUD WALLS AS INDICATED ON PLANS.
4. ALL BATH FANS TO HAVE MN. 80 CFM RANGE HOOD EXHAUST FANS TO HAVE MN. 150 CFM.
5. ELECTRIC OUTLETS IN 1 HR. WALL MAY NOT BE BACK TO BACK AND MUST BE SEPARATED BY HORIZONTAL DISTANCE OF 2'-0"
6. ALL EXTERIOR FLOOR LIGHTING SHALL BE CONNECTED TO HOUSE PANELS LOCATED IN ON-SITE UTILITY ROOMS + STORAGE BLDGS.
7. AS PER OSGC HIGH-EFFICIENCY LIGHTING SYSTEMS - A MINIMUM OF 50 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE COMPACT OR LOW VOLTAGE, OR A LIGHTING SOURCE THAT HAS A MINIMUM EFFICACY OF 40 LUMENS PER WATT WATT.
8. ALL TYPE 1 ACCESSIBLE UNITS REQUIRE THE PATIO TO BE AT LEAST 1' WIDE MIN.

HANDICAP UNIT NOTES:

THE UNITS HAVE BEEN DESIGNED TO COMPLY WITH OSBC 2014 REVISED TO BE EFFECTIVE APRIL 1, 2014. CHAPTER 11 OF THE OSBC 2014 AS REVISED INCORPORATES AS PART OF IT AMERICAN NATIONAL STANDARD ICG/ANSI A117.1-1003. WITHIN ICG/ANSI A117.1 CHAPTER 10 SETS OUT SPECIFIC CODE REQUIREMENTS FOR DWELLING AND SLEEPING UNITS. CHAPTER 10 SETS OUT THE CODE REQUIREMENTS THAT ALL GROUND FLOOR UNITS MUST MEET.

THE INTENT IS THAT 'ALL' GROUND FLOOR UNITS ARE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE.

WITHIN THE PROJECT THERE ARE TYPE 'A' LINTS WHICH MUST MEET SPECIFIC REQUIREMENTS SET OUT IN ISO/ANSI A117.1, CHAPTER 10, SECTION 1003.

WITHIN THE PROJECT THERE ARE ALSO TYPE 'B' UNITS WHICH MUST MEET SPECIFIC REQUIREMENTS SET OUT IN ICC/ANSI A117.1, CHAPTER 10, SECTION 1004. ALL ACCESSIBLE FLOOR UNITS WITHIN THIS PROJECT ARE TO BE TYPE 'B' UNITS UNLESS SPECIFICALLY DESIGNATED TYPE 'A' UNITS. WITHIN THESE TYPE 'B' UNITS THE MAIN BATHROOM (OR ONLY BATHROOM SHALL BE DESIGNATED AS AN OPTION B) ADAPTABLE BATHROOM WHICH MUST MEET THE REQUIREMENTS OF ICC/ANSI A117.1 SECTION 1004.11.3.2.

ATTACHED TO THE DRAWING SETS ARE OUR SHEETS ADA-1 THRU 5 THAT SET OUT SPECIFIC INFORMATION FROM O55C 2014, CHAPTER 10 AS WELL AS THE REFERENCED DOCUMENTS. THE DRAWINGS SET OUT SPECIFIC MINIMUM ELEMENTS AND DIMENSIONS THAT MUST BE MET TO ASSURE COMPLIANCE WITH THIS CODE.

DOOR SCHEDULE											
DOORS						FRAMES			REMARKS		
11	12	WIDTH	HEIGHT	THICK	TYPE	MATERIAL	FIN.	TYPE		MATERIAL	FIN.
1	3'-0"	G-B	1-3/4"	MFL	CLAD	PANT	A	METAL	PANT		G-PANEL, GO MATED ASSY. W/ THRESHOLD WEATHERSTOP CLOSURE
2	3'-0"	G-B	1-3/4"	MFL	CLAD	PANT	B	METAL	PANT		G-PANEL W/ THRESHOLD WEATHERSTOP AND KETED LOCK
3	2'-6"	G-B	1-3/4"	MFL	CLAD	PANT	A	METAL	PANT		PASS-DOOR, THERM. GLASS, LOCK, THRESHOLD = WEATHERSTOP
4	2'-6"	G-B	1-3/4"	MFL	CLAD	PANT	B	METAL	PANT		W/ THRESHOLD WEATHERSTOP AND KETED LOCK
5	3'-0"	G-B	1-3/8"	H-C	BURCH	STAIN	F	HEM. OCL	STAIN		
6	2'-10"	G-B	1-3/8"	H-C	BURCH	STAIN	F	HEM. OCL	STAIN		
7	2'-10"	G-B	1-3/8"	H-C	BURCH	STAIN	F	HEM. OCL	STAIN		**
8	2'-6"	G-B	1-3/8"	H-C	BURCH	STAIN	F	HEM. OCL	STAIN		
9	2'-0"	G-B	1-3/8"	H-C	BURCH	STAIN	F	HEM. OCL	STAIN		
10	2'-10"	G-B	1-3/8"	H-C	BURCH	STAIN	F	HEM. OCL	STAIN		POCKET DOOR
11	2'-10"	G-B	1-3/8"	H-C	BURCH	STAIN	F	HEM. OCL	STAIN		POCKET DOOR, **
12	4'-0"	G-B	1-3/8"	H-C	BURCH	STAIN	G	HEM. OCL	STAIN		P-BASS DOOR
13	5'-8"	G-B	1-3/8"	H-C	BURCH	STAIN	G	HEM. OCL	STAIN		P-BASS DOOR
14	5'-0"	G-B	1-3/8"	H-C	BURCH	STAIN	G	HEM. OCL	STAIN		P-BASS DOOR
15	4'-0"	G-B	1-3/8"	H-C	BURCH	STAIN	H	HEM. OCL	STAIN		T-BOLD DOOR
16	5'-0"	G-B	1-3/8"	H-C	BURCH	STAIN	H	HEM. OCL	STAIN		T-BOLD DOOR
17	6'-0"	G-B	1-3/8"	H-C	BURCH	STAIN	H	HEM. OCL	STAIN		T-BOLD DOOR
18	6'-0"	G-B	1-3/8"	H-C	BURCH	STAIN	H	HEM. OCL	STAIN		T-BOLD DOOR

- * ACCESSIBLE POCKET DOORS MUST STOP FULLY OPEN WITH THEIR OPERATING HANDLES FULLY EXPOSED
- ** TO PROVIDE MINIMUM 32" NET CLEAR WIDTH PER ICC/ANZI SEC. 1004.5.2.1 WHEN FULLY OPENED.

WINDOW SCHEDULE									
Q	SIZE	TYPE	MFG.	COLOR	NSUL	REMARKS	HEADERS		
1	3 0 X 1 0	VNLT. STAT	MILGARD	WHITE	YES	STATIONARY W/ TYPED SE GLASS	DP #1	4x12	
2	3 0 X 1 6	VNLT. STAT	MILGARD	WHITE	YES	STATIONARY W/ TYPED SE GLASS	DP #1	4x12	
3	3 0 X 4 6	VNLT. 50M	MILGARD	WHITE	YES	SINGLE PLNG W/ SCREEN	DP #1	4x12	
4	3 6 X 4 6	VNLT. SLD	MILGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DP #1	4x12	
5	4 0 X 3 6	VNLT. SLD	MILGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DP #1	4x12	
6	4 0 X 4 6	VNLT. SLD	MILGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DP #1	4x12	
7	4 0 X 5 0	VNLT. SLD	MILGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DP#1	6x6 (SEE ALT. HEADER DETAIL SHT. A15 40)	
8	5 0 X 2 6	VNLT. SLD	MILGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DP #1	4x12	
9	5 0 X 4 6	VNLT. SLD	MILGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DP #1	4x12	
10	5 0 X 5 0	VNLT. SLD	MILGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DP#1	6x6 (SEE ALT. HEADER DETAIL SHT. A15 40)	
11	6 0 X 4 6	VNLT. SLD	MILGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DP #1	4x12	
12	4 0 X 5 0	CASEMENT	MILGARD	WHITE	YES	CASEMENT W/ SCREEN	DP #1	4x12	

NOTE: ALL LOWER FLOOR OPERABLE WINDOWS + HARDWARE TO COMPLY WITH O.S.S.C. 2014 CHAPTER 11 SEC. 1107.2 ON TO ICC/ANSI A117.1 THEN SEC. 1002.9. OPERABLE PARTS SHALL COMPLY WITH SEC. 309. SEE 'OPERABLE WINDOWS IN ACCESSIBLE LOCATIONS' DETAIL ON SHEET ADA-5. ALL LOWER FLOOR WINDOW HEADERS TO BE SET MIN. 7'-0" A.F.F. U.N.O.

**ST. HELENS
APARTMENT COMPLEX**

Design: P.L.M.
 Drawn: G.D.
 Checked: M.D.C.
 Date: Apr-18
 Scale: AS SHOWN

JOB # 6433

A5.41



TYPE A UNITS
BLD. 16

• ACCESSIBLE POCKET DOORS MUST STOP FULLY OPEN WITH THEIR OPERATING HANDLES FULLY EXPOSED.
• TO PROVIDE MINIMUM 32" NET CLEAR WIDTH PER ICC/A117.1 SEC. 1004.5.2.1 WHEN FULLY OPENED.

NOTE: ALL LOWER FLOOR OPERABLE WINDOWS + HARDWARE TO COMPLY WITH O.S.S.C. 2014 CHAPTER 11 SEC. 1107.2 ON TO ICC/ANSI A117.1 THEN SEC. 1002.9. OPERABLE PARTS SHALL COMPLY WITH SEC. 309. SEE 'OPERABLE WINDOWS IN ACCESSIBLE LOCATIONS' DETAIL ON SHEET ADA-5. ALL LOWER FLOOR WINDOW HEADERS TO BE SET MIN. 7'-0" A.F.F. U.N.O.

NOTE: FOR WINDOW PLACEMENT SEE "WINDOW PLACEMENT FOR
EGRESS AND FALL PROTECTION" DETAIL ON SHEET A15.40.

CONSTRUCTION TYPE V B SPRINKLED

SEE GENERAL STRUCTURAL NOTES
ON SHEET A16.2 BEFORE BEGINNING
ANY CONSTRUCTION.

D.

GENERAL NOTES:

1. ALL EXTERIOR WALLS TO BE 2 X 4 STUDS UNLESS OTHERWISE NOTED
2. FIRE BLOCK CONCEALED SPACES (VERTICAL + HORIZONTAL) AS PER OSGC 718.2.2 AND OSGC 718.2.3.
3. PRIOR TO INSTALLATION OF FIBERGLASS TUB/SHOWER + SHOWER UNITS, SHEET ROCK SHALL BE APPLIED TO STUD WALLS AS INDICATED ON PLANS.
4. ALL BATH FANS TO HAVE MN. 80 CFM. RANGE HOOD EXHAUST FANS TO HAVE MN. 150 CFM.
5. ELECTRIC OUTLETS N 1 HR. WALL MAY NOT BE BACK TO BACK AND MUST BE SEPARATED BY HORIZONTAL DISTANCE OF 2'-0".
6. ALL EXTERIOR FLOOR LIGHTING SHALL BE CONNECTED TO HOUSE PANELS LOCATED IN ON-SITE UTILITY ROOMS + STORAGE BLD'S.
7. AS PER OSGC HIGH-EFFICIENCY LIGHTING SYSTEMS - A MINIMUM OF 80 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE COMPACT OR LINEAR FLUORESCENT, OR A LIGHTING SOURCE THAT HAS A MINIMUM EFFICACY OF 40 LUMENS PER INPUT WATT.
8. ALL TYPE 'A' ACCESSIBLE UNITS REQUIRE THE PATIO TO BE AT SAME LEVEL AS DWELLING LINT.

UPPER FLOOR PLAN

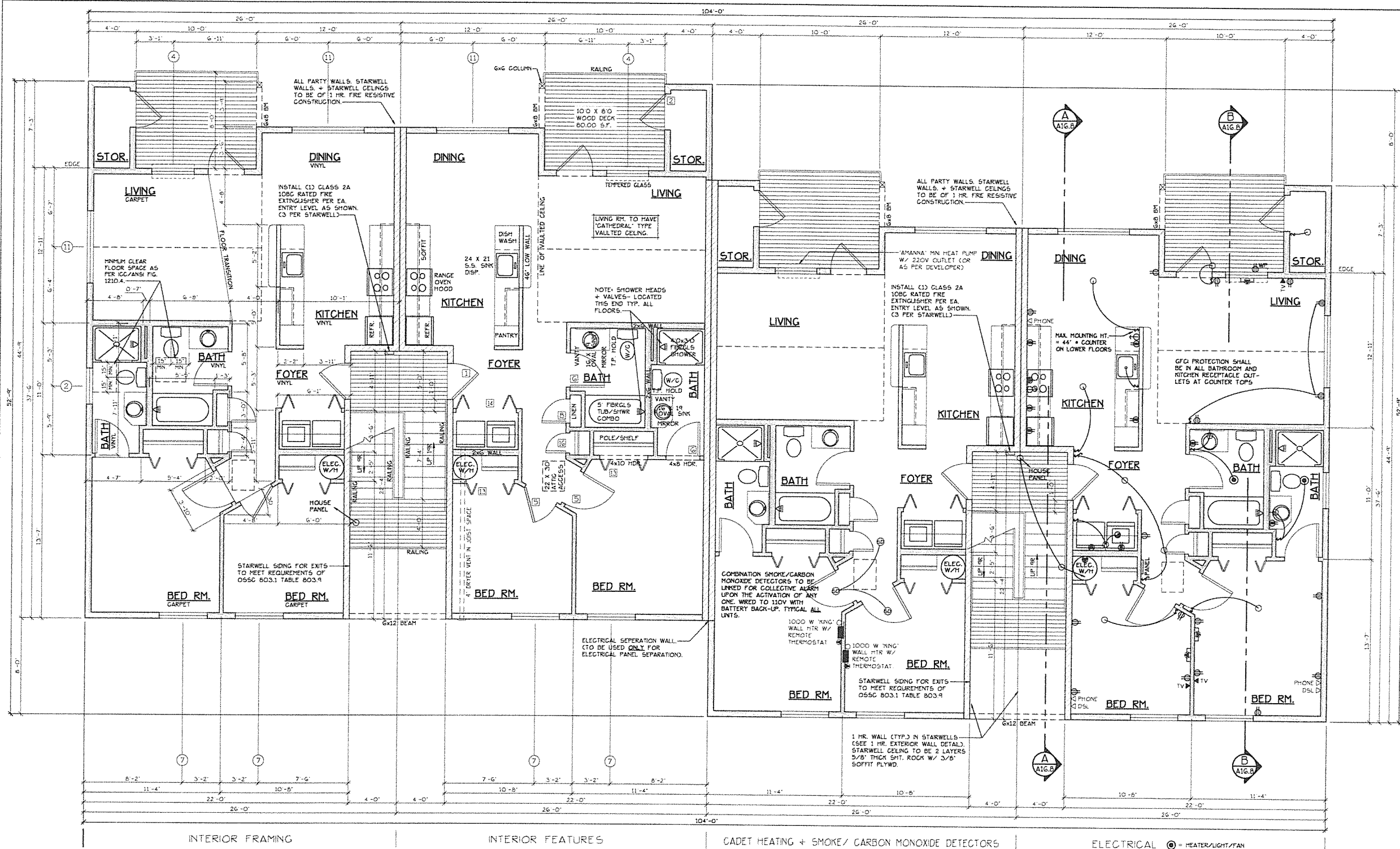
ST. HELENS APARTMENT COMPLEX

NO CHANGES, MODIFICATIONS OR REPRODUCTIONS TO BE MADE TO THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.
DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

Design: P.L.M.
Drawn: G.L.D.
Checked: M.D.G.
Date: Apr-18
Scale: AS SHOWN
JOB # 6433

REGISTERED PROFESSIONAL ENGINEER
MARK D. GRIFFIN
RENEWAL DATE: 2/28/2018

A5.50



DOOR SCHEDULE									
NO.	WIDTH	HEIGHT	THRESH.	TYP.	MATL.	FIN.	FRAMES	REMARKS	
1	3'-0"	6'-8"	1/2"	MFL	GLAD	PANT	A METAL	G-PANEL 60 IN. RATED ASSY. W/ THRESHOLD WEATHERSTRIP GLOBES	
2	3'-0"	6'-8"	1/2"	MFL	GLAD	PANT	B METAL	G-PANEL W/ THRESHOLD WEATHERSTRIP AND KEYED LOCK	
3	3'-0"	6'-8"	1/2"	MFL	GLAD	PANT	C METAL	FULL LITE TOP GLASS LOCK THRESHOLD + WEATHERSTRIP	
4	3'-0"	6'-8"	1/2"	MFL	GLAD	PANT	D METAL	W/ THRESHOLD WEATHERSTRIP AND KEYED LOCK	
5	3'-0"	6'-8"	1/2"	H.C.	BRCH	STAN	E HEMLOCK	STAIN	
6	2'-10"	6'-8"	1/2"	H.C.	BRCH	STAN	F HEMLOCK	STAIN	
7	2'-10"	6'-8"	1/2"	H.C.	BRCH	STAN	G HEMLOCK	STAIN	
8	2'-10"	6'-8"	1/2"	H.C.	BRCH	STAN	H HEMLOCK	STAIN	
9	2'-10"	6'-8"	1/2"	H.C.	BRCH	STAN	I HEMLOCK	STAIN	
10	2'-10"	6'-8"	1/2"	H.C.	BRCH	STAN	J HEMLOCK	STAIN	
11	2'-10"	6'-8"	1/2"	H.C.	BRCH	STAN	K HEMLOCK	STAIN	
12	2'-10"	6'-8"	1/2"	H.C.	BRCH	STAN	L HEMLOCK	STAIN	
13	2'-10"	6'-8"	1/2"	H.C.	BRCH	STAN	M HEMLOCK	STAIN	
14	2'-10"	6'-8"	1/2"	H.C.	BRCH	STAN	N HEMLOCK	STAIN	
15	2'-10"	6'-8"	1/2"	H.C.	BRCH	STAN	O HEMLOCK	STAIN	
16	2'-10"	6'-8"	1/2"	H.C.	BRCH	STAN	P HEMLOCK	STAIN	
17	2'-10"	6'-8"	1/2"	H.C.	BRCH	STAN	Q HEMLOCK	STAIN	
18	2'-10"	6'-8"	1/2"	H.C.	BRCH	STAN	R HEMLOCK	STAIN	
19	2'-10"	6'-8"	1/2"	H.C.	BRCH	STAN	S HEMLOCK	STAIN	
20	2'-10"	6'-8"	1/2"	H.C.	BRCH	STAN	T HEMLOCK	STAIN	

WINDOW SCHEDULE									
NO.	SIZE	TYP.	HTG.	COLOR	INSUL.	REMARKS	HEADERS		
1	3'-0" X 1'-0"	VNLT. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4X12		
2	3'-0" X 1'-0"	VNLT. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4X12		
3	3'-0" X 1'-0"	VNLT. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4X12		
4	3'-0" X 1'-0"	VNLT. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4X12		
5	3'-0" X 1'-0"	VNLT. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4X12		
6	3'-0" X 1'-0"	VNLT. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4X12		
7	3'-0" X 1'-0"	VNLT. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4X12		
8	3'-0" X 1'-0"	VNLT. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4X12		
9	3'-0" X 1'-0"	VNLT. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4X12		
10	3'-0" X 1'-0"	VNLT. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4X12		
11	3'-0" X 1'-0"	VNLT. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4X12		
12	3'-0" X 1'-0"	VNLT. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4X12		
13	3'-0" X 1'-0"	VNLT. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4X12		
14	3'-0" X 1'-0"	VNLT. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4X12		
15	3'-0" X 1'-0"	VNLT. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4X12		
16	3'-0" X 1'-0"	VNLT. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4X12		
17	3'-0" X 1'-0"	VNLT. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4X12		
18	3'-0" X 1'-0"	VNLT. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4X12		
19	3'-0" X 1'-0"	VNLT. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4X12		
20	3'-0" X 1'-0"	VNLT. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4X12		

NOTE: ALL ACCESSIBLE DOORS SHALL BE PROVIDED WITH LEVER DOOR HARDWARE + OTHER OPERATING DEVICES IN COMPLIANCE WITH ICC/ANSI A117.1 SECTIONS 309.4 + 404.2.6.

NOTE: MAX. U-VALUE FOR ALL WINDOWS AS PER TABLE 401.1(2) OF EESC U-0.32.

NOTE: WINDOW SILLS MORE THAN 72" ABOVE FINISH GRADE SHALL BE A MINIMUM OF 36" ABOVE FINISH FLOOR SURFACE (OR) BE INSTALLED WITH WINDOW OPENING CONTROL DEVICES IN COMPLIANCE WITH THE 2014 EESC SECTIONS 1013.8.1 AND 1029.4.

NOTE: FOR WINDOW PLACEMENT SEE "WINDOW PLACEMENT FOR EGRESS AND FALL PROTECTION" DETAIL ON SHEET A15.40.

NOTE: MAN + UPPER FLOOR DOORS ARE SIZED THE SAME AS LOWER FLOOR DOORS. DOOR SIZE OPTIONS FOR MAN + UPPER FLOORS ARE AS FOLLOWS:
BED RM. = 2'-6" DOOR
BATH RM. = 2'-4" DOOR

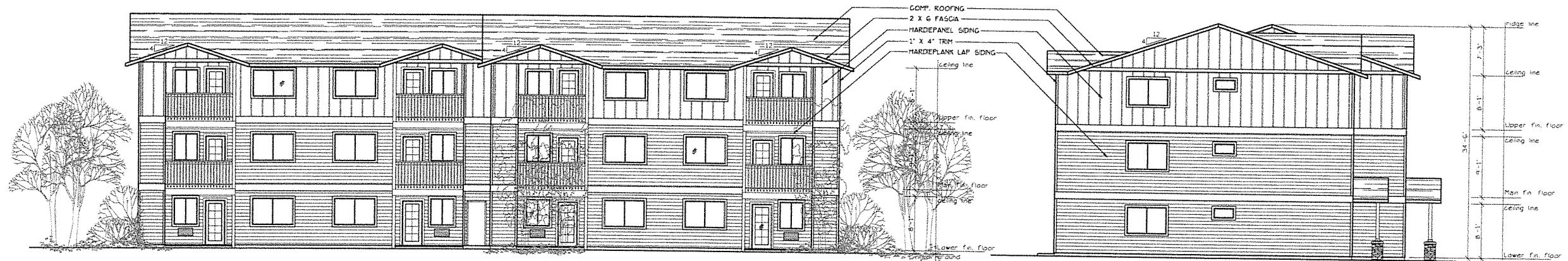
SEE "GENERAL STRUCTURAL NOTES" ON SHEET A16.2 BEFORE BEGINNING ANY CONSTRUCTION.

- GENERAL NOTES:**
- ALL EXTERIOR WALLS TO BE 2 X 6 STUDS. ALL OTHER WALLS TO BE 2 X 4 STUDS UNLESS OTHERWISE NOTED.
 - FIRE BLOCK CONCEALED SPACES (VERTICAL + HORIZONTAL) AS PER EESC 718.2.2 AND EESC 718.2.3.
 - PRIOR TO INSTALLATION OF FIBERGLASS TUB/SOWER + SHOWER UNITS, SHEET ROCK SHALL BE APPLIED TO STUD WALLS AS INDICATED ON PLANS.
 - ALL BATH FANS TO HAVE MIN. 80 CFM RANGE HOOD EXHAUST FANS TO HAVE MIN. 150 CFM.
 - ELECTRIC OUTLETS IN 1 HR. WALL MAY NOT BE BACK TO BACK AND MUST BE SEPARATED BY HORIZONTAL DISTANCE OF 2'-0".
 - ALL EXTERIOR FLOOD LIGHTING SHALL BE CONNECTED TO HOUSE PANELS LOCATED IN ON-SITE UTILITY ROOMS + STORAGE BLD'S.
 - AS PER EESC HIGH-EFFICIENCY LIGHTING SYSTEMS - A MINIMUM OF 50 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE COMPACT OR LINEAR FLUORESCENT, OR A LIGHTING SOURCE THAT HAS A MINIMUM EFFICACY OF 40 LUMENS PER INPUT WATT.
 - ALL "TYPE A" ACCESSIBLE UNITS REQUIRE THE PATIO TO BE AT SAME LEVEL AS DWELLING UNIT.

* ACCESSIBLE POCKET DOORS MUST STOP FULLY OPEN WITH THEIR OPERATING HANDLES FULLY EXPOSED.
** TO PROVIDE MINIMUM 32" NET CLEAR WIDTH PER ICC/A117.1 SEC. 1004.5.2.1 WHEN FULLY OPENED.

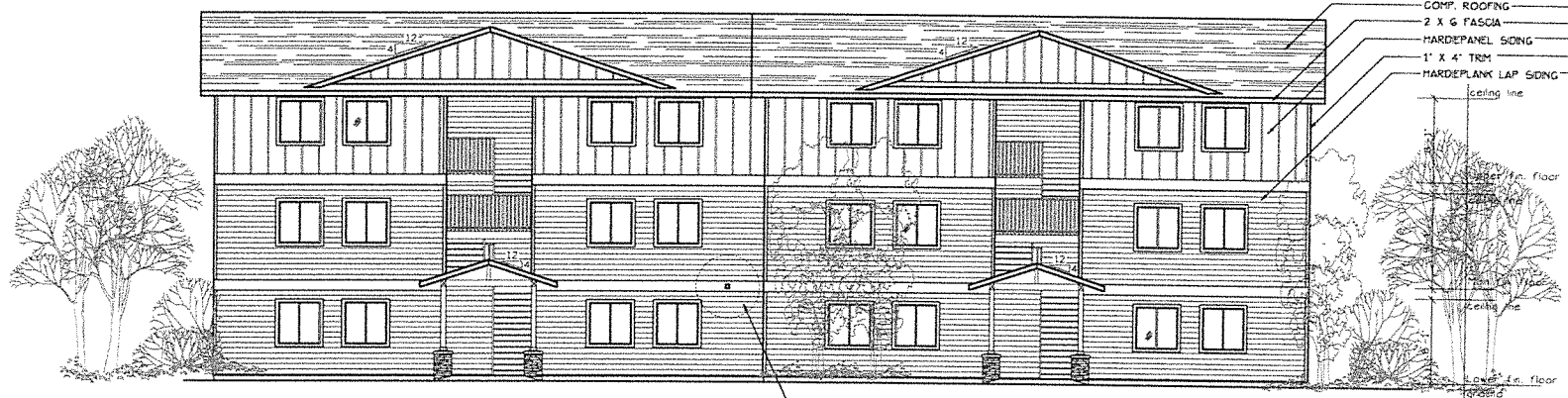
NOTE: ALL LOWER FLOOR OPERABLE WINDOWS + HARDWARE TO COMPLY WITH 2014 EESC CHAPTER 11 SEC. 1107.2 ON TO ICC/ANSI A117.1 THEN SEC. 1002.9. OPERABLE PARTS SHALL COMPLY WITH SEC. 309.4. SEE "OPERABLE WINDOWS IN ACCESSIBLE LOCATIONS" DETAIL ON SHEET ADA-5. ALL LOWER FLOOR WINDOW HEADERS TO BE SET MIN. 7'-0" A.F.F. UNO.

CONSTRUCTION TYPE V B SPRINKLED.

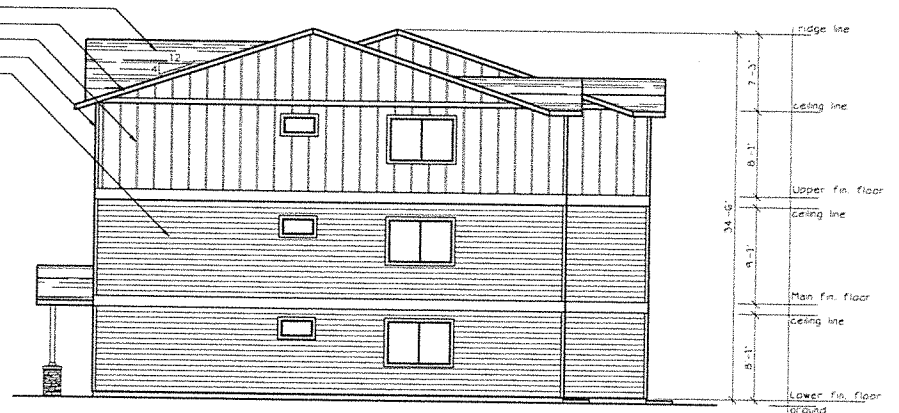


EAST ELEVATION (TYPE A UNITS)
SCALE: 1/8" = 1'-0"
BLD. 16

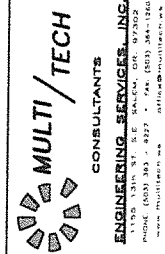
NORTH ELEVATION (TYPE A UNITS)
SCALE: 1/8" = 1'-0"
BLD. 16



WEST ELEVATION (TYPE A UNITS)
SCALE: 1/8" = 1'-0"
BLD. 16



SOUTH ELEVATION (TYPE A UNITS)
SCALE: 1/8" = 1'-0"
BLD. 16

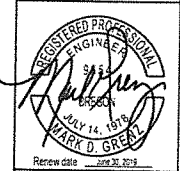


BUILDING
ELEVATIONS

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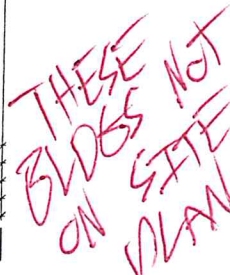
Design: P.L.M.
Drawn: G.L.D.
Checked: M.D.G.
Date: APR-18
Scale: AS SHOWN
JOB # 6433



A5.90

APARTMENT COMPLEX

Date: Apr-18
Scale: AS SHOWN



TYPE A UNITS
BLD. 15.18

(F) 907.2.10.3 SMOKE ALARMS. SINGLE AND MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 907.2.11.

(F) 907.2.11 SINGLE AND MULTIPLE-STATION SMOKE ALARMS. LISTED SINGLE AND MULTIPLE-STATION SMOKE ALARMS COMPLYING WITH UL 217 SHALL BE INSTALLED IN ACCORDANCE WITH SECTIONS 907.2.11.1 THROUGH 907.2.11.4 AND NFPA 72.

FLOOR/CEILING ASSEMBLY AT TUB/SHOWERS

ELECTRICAL = HEATER/LIGHT/FAN

SEE 'GENERAL STRUCTURAL NOTES
ON SHEET A3.2 BEFORE BEGINNING
ANY CONSTRUCTION

HANDICAP UNIT NOTES:

THE UNITS HAVE BEEN DESIGNED TO COMPLY WITH OSGG 2014 REVISED TO BE EFFECTIVE APRIL 1, 2014. CHAPTER 11 OF THE OSGG 2014 AS REVISED INCORPORATES AS PART OF IT, AMERICAN NATIONAL STANDARD ICC/ANSI A117.1-1003. WITHIN CC/ANSI A117.1. CHAPTER 10 SETS OUT SPECIFIC CODE REQUIREMENTS FOR DWELLING AND SLEEPING UNITS. CHAPTER 10 SETS OUT THE CODE REQUIREMENTS THAT ALL GROUND FLOOR UNITS MUST MEET.

THE INTENT IS THAT 'ALL' GROUND FLOOR UNITS ARE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE.

WITHIN THE PROJECT THERE ARE TYPE 'A' UNITS WHICH MUST MEET SPECIFIC REQUIREMENTS SET OUT IN ICC/ANSI A117.1, CHAPTER 10.

SECTION 1003.

WITHIN THE PROJECT THERE ARE ALSO TYPE 'B' UNITS WHICH MUST MEET SPECIFIC REQUIREMENTS SET OUT BELOW AND WHICH MUST

SECTION 1004. ALL ACCESSIBLE FLOOR UNITS WITHIN THIS PROJECT ARE TO BE TYPE 'B' UNITS UNLESS SPECIFICALLY DESIGNATED TYPE 'A' UNITS. WITHIN THESE TYPE 'B' UNITS THE MAIN BATHROOM (OR ONLY

BATHROOM) SHALL BE DESIGNATED AS AN OPTION 'B' ADAPTABLE BATHROOM WHICH MUST MEET THE REQUIREMENTS OF ICC/ANSI A117.1 SECTION 1004.11.3.2.

ATTACHED TO THE DRAWING SETS ARE OUR SHEETS ADA-1 THRU 5
THAT SET OUT SPECIFIC INFORMATION FROM O55C 2014, CHAPTER 10
AS WELL AS THE REFERENCED DOCUMENTS. THE DRAWINGS SET OUT

SPECIFIC MINIMUM ELEMENTS AND DIMENSIONS THAT MUST BE MET TO ASSURE COMPLIANCE WITH THIS CODE.

WINDOW SCHEDULE							
Q	SIZE	TYPE	MFG.	COLOR	INSUL.	REMARKS	HEADERS
Q	3 O 3 L	VNLT STAT	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12
Q	3 O 12	VNLT STAT	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12
Q	3 O 4 G	VNLT SGL	MLGARD	WHITE	YES	SINGLE HUNG W/ SCREEN	DF #1 4x12
Q	3 G 4 G	VNLT SLD	MLGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DF #1 4x12
Q	4 O 3 G	VNLT SLD	MLGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DF #1 4x12
Q	4 O 4 G	VNLT SLD	MLGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DF #1 4x12
Q	4 O 5 O	VNLT SLD	MLGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DF#1 6x6 (SEE ALT. HEADER DETAIL SMT. A14-40)
Q	5 O 2 G	VNLT SLD	MLGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DF #1 4x12
Q	5 O 4 G	VNLT SLD	MLGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DF #1 4x12
Q	5 O 5 O	VNLT SLD	MLGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DF#1 6x6 (SEE ALT. HEADER DETAIL SMT. A14-40)
Q	6 O 4 G	VNLT SLD	MLGARD	WHITE	YES	HORIZ SLIDER W/ SCREEN	DF #1 4x12
Q	4 O 8 O	CASEMENT	MLGARD	WHITE	YES	CASEMENT W/ SCREEN	DF #1 4x12

NOTE: MAX. U-VALUE FOR ALL WINDOWS AS PER TABLE 401.1(2) OEEEC U-0.32.

NOTE: WINDOW SILLS MORE THAN 72" ABOVE FINISH GRADE SHALL BE A MINIMUM OF 36" ABOVE FINISH FLOOR SURFACE (OR) BE

INSTALLED WITH WINDOW OPENING CONTROL DEVICES IN COMPLIANCE WITH THE 2014 OESC SECTIONS 1013.8.1 AND 1029.4.

NOTE: FOR WINDOW PLACEMENT SEE "WINDOW PLACEMENT FOR EGRESS AND FALL PROTECTION" DETAIL ON SHEET AB-40.

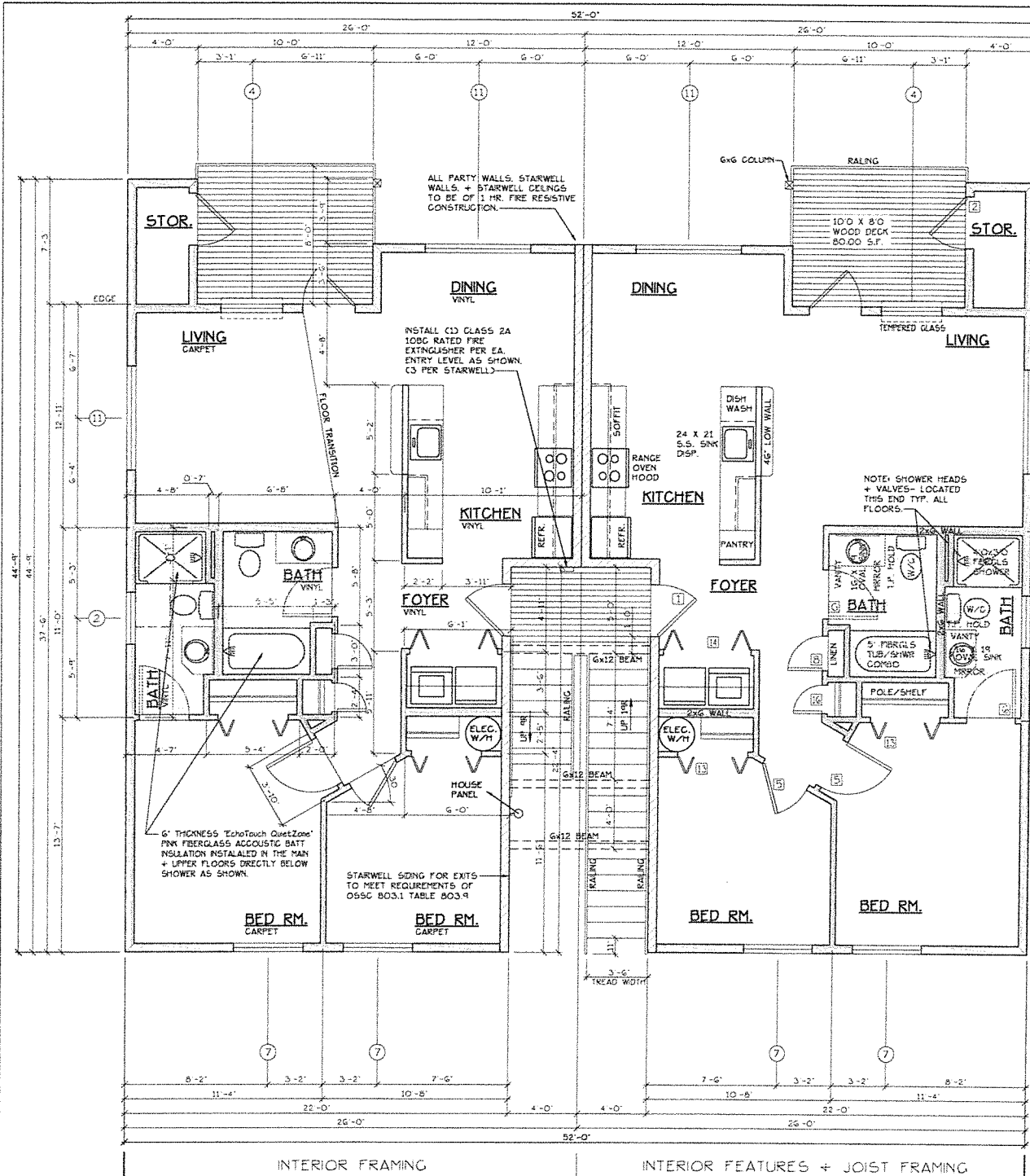
CONSTRUCTION TYPE V B SPRINKLER

GENERAL NOTES:

1. ALL EXTERIOR WALLS TO BE 2 X 6 STUDS. ALL OTHER WALLS TO BE 2 X 4 STUDS UNLESS OTHERWISE NOTED.
2. FIRE BLOCK CONNECTED SPACES (VERTICAL & HORIZONTAL) AS PER OSICC 71B.2.2 AND OSICC 71B.2.3.
3. PRIOR TO INSTALLATION OF FIBERGLASS TUB/SHOWER & SHOWER UNITS, SHEET ROCK SHALL BE APPLIED TO STUD WALLS AS INDICATED ON PLANS.
4. ALL BATH FANS TO HAVE MN. 60 CFM. RANGE HOOD EXHAUST FANS TO HAVE MN. 150 CFM.
5. ELECTRIC OUTLETS IN 1st. WALL MAY NOT BE BACK TO BACK AND MUST BE SEPARATED BY HORIZONTAL DISTANCE OF 2'-0".
6. ALL EXTERIOR LIGHTING SHALL BE CONNECTED TO HOUSE PANELS LOCATED IN ON-SITE UTILITY ROOMS & STORAGE BLDGS.
7. AS PER OSICC HIGH-EFFICIENCY LIGHTING SYSTEMS - A MINIMUM OF 50 PERCENT OF THE LAMPS IN PERMANENTLY RAILING LIGHTING FIXTURES SHALL BE COMPACT OR LINEAR FLUORESCENT, OR A LIGHTING SOURCE THAT HAS A MINIMUM EFFICACY OF 40 LUMENS PER INPUT WATT.
8. ALL TYPE 'A' ACCESSIBLE UNITS REQUIRE THE PATIO TO BE AT SAME LEVEL AS DWELLING UNIT.

- * ACCESSIBLE POCKET DOORS MUST STOP FULLY OPEN WITH THEIR OPERATING HANDLES FULLY EXPOSED
- ** TO PROVIDE MINIMUM 32" NET CLEAR WIDTH PER ICC/A117.1 SEC. 1004.5.2.1 WHEN FULLY OPENED.

NOTE: ALL LOWER FLOOR OPERABLE WINDOWS + HARDWARE TO COMPLY WITH O.S.S.C. 2014 CHAPTER 11 SEC. 1107.2 ON TO ICC/ANSI A117.1 THEN SEC. 1002.9. OPERABLE PARTS SHALL COMPLY WITH SEC. 309. SEE 'OPERABLE WINDOWS IN ACCESSIBLE LOCATIONS' DETAIL ON SHEET ADA-5. ALL LOWER FLOOR WINDOW HEADERS TO BE SET MIN. 7'-0" A.F.F. U.N.C.



MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

A UNIT = 957 S.F.

TYPE A UNITS

BLD. 15.18

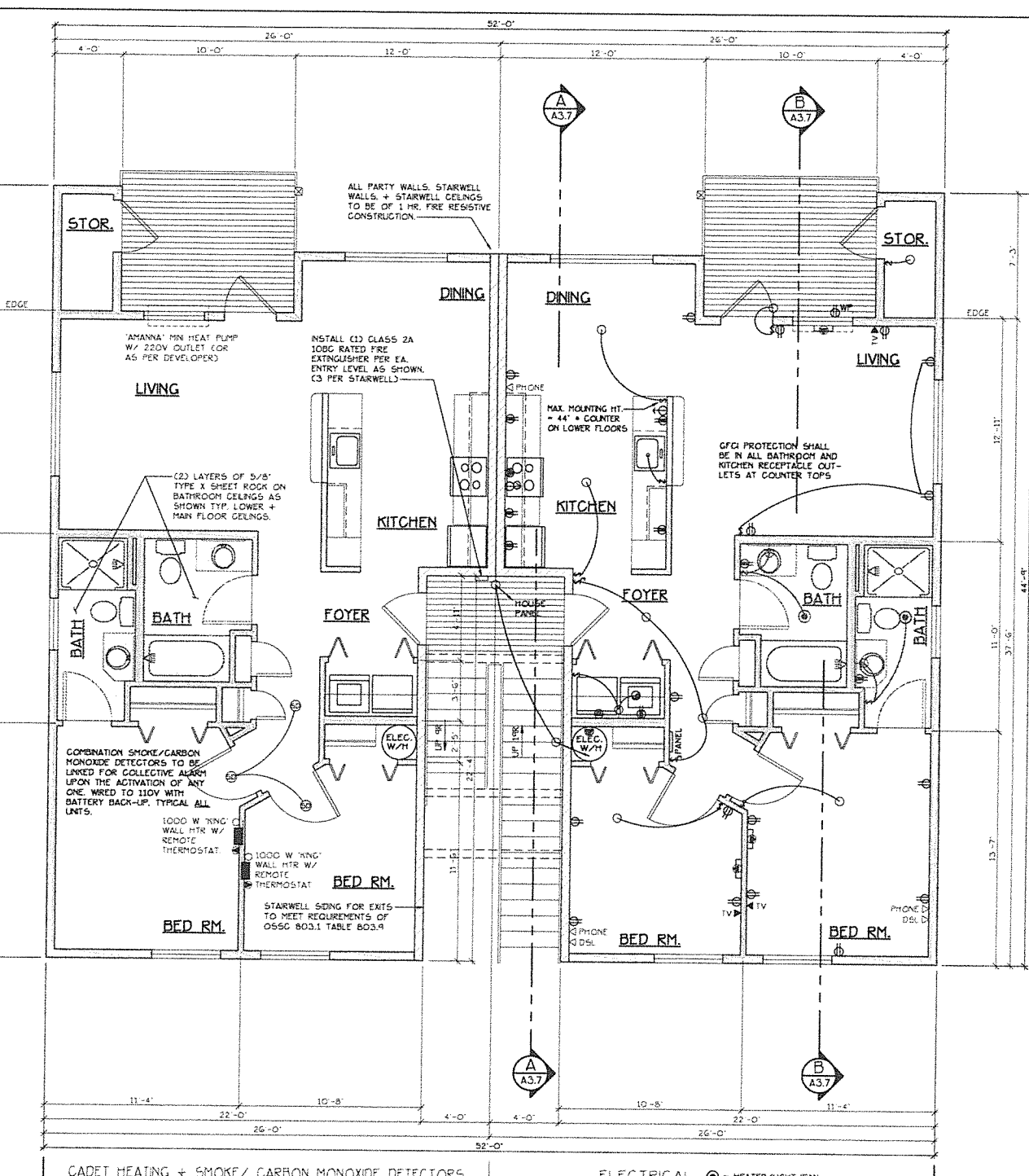
CONSTRUCTION TYPE V B SPRINKLED
SEE WALL DETAIL SHEETS FOR
SHEETROCK APPLICATION.

DOOR SCHEDULE									
NO.	WIDTH	HEIGHT	THICK.	TYP.	MATERIAL	FIN.	TYPE	REMARKS	
1	3'-0"	6'-8"	1-3/4"	MIL.	GLASS	PANT.	A	GLASS DOOR W/ THRESHOLD WEATHERSTRIP CLOSURE	
2	3'-0"	6'-8"	1-3/4"	MIL.	GLASS	PANT.	B	GLASS DOOR W/ THRESHOLD WEATHERSTRIP CLOSURE	
3	3'-0"	6'-8"	1-3/4"	MIL.	GLASS	PANT.	C	GLASS DOOR W/ THRESHOLD WEATHERSTRIP CLOSURE	
4	3'-0"	6'-8"	1-3/4"	MIL.	GLASS	PANT.	D	GLASS DOOR W/ THRESHOLD WEATHERSTRIP CLOSURE	
5	3'-0"	6'-8"	1-3/4"	MIL.	GLASS	PANT.	E	GLASS DOOR W/ THRESHOLD WEATHERSTRIP CLOSURE	
6	3'-0"	6'-8"	1-3/4"	MIL.	GLASS	PANT.	F	GLASS DOOR W/ THRESHOLD WEATHERSTRIP CLOSURE	
7	3'-0"	6'-8"	1-3/4"	MIL.	GLASS	PANT.	G	GLASS DOOR W/ THRESHOLD WEATHERSTRIP CLOSURE	
8	3'-0"	6'-8"	1-3/4"	MIL.	GLASS	PANT.	H	GLASS DOOR W/ THRESHOLD WEATHERSTRIP CLOSURE	
9	3'-0"	6'-8"	1-3/4"	MIL.	GLASS	PANT.	I	GLASS DOOR W/ THRESHOLD WEATHERSTRIP CLOSURE	
10	3'-0"	6'-8"	1-3/4"	MIL.	GLASS	PANT.	J	GLASS DOOR W/ THRESHOLD WEATHERSTRIP CLOSURE	
11	3'-0"	6'-8"	1-3/4"	MIL.	GLASS	PANT.	K	GLASS DOOR W/ THRESHOLD WEATHERSTRIP CLOSURE	
12	3'-0"	6'-8"	1-3/4"	MIL.	GLASS	PANT.	L	GLASS DOOR W/ THRESHOLD WEATHERSTRIP CLOSURE	
13	3'-0"	6'-8"	1-3/4"	MIL.	GLASS	PANT.	M	GLASS DOOR W/ THRESHOLD WEATHERSTRIP CLOSURE	
14	3'-0"	6'-8"	1-3/4"	MIL.	GLASS	PANT.	N	GLASS DOOR W/ THRESHOLD WEATHERSTRIP CLOSURE	
15	3'-0"	6'-8"	1-3/4"	MIL.	GLASS	PANT.	O	GLASS DOOR W/ THRESHOLD WEATHERSTRIP CLOSURE	
16	3'-0"	6'-8"	1-3/4"	MIL.	GLASS	PANT.	P	GLASS DOOR W/ THRESHOLD WEATHERSTRIP CLOSURE	
17	3'-0"	6'-8"	1-3/4"	MIL.	GLASS	PANT.	Q	GLASS DOOR W/ THRESHOLD WEATHERSTRIP CLOSURE	
18	3'-0"	6'-8"	1-3/4"	MIL.	GLASS	PANT.	R	GLASS DOOR W/ THRESHOLD WEATHERSTRIP CLOSURE	
19	3'-0"	6'-8"	1-3/4"	MIL.	GLASS	PANT.	S	GLASS DOOR W/ THRESHOLD WEATHERSTRIP CLOSURE	
20	3'-0"	6'-8"	1-3/4"	MIL.	GLASS	PANT.	T	GLASS DOOR W/ THRESHOLD WEATHERSTRIP CLOSURE	

ACCESSIBLE POCKET DOORS MUST STOP FULLY OPEN WITH THEIR OPERATING HANDLES FULLY EXPOSED.
** TO PROVIDE MINIMUM 32" NET CLEAR WIDTH PER ICC/ANSI 117.1 SEC. 1004.5.21 WHEN FULLY OPENED.

WINDOW SCHEDULE									
NO.	SIZE	TYPE	MFG.	COLOR	INSUL.	REMARKS	HEADERS		
1	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
2	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
3	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
4	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
5	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
6	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
7	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
8	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
9	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
10	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
11	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
12	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
13	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
14	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
15	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
16	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
17	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
18	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
19	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
20	3'-0" X 1'-0"	VNLT. STAT.	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		

NOTE: ALL LOWER FLOOR OPERABLE WINDOWS + HARDWARE TO COMPLY WITH O.S.S.C. 2014 CHAPTER 11 SEC. 1107.2 ON TO ICC/ANSI A117.1 THEN SEC. 1002.9. OPERABLE PARTS SHALL COMPLY WITH SEC. 309. SEE 'OPERABLE WINDOWS IN ACCESSIBLE LOCATIONS' DETAIL ON SHEET ADA-5. ALL LOWER FLOOR WINDOW HEADERS TO BE SET MIN. 7'-0" A.F.F. UNO.



CADET HEATING + SMOKE/ CARBON MONOXIDE DETECTORS

ELECTRICAL (H) = HEATER/LIGHT/FAN

CONSTRUCTION TYPE V B SPRINKLED.

SEE 'GENERAL STRUCTURAL NOTES' ON SHEET A3.2 BEFORE BEGINNING ANY CONSTRUCTION.

GENERAL NOTES:

- ALL EXTERIOR WALLS TO BE 2 X 4 STUDS. ALL OTHER WALLS TO BE 2 X 4 STUDS UNLESS OTHERWISE NOTED.
- FIRE BLOCK CONCEALED SPACES (VERTICAL + HORIZONTAL) AS PER O.S.S.C. 718.2.2 AND O.S.S.C. 718.2.3.
- PRIOR TO INSTALLATION OF FIBERGLASS TUB/SHOWER + SHOWER UNITS, SHEET ROCK SHALL BE APPLIED TO STUD WALLS AS INDICATED ON PLANS.
- ALL BATH FANS TO HAVE MIN. BD CFM. RANGE HOOD EXHAUST FANS TO HAVE MIN. 150 CFM.
- ELECTRIC OUTLETS IN 1 HR. WALL MAY NOT BE BACK TO BACK AND MUST BE SEPARATED BY HORIZONTAL DISTANCE OF 2'-0".
- ALL EXTERIOR FLOOD LIGHTING SHALL BE CONNECTED TO HOUSE PANELS LOCATED IN ON-SITE UTILITY ROOMS + STORAGE BLDGS.
- AS PER OESG HIGH-EFFICIENCY LIGHTING SYSTEMS - A MINIMUM OF 50 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE COMPACT OR LINEAR FLUORESCENT. OR A LIGHTING SOURCE THAT HAS A MINIMUM EFFICACY OF 40 LUMENS PER INPUT WATT.
- ALL 'TYPE A' ACCESSIBLE UNITS REQUIRE THE PATIO TO BE AT SAME LEVEL AS DWELLING LNT.



MAIN FLOOR PLAN

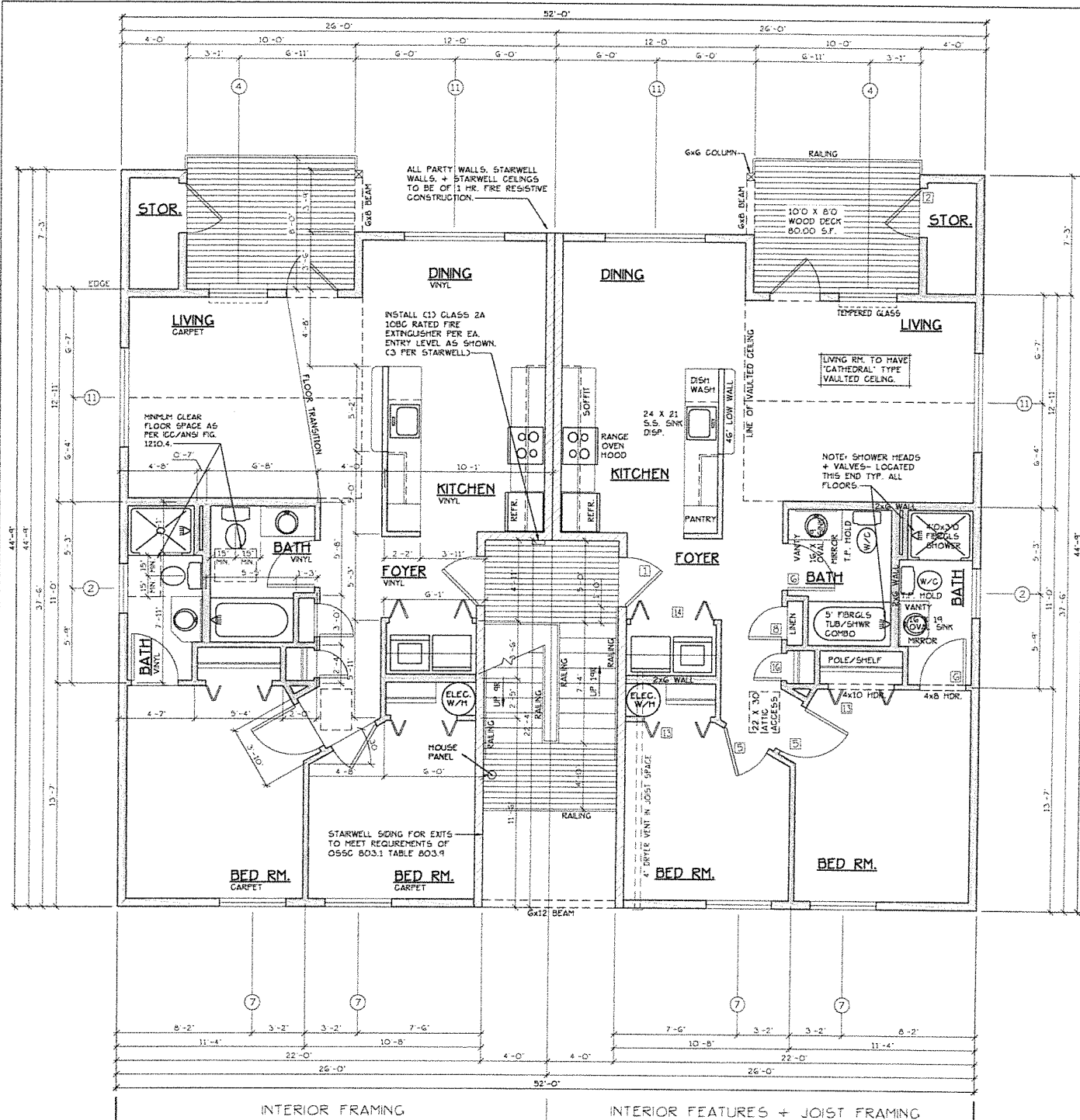
ST. HELENS APARTMENT COMPLEX

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Drawn: G.L.D.
Checked: M.D.G.
Date: APR-18
Scale: AS SHOWN



A6.41



UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"

TYPE A UNITS
BLD. 15.18

CONSTRUCTION TYPE V.B. SPRINKLED
SEE WALL DETAIL SHEETS FOR SHEETROCK APPLICATION.

DOOR SCHEDULE									
DOORS					FRAMES				
ID	WIDTH	HEIGHT	THICK	TYPE	MATL	FIN	FP	MATL	FIN
1	3'-0"	6'-8"	1 3/4"	MIL	GLAD	PANT	A	METAL	PANT
2	3'-0"	6'-8"	1 3/4"	MIL	GLAD	PANT	B	METAL	PANT
3	3'-0"	6'-8"	1 3/4"	MIL	GLAD	PANT	C	METAL	PANT
4	2'-6"	6'-8"	1 3/4"	MIL	GLAD	PANT	D	METAL	PANT
5	3'-0"	6'-8"	1 3/8"	H.C.	BRCH	STAIN	E	H.E.M.	GLD
6	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAIN	F	H.E.M.	GLD
7	2'-6"	6'-8"	1 3/8"	H.C.	BRCH	STAIN	G	H.E.M.	GLD
8	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAIN	H	H.E.M.	GLD
9	2'-6"	6'-8"	1 3/8"	H.C.	BRCH	STAIN	I	H.E.M.	GLD
10	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAIN	J	H.E.M.	GLD
11	2'-6"	6'-8"	1 3/8"	H.C.	BRCH	STAIN	K	H.E.M.	GLD
12	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAIN	L	H.E.M.	GLD
13	2'-6"	6'-8"	1 3/8"	H.C.	BRCH	STAIN	M	H.E.M.	GLD
14	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAIN	N	H.E.M.	GLD
15	2'-6"	6'-8"	1 3/8"	H.C.	BRCH	STAIN	O	H.E.M.	GLD
16	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAIN	P	H.E.M.	GLD
17	2'-6"	6'-8"	1 3/8"	H.C.	BRCH	STAIN	Q	H.E.M.	GLD
18	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAIN	R	H.E.M.	GLD
19	2'-6"	6'-8"	1 3/8"	H.C.	BRCH	STAIN	S	H.E.M.	GLD
20	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAIN	T	H.E.M.	GLD

WINDOW SCHEDULE									
ID	SIZE	TYPE	MFG.	COLOR	INSUL.	REMARKS	HEADERS		
1	3'-0" x 1'-0"	VINYL	STAT	MLGARD	WHITE	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
2	3'-0" x 1'-0"	VINYL	STAT	MLGARD	WHITE	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
3	3'-0" x 4'-0"	VINYL	SLD	MLGARD	WHITE	SINGLE HUNG W/ SCREEN	DF #1 4x12		
4	3'-0" x 4'-0"	VINYL	SLD	MLGARD	WHITE	HORIZ. SLIDER W/ SCREEN	DF #1 4x12		
5	4'-0" x 4'-0"	VINYL	SLD	MLGARD	WHITE	HORIZ. SLIDER W/ SCREEN	DF #1 4x12		
6	4'-0" x 5'-0"	VINYL	SLD	MLGARD	WHITE	HORIZ. SLIDER W/ SCREEN	DF #1 4x12		
7	5'-0" x 5'-0"	VINYL	SLD	MLGARD	WHITE	HORIZ. SLIDER W/ SCREEN	DF #1 4x12		
8	6'-0" x 4'-0"	VINYL	SLD	MLGARD	WHITE	HORIZ. SLIDER W/ SCREEN	DF #1 4x12		
9	4'-0" x 5'-0"	CASCHMET	MLGARD	WHITE	YES	CASCHMET W/ SCREEN	DF #1 4x12		

NOTE: ALL ACCESSIBLE DOORS SHALL BE PROVIDED WITH LEVER DOOR HARDWARE + OTHER OPERATING DEVICES IN COMPLIANCE WITH ICC/ANSI A117.1 SECTIONS 309.4 + 404.2.6.

NOTE: MAX. U-VALUE FOR ALL WINDOWS AS PER TABLE 401.1C2) OEESC U-0.32.

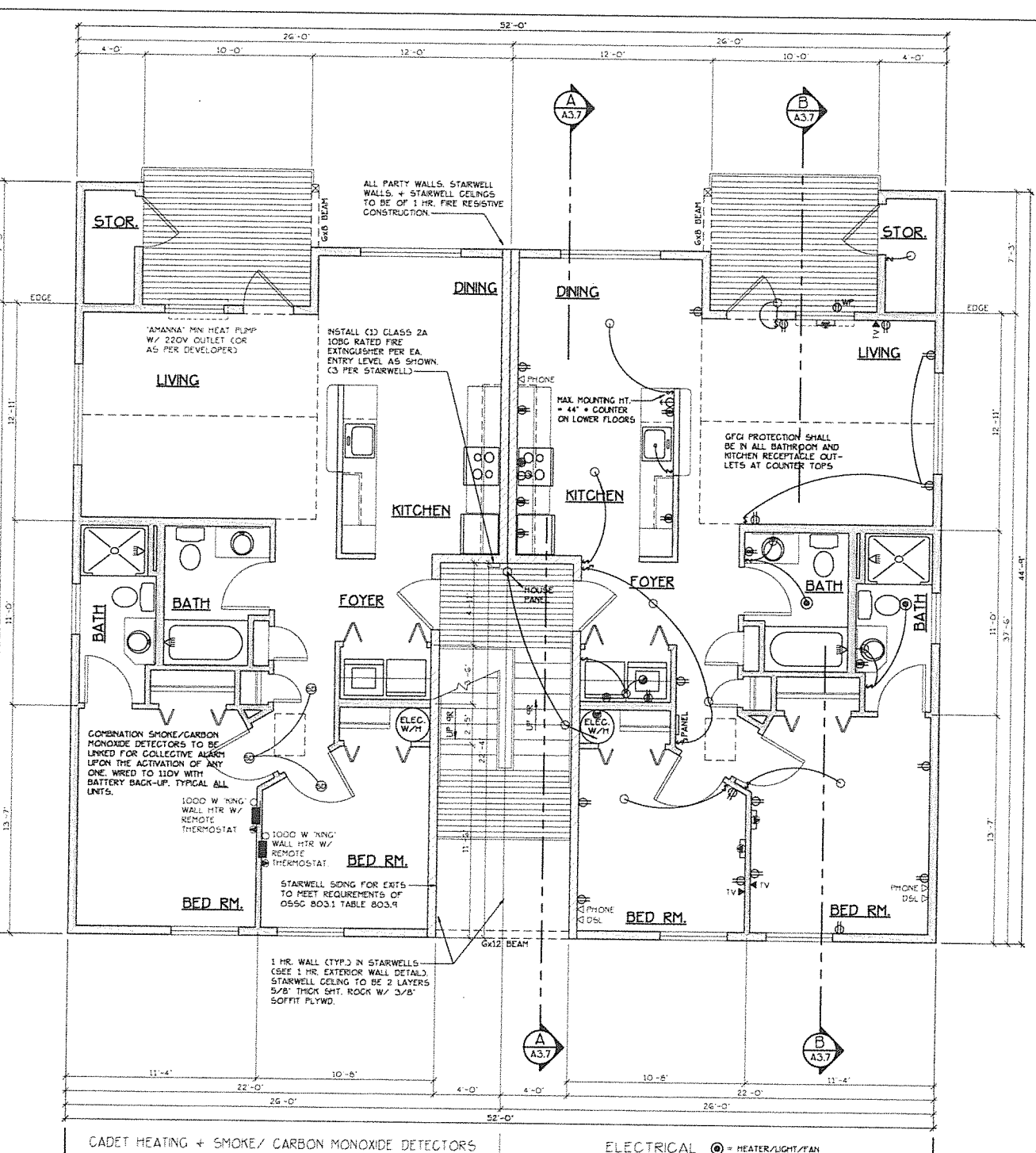
NOTE: WINDOW SILLS MORE THAN 72" ABOVE FINISH GRADE SHALL BE A MINIMUM OF 36" ABOVE FINISH FLOOR SURFACE (OR) BE INSTALLED WITH WINDOW OPENING CONTROL DEVICES IN COMPLIANCE WITH THE 2014 OEESC SECTIONS 1013.8.1 AND 1029.4.

NOTE: FOR WINDOW PLACEMENT SEE 'WINDOW PLACEMENT FOR EGRESS AND FALL PROTECTION' DETAIL ON SHEET A6.40.

NOTE: MAN + UPPER FLOOR DOORS ARE SIZED THE SAME AS LOWER FLOOR DOORS. DOOR SIZE OPTIONS FOR MAN + UPPER FLOORS ARE AS FOLLOWS:
BED RM. = 2'-6" DOOR
BATH RM. = 2'-4" DOOR

SEE 'GENERAL STRUCTURAL NOTES' ON SHEET A3.2 BEFORE BEGINNING ANY CONSTRUCTION.

CONSTRUCTION TYPE V.B. SPRINKLED.



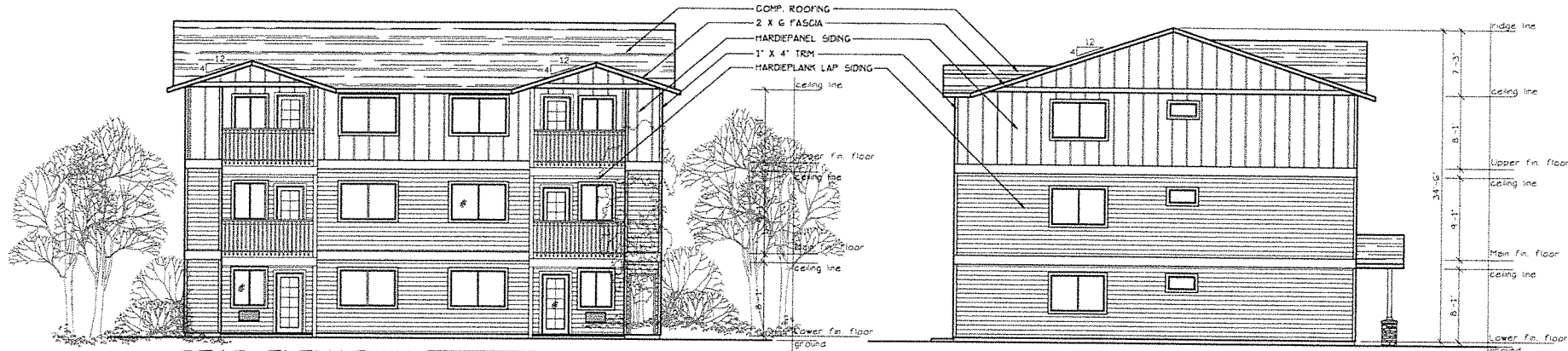
UPPER FLOOR PLAN
ST. HELENS
APARTMENT COMPLEX

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DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

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Drawn: G.L.D.
Checked: M.D.G.
Date: ADT-18
Scale: AS SHOWN
JOB # 6433
REGISTERED PROFESSIONAL ENGINEER
MARK D. SEEDS
Retiree # 228,329

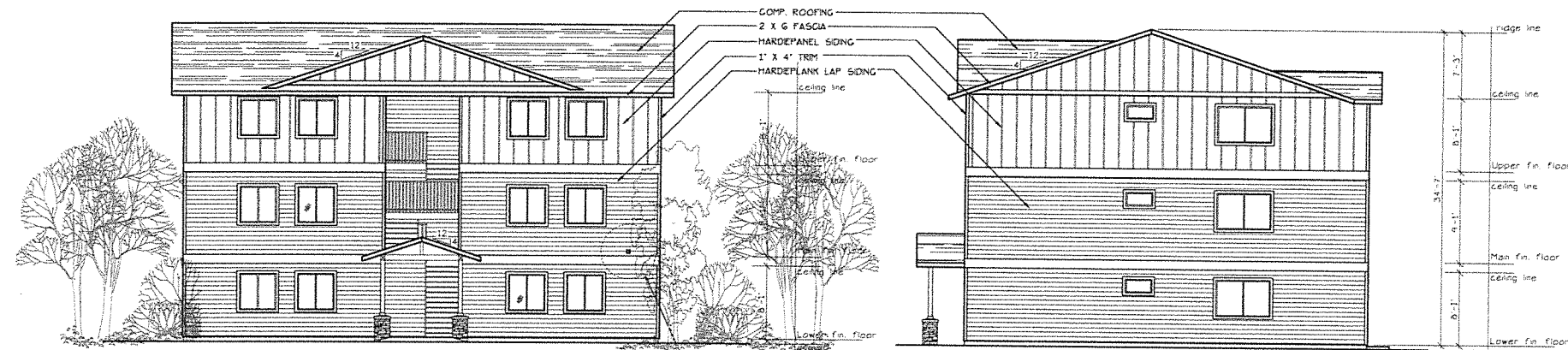
A6.50

- GENERAL NOTES:
- ALL EXTERIOR WALLS TO BE 2 X 6 STUDS. ALL OTHER WALLS TO BE 2 X 4 STUDS UNLESS OTHERWISE NOTED.
 - FIRE BLOCK CONCEALED SPACES (VERTICAL + HORIZONTAL) AS PER OEESC 718.2.2 AND OEESC 718.2.3.
 - PRIOR TO INSTALLATION OF FIBERGLASS TUB/SOWER + SHOWER UNITS, SHEET ROCK SHALL BE APPLIED TO STUD WALLS AS INDICATED ON PLANS.
 - ALL BATH FANS TO HAVE MIN. 80 CFM. RANGE HOOD EXHAUST FANS TO HAVE MIN. 150 CFM.
 - ELECTRIC OUTLETS IN 1 HR. WALL MAY NOT BE BACK TO BACK AND MUST BE SEPARATED BY HORIZONTAL DISTANCE OF 2'-0".
 - ALL EXTERIOR FLOOD LIGHTING SHALL BE CONNECTED TO HOUSE PANELS LOCATED IN ON-SITE UTILITY ROOMS + STORAGE BLDGS.
 - AS PER OEESC HIGH-EFFICIENCY LIGHTING SYSTEMS - A MINIMUM OF 50 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE COMPACT OR LINEAR FLUORESCENT, OR A LIGHTING SOURCE THAT HAS A MINIMUM EFFICACY OF 40 LUMENS PER INPUT WATT.
 - ALL 'TYPE A' ACCESSIBLE UNITS REQUIRE THE PATIO TO BE AT SAME LEVEL AS DWELLING UNIT.



REAR ELEVATION (TYPE A UNITS)
SCALE: 1/8" = 1'-0"
BLD. 15.18

END ELEVATION (TYPE A UNITS)
SCALE: 1/8" = 1'-0"
BLD. 15.18



FRONT ELEVATION (TYPE A UNITS)
SCALE: 1/8" = 1'-0"
BLD. 15.18

END ELEVATION (TYPE A UNITS)
SCALE: 1/8" = 1'-0"
BLD. 15.18

EXHAUST VENT 3'-0"
CLEAR OF OPERABLE
WINDOW AREA TYP.



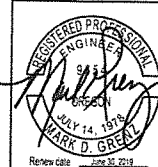
CONSULTANTS
ENGINEERING SERVICES, INC. 103
PHONE (303) 363-1822 FAX (303) 363-1823
WWW.MULTITECH-USA.COM

BUILDING
ELEVATIONS

ST. HELENS
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DIMENSIONS & NOTES TAKE
PRECEDENCE OVER GRAPHICAL
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DESIGN: P.L.M.
DRAWN: G.D.
CHECKED: M.D.G.
DATE: APR-18
SCALE: AS SHOWN
JOB # 6433



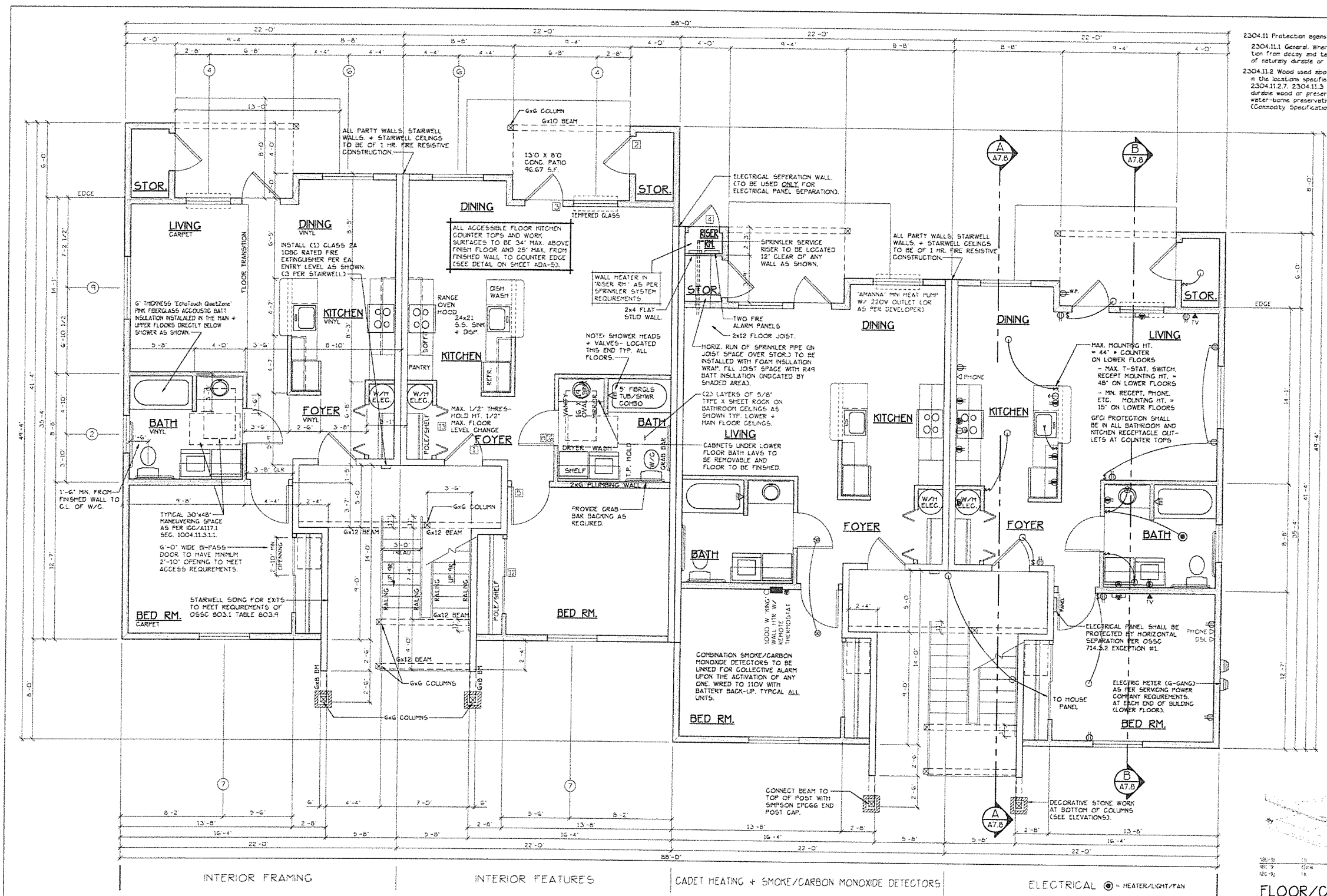
A6.80

LOWER FLOOR PLAN
ST. HELENS APARTMENT COMPLEX

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DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

Design: P.L.M.
Drawn: G.L.D.
Checked: M.D.G.
Date: May-18
Scale: AS SHOWN
JOB # 6433

REGISTERED PROFESSIONAL ENGINEER
PARK D. GREY
RENEWAL - 2024-2025



LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"
(HANDICAP ADAPTABLE/ACCESSIBLE)
'C' UNIT = 728 S.F.
TYPE C UNITS
BLD. 7.8+17

CONSTRUCTION TYPE V B SPRINKLED
SEE WALL DETAIL SHEETS FOR SHEETROCK APPLICATION.
(F) 907.2.10.3 SMOKE ALARMS, SINGLE AND MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 907.2.11.
(F) 907.2.11 SINGLE AND MULTIPLE-STATION SMOKE ALARMS, LISTED SINGLE AND MULTIPLE-STATION SMOKE ALARMS COMPLYING WITH UL 217 SHALL BE INSTALLED IN ACCORDANCE WITH SECTIONS 907.2.11.1 THROUGH 907.2.11.4 AND NFPA 72.

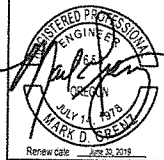
DOOR SCHEDULE										
DOORS					FRAMES			REMARKS		
#	WIDTH	HEIGHT	THICK	TYP	MATL	FIN	TYP		MATL	FIN
1	3'-0"	6'-8"	1/4"	MIL	GLAD	PANT	A	METAL	PANT	
2	3'-0"	6'-8"	1/4"	MIL	CLAD	PANT	B	METAL	PANT	
3	3'-0"	6'-8"	1/4"	MIL	CLAD	PANT	C	METAL	PANT	G PANEL 60 IN. RATED ASSY W/ THRESHOLD WEATHERSTRIP CLOSURES
4	2'-6"	6'-8"	1/4"	MIL	CLAD	PANT	D	METAL	PANT	G PANEL W/ THRESHOLD WEATHERSTRIP AND KEYS LOCK
5	2'-6"	6'-8"	1/4"	MIL	CLAD	PANT	D	METAL	PANT	FULL LITE TEMP. GLASS LOCK THRESHOLD + WEATHERSTRIP
6	2'-6"	6'-8"	1/4"	MIL	CLAD	PANT	D	METAL	PANT	W/ THRESHOLD WEATHERSTRIP AND KEYS LOCK
7	3'-0"	6'-8"	1/4"	MIL	BURCH	STAIN	E	HEM. OCN	STAIN	
8	2'-10"	6'-8"	1/4"	MIL	BURCH	STAIN	E	HEM. OCN	STAIN	
9	2'-6"	6'-8"	1/4"	MIL	BURCH	STAIN	F	HEM. OCN	STAIN	**
10	2'-6"	6'-8"	1/4"	MIL	BURCH	STAIN	F	HEM. OCN	STAIN	
11	2'-6"	6'-8"	1/4"	MIL	BURCH	STAIN	F	HEM. OCN	STAIN	
12	2'-6"	6'-8"	1/4"	MIL	BURCH	STAIN	F	HEM. OCN	STAIN	
13	2'-10"	6'-8"	1/4"	MIL	BURCH	STAIN	F	HEM. OCN	STAIN	POCKET DOOR
14	2'-10"	6'-8"	1/4"	MIL	BURCH	STAIN	F	HEM. OCN	STAIN	**
15	4'-0"	6'-8"	1/4"	MIL	BURCH	STAIN	G	HEM. OCN	STAIN	B-PASS DOOR
16	5'-8"	6'-8"	1/4"	MIL	BURCH	STAIN	G	HEM. OCN	STAIN	B-PASS DOOR
17	6'-0"	6'-8"	1/4"	MIL	BURCH	STAIN	G	HEM. OCN	STAIN	B-PASS DOOR
18	4'-0"	6'-8"	1/4"	MIL	BURCH	STAIN	H	HEM. OCN	STAIN	B-OLD DOOR
19	5'-0"	6'-8"	1/4"	MIL	BURCH	STAIN	H	HEM. OCN	STAIN	B-OLD DOOR
20	5'-0"	6'-8"	1/4"	MIL	BURCH	STAIN	H	HEM. OCN	STAIN	B-OLD DOOR
21	1'-8"	6'-8"	1/4"	MIL	BURCH	STAIN	F	HEM. OCN	STAIN	

• ACCESSIBLE POCKET DOORS MUST STOP FULLY OPEN WITH THEIR OPERATING HANDLES FULLY EXPOSED
• TO PROVIDE MINIMUM 32" CLEAR WIDTH PER ICC/A117.1 SEC. 1004.5.2.1 WHEN FULLY OPENED

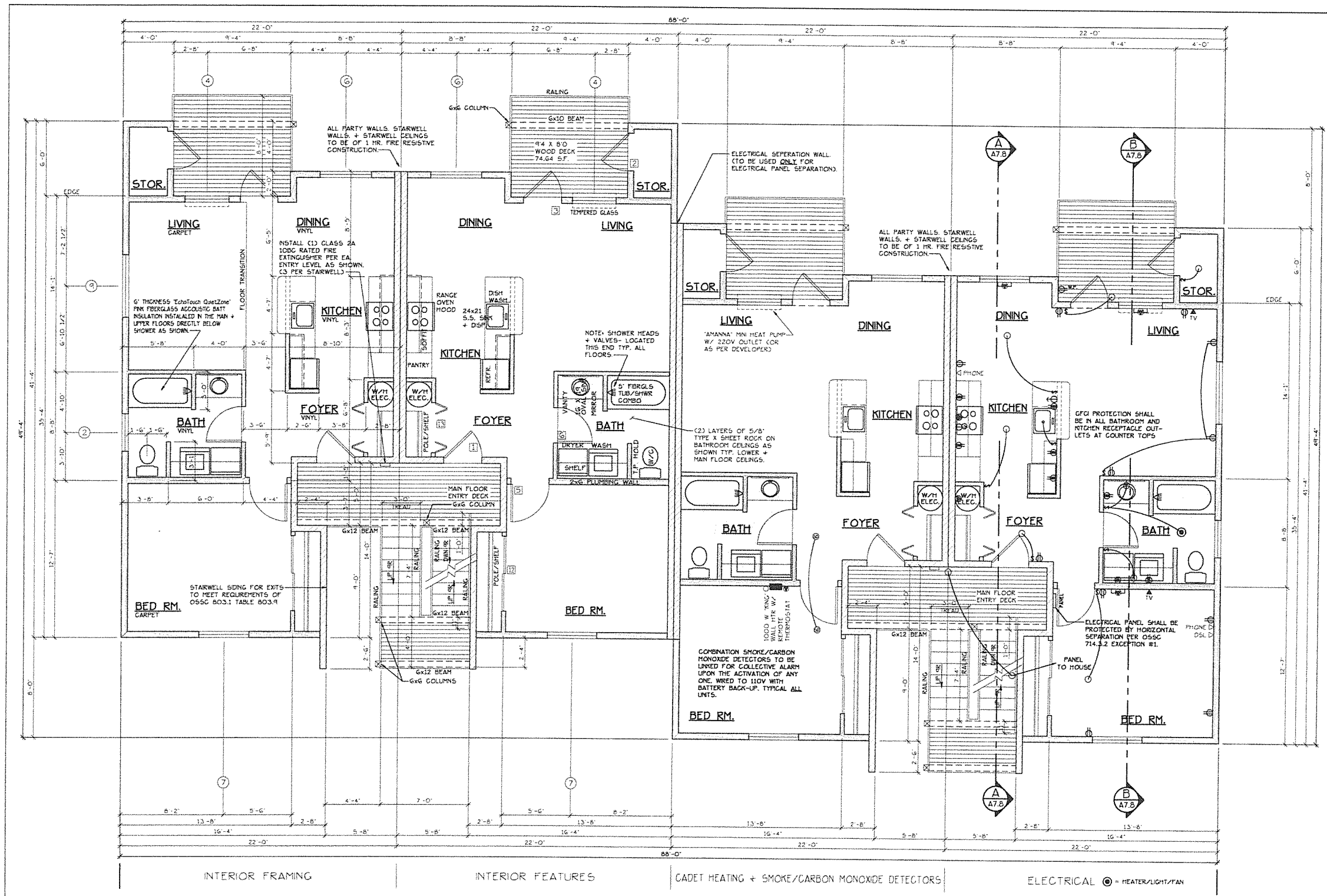
ST. HELENS
APARTMENT COMPLEX
MAIN FLOOR PLAN

NO CHANGES, MODIFICATIONS OR REPRODUCTIONS TO BE MADE WITHOUT THE WRITTEN AUTHORIZATION OF THE DESIGN ENGINEER.
DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

Design: P.L.M.
Drawn: G.L.D.
Checked: M.D.G.
Date: May-18
Scale: AS SHOWN
JOB # 6433



A7.43



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"
"C" UNIT = 728 S.F.
TYPE C UNITS
BLD. 7.8+17

CONSTRUCTION TYPE V B SPRINKLED
SEE WALL DETAIL SHEETS FOR SHEETROCK APPLICATION.

(F) 907.2.10.3 SMOKE ALARMS, SINGLE AND MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 907.2.11.
(F) 907.2.11 SINGLE AND MULTIPLE-STATION SMOKE ALARMS, LISTED SINGLE AND MULTIPLE-STATION SMOKE ALARMS COMPLYING WITH UL 217 SHALL BE INSTALLED IN ACCORDANCE WITH SECTIONS 907.2.11.1 THROUGH 907.2.11.4 AND NFPA 72.

DOOR SCHEDULE									
DOORS					FRAMES				
NO.	WIDTH	HEIGHT	THICK	TYP.	MATL.	FIN.	FP	MATL.	FIN.
1	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	2	METAL	PANT.
2	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	2	METAL	PANT.
3	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	2	METAL	PANT.
4	2'-6"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	2	METAL	PANT.
5	3'-0"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
6	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
7	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
8	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
9	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
10	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
11	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
12	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
13	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
14	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
15	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
16	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
17	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
18	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
19	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
20	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
21	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
22	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
23	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
24	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
25	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
26	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
27	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
28	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
29	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
30	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
31	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
32	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
33	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
34	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
35	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
36	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
37	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
38	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
39	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
40	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
41	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
42	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
43	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
44	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
45	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
46	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
47	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
48	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
49	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
50	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
51	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
52	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
53	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
54	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
55	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
56	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
57	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
58	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
59	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
60	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
61	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
62	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
63	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
64	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
65	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
66	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
67	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
68	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
69	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
70	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
71	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
72	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
73	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
74	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
75	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
76	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
77	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
78	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
79	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
80	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
81	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
82	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
83	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
84	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
85	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
86	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
87	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
88	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
89	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
90	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
91	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
92	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
93	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
94	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
95	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
96	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
97	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
98	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
99	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.
100	2'-10"	6'-8"	1 3/8"	H.C.	BRCH	STAN.	E	H.M.L.O.C.	STAN.

WINDOW SCHEDULE									
NO.	SIZE	TYPE	MFG.	COLOR	INSUL.	REMARKS	HEADERS	FOOTERS	FIN.
1	3'0" X 1'0"	VNLT. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
2	3'0" X 1'0"	VNLT. STAT.	MLGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS			
3	3'0" X 4'6"	VNLT. SLD.	MLGARD	WHITE	YES	SINGLE HUNG W/ SCREEN			
4	3'0" X 4'6"	VNLT. SLD.	MLGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN			
5	4'0" X 3'6"	VNLT. SLD.	MLGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN			
6	4'0" X 4'6"	VNLT. SLD.	MLGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN			
7	4'0" X 5'0"	VNLT. SLD.	MLGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN			
8	5'0" X 2'6"	VNLT. SLD.	MLGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN			
9	5'0" X 4'6"	VNLT. SLD.	MLGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN			
10	5'0" X 5'0"	VNLT. SLD.	MLGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN			
11	6'0" X 4'6"	VNLT. SLD.	MLGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN			
12	4'0" X 5'0"	CASEMENT	MLGARD	WHITE	YES	CASEMENT W/ SCREEN	DF #1 4x12		

NOTE: ALL ACCESSIBLE DOORS SHALL BE PROVIDED WITH LEVER DOOR HARDWARE + OTHER OPERATING DEVICES IN COMPLIANCE WITH ICC/ANSI A117.1 SECTIONS 309.4 + 404.2.6.

NOTE: MAX. U-VALUE FOR ALL WINDOWS AS PER TABLE 502.3 2014 OESG U-0.35.

NOTE: ALL LOWER FLOOR OPERABLE WINDOWS + HARDWARE TO COMPLY WITH O.S.S.C. 2014 CHAPTER 11 SEC. 1107.2 ON TO ICC/ANSI A117.1 THEN SEC. 1002.9. OPERABLE PARTS SHALL COMPLY WITH SEC. 309. SEE "OPERABLE WINDOWS IN ACCESSIBLE LOCATIONS" DETAIL ON SHEET ADA-5. ALL LOWER FLOOR WINDOW HEADERS TO BE SET AT 7'-0" A.F.F. U.O.

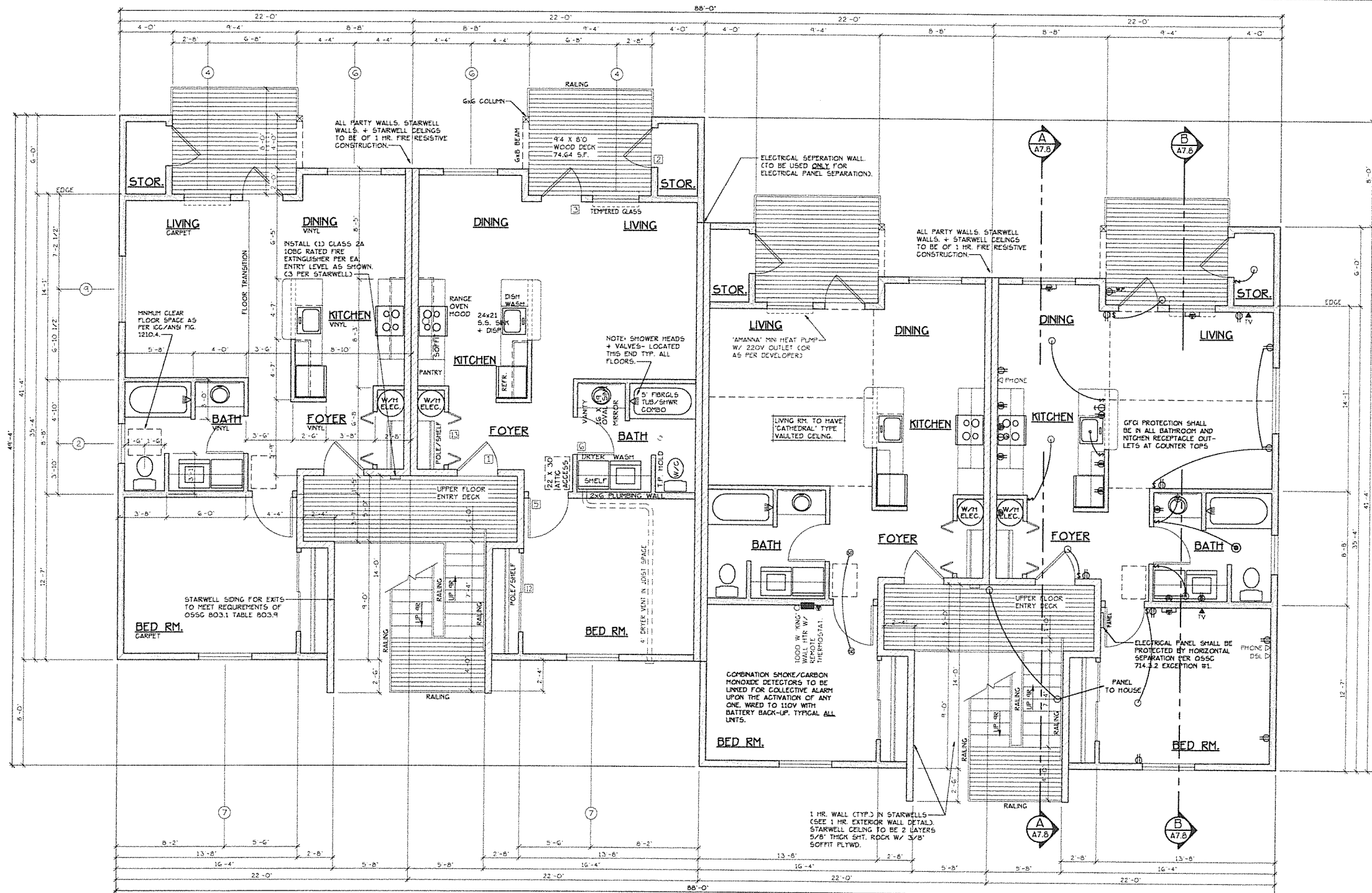
CONSTRUCTION TYPE V B SPRINKLED.

NOTE: MAIN + UPPER FLOOR DOORS ARE SIZED THE SAME AS LOWER FLOOR DOORS. DOOR SIZE OPTIONS FOR MAIN + UPPER FLOORS ARE AS FOLLOWS:
BED RM. = 2'-6" DOOR
BATH RM. = 2'-4" DOOR

SEE "GENERAL STRUCTURAL NOTES" ON SHEET A7.3 BEFORE BEGINNING ANY CONSTRUCTION.

GENERAL NOTES:

- ALL EXTERIOR WALLS TO BE 2 X 6 STUDS. ALL OTHER WALLS TO BE 2 X 4 STUDS UNLESS OTHERWISE NOTED.
- FIRE BLOCK CONCEALED SPACES VERTICAL + HORIZONTAL AS PER OSGC 718.2.2 AND OSGC 718.2.3.
- PRIOR TO INSTALLATION OF FIBERGLASS TUB/SOWER + SHOWER UNITS, SHEET ROCK SHALL BE APPLIED TO STUD WALLS AS INDICATED ON PLANS.
- ALL BATH FANS TO HAVE MIN. 80 CFM. RANGE HOOD EXHAUST FANS TO HAVE MIN. 150 CFM.
- ELECTRIC OUTLETS IN 1 HR. WALL MAY NOT BE BACK TO BACK AND MUST BE SEPARATED BY HORIZONTAL DISTANCE OF 2'-0".
- ALL EXTERIOR FLOOD LIGHTING SHALL BE CONNECTED TO HOUSE PANELS LOCATED IN ON-SITE UTILITY ROOMS + STORAGE BLD'S.
- AS PER OESG HIGH-EFFICIENCY LIGHTING SYSTEMS - A MINIMUM OF 50 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE COMPACT OR LINEAR FLUORESCENT, OR A LIGHTING SOURCE THAT HAS A MINIMUM EFFICACY OF 40 LUMENS PER INPUT WATT.
- ALL "TYPE A" ACCESSIBLE UNITS REQUIRE THE PATIO TO BE AT SAME LEVEL AS DWELLING UNIT.



UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"
"C" UNIT = 728 S.F.

TYPE C UNITS

BLD. 7.8+17

CONSTRUCTION TYPE V B SPRINKLED
SEE WALL DETAIL SHEETS FOR
SHEETROCK APPLICATION.

INTERIOR FRAMING

INTERIOR FEATURES

CADET HEATING + SMOKE/CARBON MONOXIDE DETECTORS

ELECTRICAL (H) = HEATER/LIGHT/FAN

NOTES: MAN + UPPER FLOOR DOORS ARE
SIZED THE SAME AS LOWER FLOOR
DOORS. DOOR SIZE OPTIONS FOR MAN
+ UPPER FLOORS ARE AS FOLLOWS:
BED RM. = 2'-6" DOOR
BATH RM. = 2'-4" DOOR

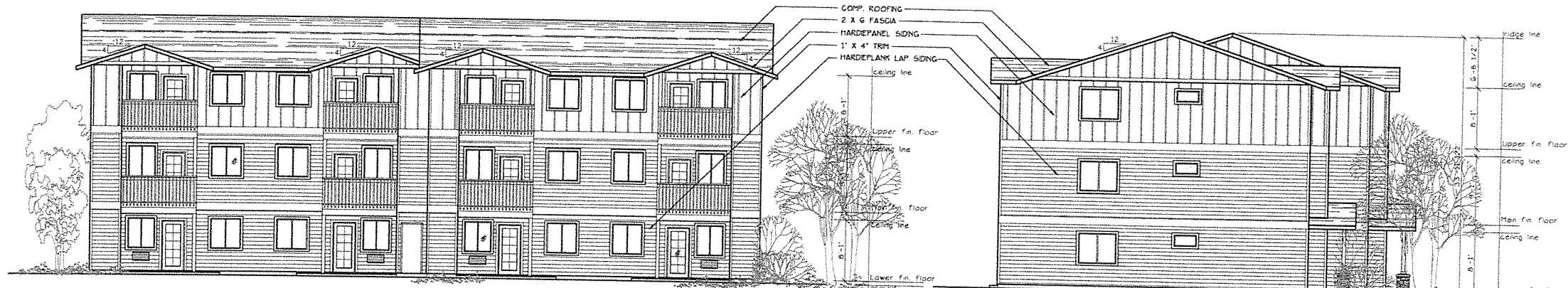
SEE "GENERAL STRUCTURAL NOTES"
ON SHEET A7.3 BEFORE BEGINNING
ANY CONSTRUCTION.

GENERAL NOTES:

- ALL EXTERIOR WALLS TO BE 2 X 6 STUDS. ALL OTHER
WALLS TO BE 2 X 4 STUDS UNLESS OTHERWISE NOTED
- FIRE BLOCK CONCEALED SPACES (VERTICAL + HORIZONTAL)
AS PER O55C 718.2.2 AND O55C 718.2.3
- PRIOR TO INSTALLATION OF FIBERGLASS TUB/SOWER +
SHOWER UNITS, SHEET ROCK SHALL BE APPLIED TO STUD
WALLS AS INDICATED ON PLANS.
- ALL BATH FANS TO HAVE MIN. 80 CFM RANGE HOOD
EXHAUST FANS TO HAVE MIN. 150 CFM
- ELECTRIC OUTLETS IN 1 HR. WALL MAY NOT BE BACK TO
BACK AND MUST BE SEPARATED BY HORIZONTAL DISTANCE
OF 2'-0"
- ALL EXTERIOR FLOOD LIGHTING SHALL BE CONNECTED TO
HOUSE PANELS LOCATED IN ON-SITE UTILITY ROOMS +
STORAGE BLD'S.
- AS PER OEE5C HIGH-EFFICIENCY LIGHTING SYSTEMS - A
MINIMUM OF 50 PERCENT OF THE LAMPS IN PERMANENTLY
INSTALLED LIGHTING FIXTURES SHALL BE COMPACT OR
LINEAR FLUORESCENT, OR A LIGHTING SOURCE THAT HAS A
MINIMUM EFFICACY OF 40 LUMENS PER INPUT WATT.
- ALL "TYPE A" ACCESSIBLE UNITS REQUIRE THE PATIO TO BE
AT SAME LEVEL AS DWELLING UNIT.

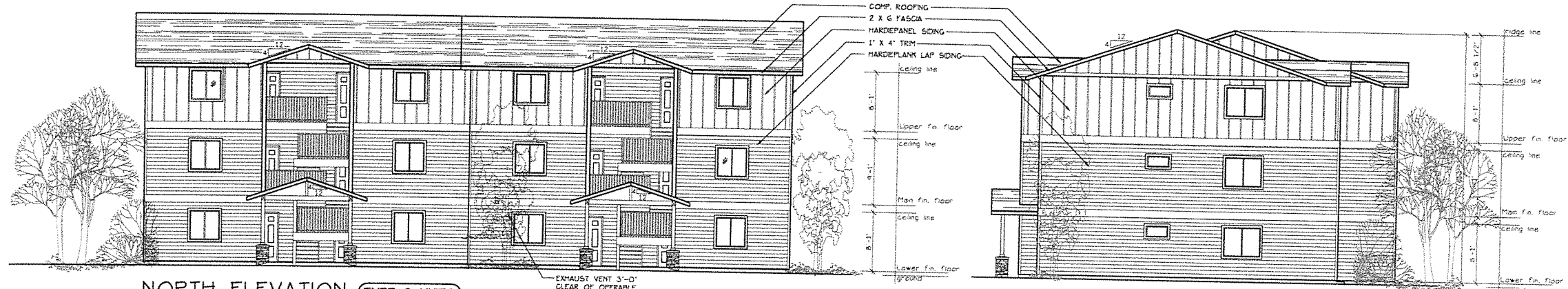
DOOR SCHEDULE									
DOORS					REMARKS				
NO.	WIDTH	HEIGHT	THICK.	FIN.	TYPE	FIN.	TYPE	REMARKS	
1	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	5 PANEL 50 MIN. RATED ASSY. W/ THRESHOLD WEATHERSTRIP + KEYS	DF #1 4x12
2	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
3	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
4	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
5	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
6	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
7	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
8	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
9	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
10	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
11	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
12	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
13	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
14	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
15	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
16	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
17	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
18	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
19	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
20	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
21	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
22	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
23	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
24	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
25	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
26	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
27	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
28	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
29	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
30	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
31	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
32	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
33	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
34	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
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37	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
38	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
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41	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
42	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
43	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
44	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
45	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
46	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
47	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
48	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
49	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
50	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
51	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
52	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
53	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
54	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
55	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
56	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
57	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
58	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
59	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
60	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
61	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
62	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
63	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
64	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
65	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
66	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
67	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
68	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
69	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
70	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
71	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
72	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
73	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
74	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
75	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
76	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
77	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
78	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
79	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
80	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
81	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
82	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
83	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
84	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
85	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
86	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
87	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
88	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
89	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
90	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
91	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
92	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
93	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
94	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
95	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
96	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
97	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
98	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
99	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	
100	3'-0"	6'-8"	1 3/4"	MIL.	CLAD	PANT.	B	6 PANEL W/ THRESHOLD WEATHERSTRIP + KEYS	

ALL WINDOW AND FAUCET DOOR READERS TO BE DF #1 4X12 U.N.O.									
WINDOW SCHEDULE									
NO.	SIZE	TYPE	MFG.	COLOR	INSUL.	REMARKS	HEADERS		
1	3'0" X 1'0"	VNLY STAT	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS	DF #1 4x12		
2	3'0" X 1'0"	VNLY STAT	MILGARD	WHITE	YES	STATIONARY W/ FROSTED GLASS			
3	3'0" X 4'0"	VNLY SCL	MILGARD	WHITE	YES	SINGLE HUNG W/ SCREEN			
4	3'0" X 4'0"	VNLY SCL	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN			
5	4'0" X 3'0"	VNLY SCL	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN			
6	4'0" X 1'0"	VNLY SCL	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN			
7	4'0" X 5'0"	VNLY SCL	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN			
8	5'0" X 2'0"	VNLY SCL	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN			
9	5'0" X 4'0"	VNLY SCL	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN			
10	5'0" X 5'0"	VNLY SCL	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN			
11	6'0" X 4'0"	VNLY SCL	MILGARD	WHITE	YES	HORIZ. SLIDER W/ SCREEN			
12	4'0" X 5'0"	CASEMENT	MILGARD	WHITE	YES	CASEMENT W/ SCREEN	DF #1 4x12		
NOTE: ALL LOWER FLOOR OPERABLE WINDOWS + HARDWARE TO COMPLY WITH O.S.S.C. 2014 CHAPTER 11 SEC. 1107.2 ON									



SOUTH ELEVATION (TYPE C UNITS)
SCALE: 1/8" = 1'-0"
(BLD. 7.8+17)

WEST ELEVATION (TYPE C UNITS)
SCALE: 1/8" = 1'-0"
(BLD. 7.8+17)



NORTH ELEVATION (TYPE C UNITS)
SCALE: 1/8" = 1'-0"
(BLD. 7.8+17)

EAST ELEVATION (TYPE C UNITS)
SCALE: 1/8" = 1'-0"
(BLD. 7.8+17)



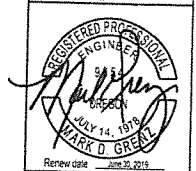
**BUILDING
ELEVATIONS**

**ST. HELENS
APARTMENT COMPLEX**

NO CHANGES, MODIFICATIONS OR REPRODUCTIONS TO BE MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION FROM THE DESIGN ENGINEER.
DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

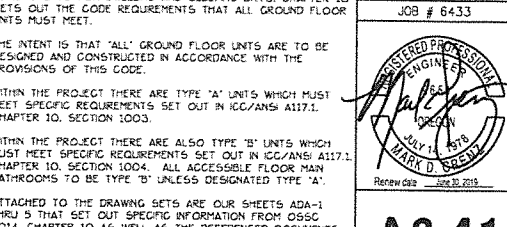
DESIGN: P.L.M.
DRAWN: G.L.D.
CHECKED: M.D.G.
DATE: MAY-18
SCALE: AS SHOWN

JOB # 6433



Review date: 08/2/2018

A7.80

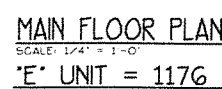


**ST. HELENS
APARTMENT COMPLEX**

9:00 - 12 - 509 Pk. Q11
A/B - 5/1/18

Design: P.L.M.
Drawn: G.J.D.
Checked: M.D.G.
Date: Apr--18
Scale: AS SHOWN

A8.43



- ACCESSIBLE POCKET DOORS MUST STOP FULLY OPEN WITH THEIR OPERATING HANDLES FULLY EXPOSED
- TO PROVIDE MINIMUM 32" NET CLEAR WITH PER ICC/A117.1 SEC 1004.5.2) WHEN FULLY OPENED.

NOTE: ALL LOWER FLOOR OPERABLE WINDOWS + HARDWARE TO COMPLY WITH 0.5.5.6. 2014 CHAPTER 11 SEC. 1107.2 ON TO ICG/ANSI A117.1 THEN SEC. 1002.9. OPERABLE PARTS SHALL COMPLY WITH SEC. 309. SEE 'OPERABLE WINDOWS IN ACCESSIBLE LOCATIONS' DETAIL ON SHEET ADA-5. ALL LOWER FLOOR WINDOW HEADERS TO BE SET AT 7'-0" AFF. UNO

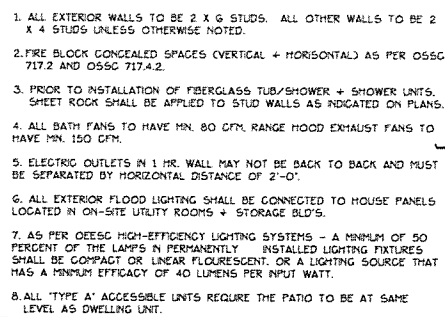
NOTE: MAX. U-VALUE FOR ALL WINDOWS AS PER TABLE 502.3 2014 CEESC U-0.35.

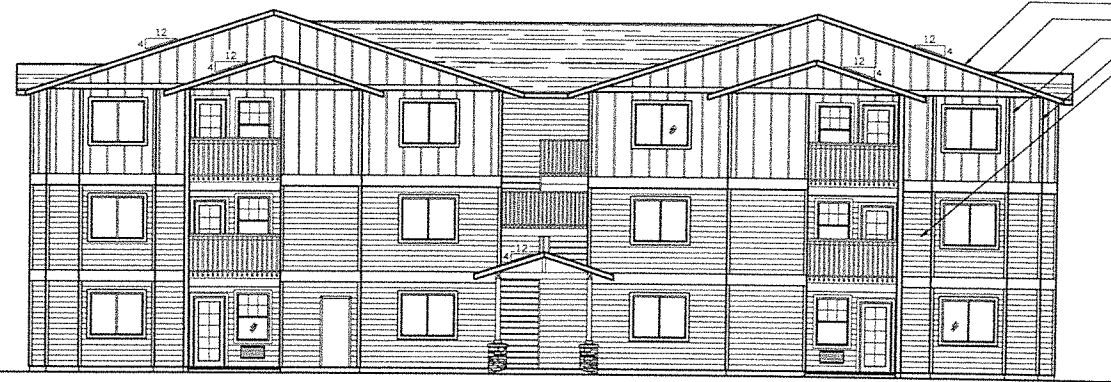
CONSTRUCTION TYPE V B SPRINKLED

ST. HELENS APARTMENT COMPLEX

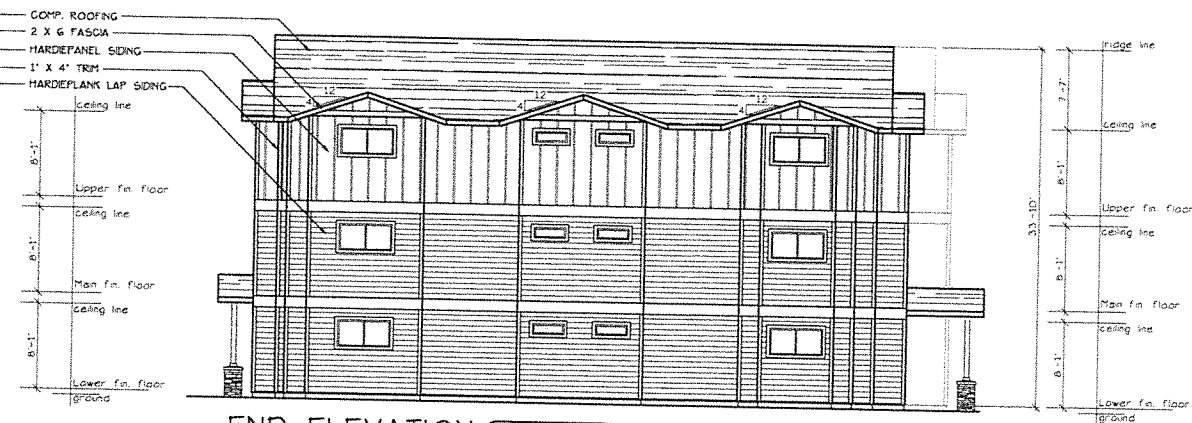
AR 454PLR
Design: P.M.
Drawn: G.D.
Checked: M.D.G.
Date: Apr-18
Scale: AS SHOWN

A8.45

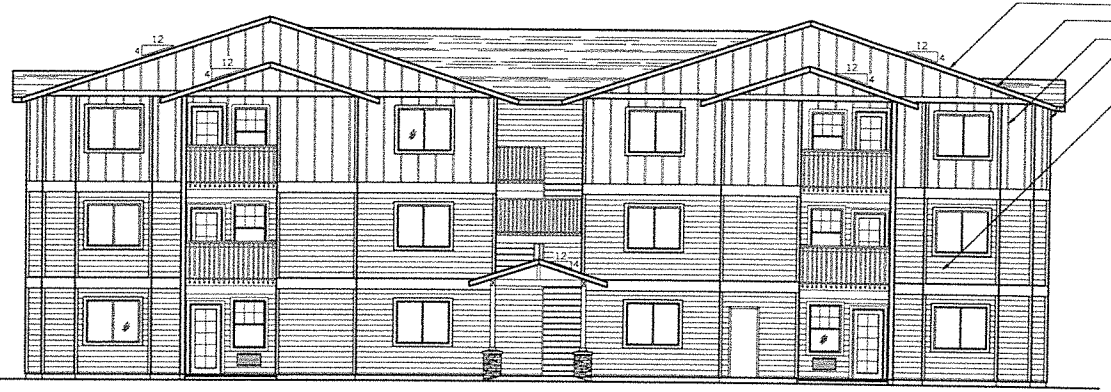




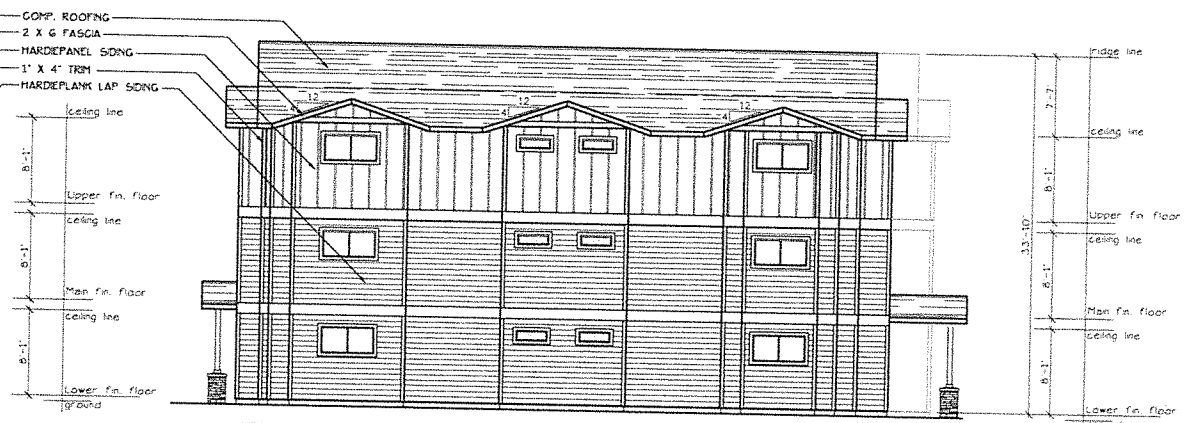
REAR ELEVATION (TYPE E UNITS)
SCALE: 1/8" = 1'-0"
BLD. 13+14



END ELEVATION (TYPE E UNITS)
SCALE: 1/8" = 1'-0"
BLD. 13+14



FRONT ELEVATION (TYPE E UNITS)
SCALE: 1/8" = 1'-0"
BLD. 13+14



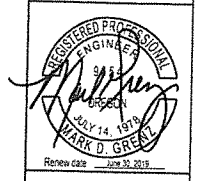
END ELEVATION (TYPE E UNITS)
SCALE: 1/8" = 1'-0"
BLD. 13+14

BUILDING
ELEVATIONS

ST. HELENS
APARTMENT COMPLEX

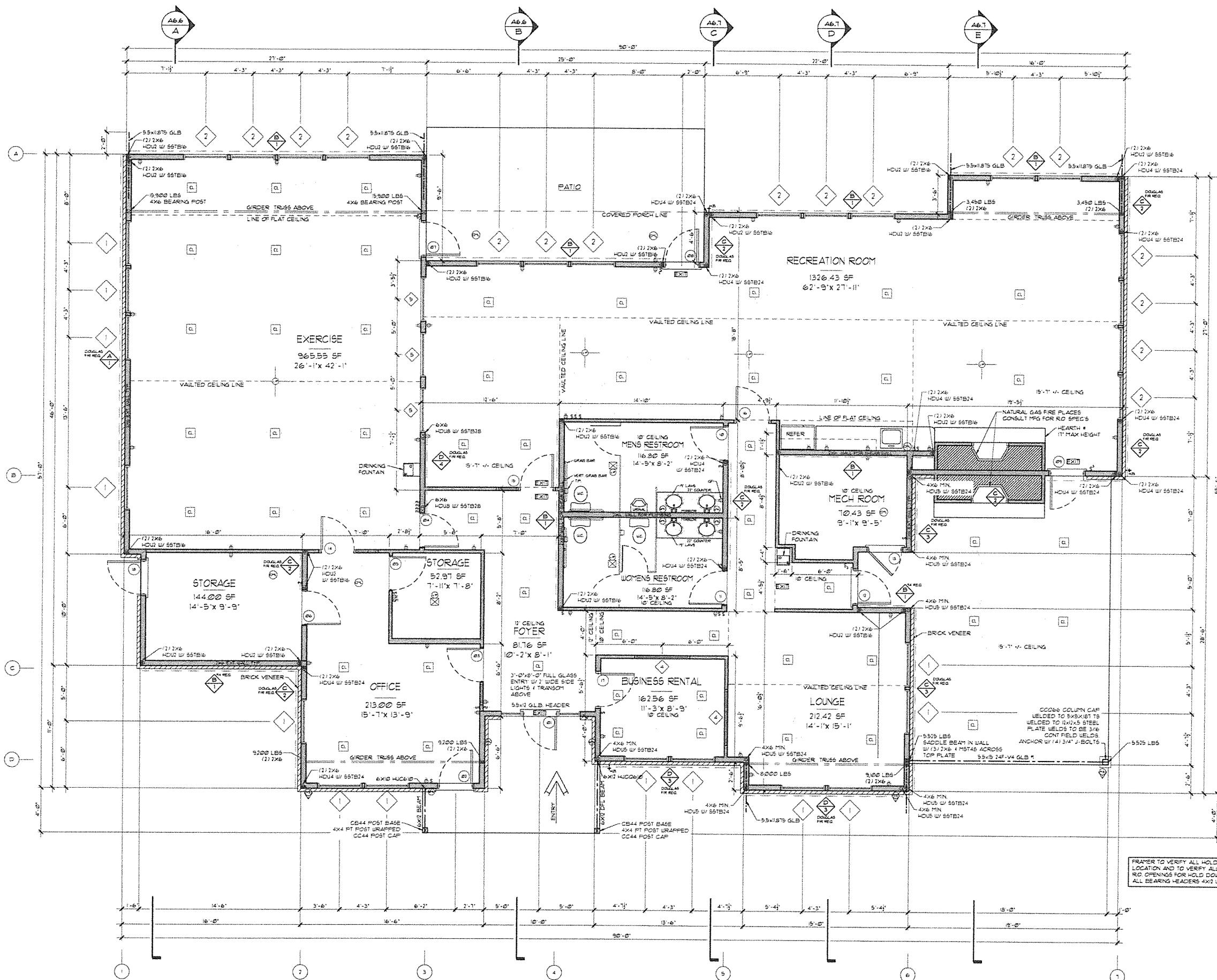
NO CHANGES, MODIFICATIONS OR
REVISIONS TO BE MADE TO
THIS DRAWING WITHOUT THE
AUTHORIZATION FROM THE DESIGN
ENGINEER.
DIMENSIONS & NOTES TAKE
PRECEDENCE OVER GRAPHICAL
REPRESENTATION.

DESIGN: P.L.M.
DRAWN: G.L.D.
CHECKED: M.D.G.
DATE: Apr-18
SCALE: AS SHOWN
JOB # 6433



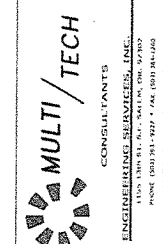
RENEW DATE: JUN 30, 2019

A8.80



- LEGEND**
- ⊙ 120 AC
 - ⊕ CAN LIGHT
 - ⊙ CEILING MOUNTED LIGHT
 - S SWITCH
 - ⊙ LIGHT & FAN
 - ⊙ WALL MOUNTED LIGHT
 - ⊙ LIGHT & EXHAUST FAN
 - ⊙ FAN ONLY
 - ⊙ MOTION SENSOR
 - ⊙ SMOKE & CARBON DETECTOR
TO BE "HARD WIRED" &
INTERCONNECTED WITH
BATTERY BACK UP
 - ⊙ TV OUTLET
 - ⊙ TELEPHONE
- FRAMER TO VERIFY ALL HOLD DOWN
LOCATION AND TO VERIFY ALL
R.D. OPENINGS FOR HOLD DOWNS
- ⊙ SHEAR WALL NUMBER
PER ENG. SHEET
- ⊙ SHEAR WALL LETTER
PER ENG. SHEET
- ⊙ LOCATION OF WALL
- TWO DAILY RENTAL STUDIO UNITS OF 385
SF EACH TO BE DESIGNED FOR THE 2ND
FLOOR

BUILDING #18 - FRAMING, SHEARWALL & HOLDOWN PLAN
1/4" = 1'-0"



**RECREATION BLD.
FLOOR PLAN**

**ST. HELENS
APARTMENT COMPLEX**

NO CHANGES, MODIFICATIONS OR
REPRODUCTIONS TO BE MADE TO
THESE DRAWINGS WITHOUT WRITTEN
CONSENT OF THE DESIGN
ENGINEER.

DIMENSIONS & NOTES TAKE
PRECEDENCE OVER GRAPHICAL
REPRESENTATION.

DESIGN: P.L.M.
DRAWN: G.L.D.
CHECKED: M.D.G.
DATE: APR-18
SCALE: AS SHOWN

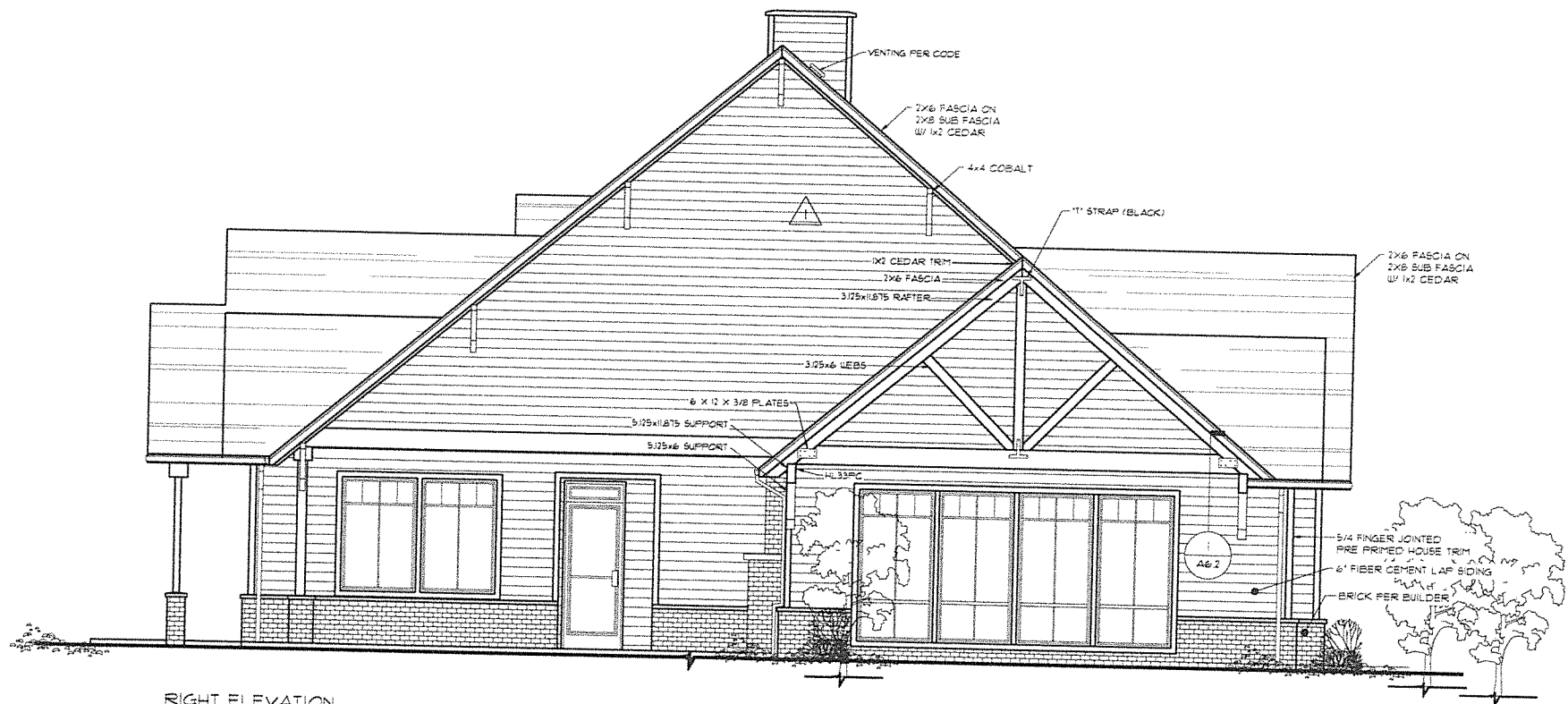
JOB # 6433



A9.1



FRONT ELEVATION
1/4" = 1'-0"

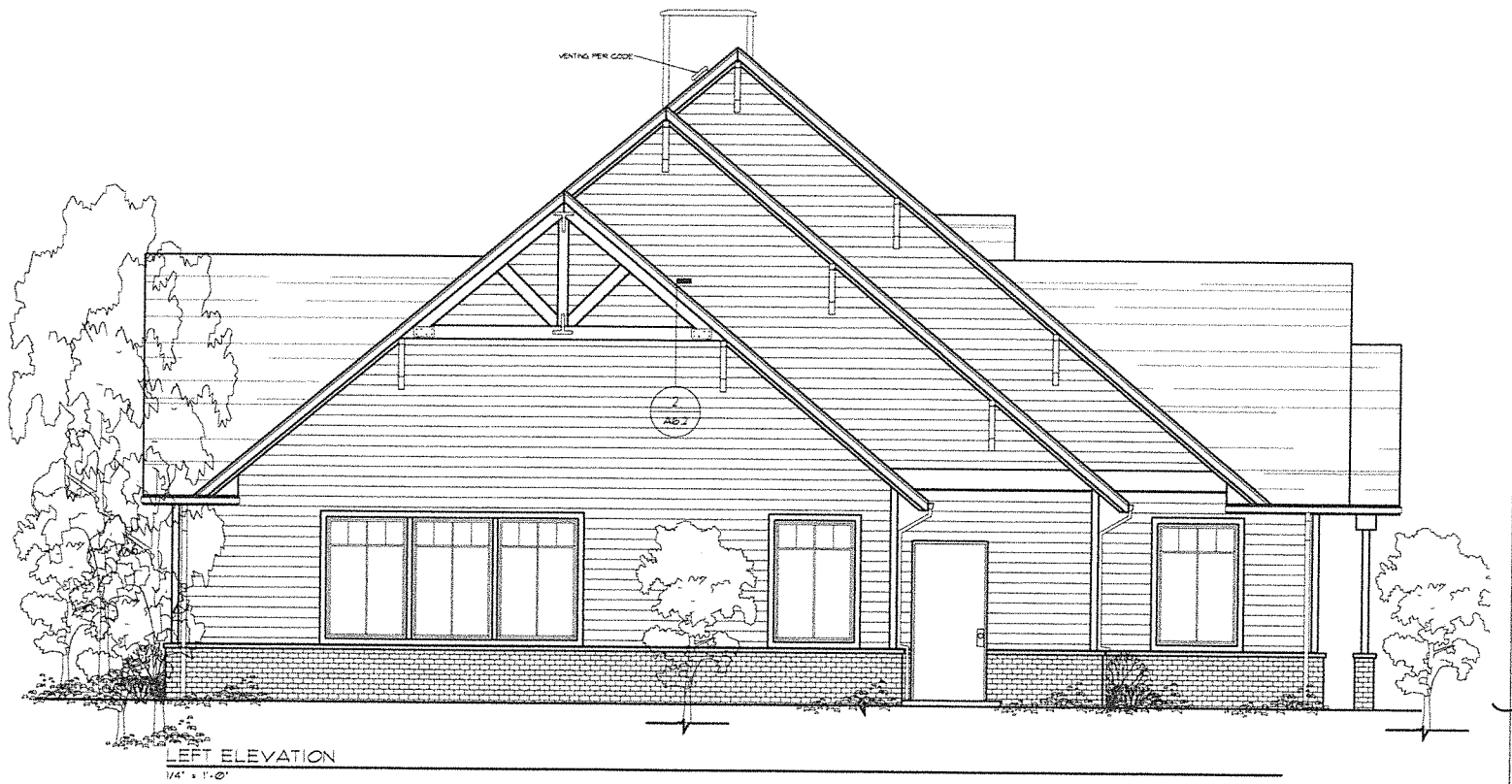


RIGHT ELEVATION
1/4" = 1'-0"

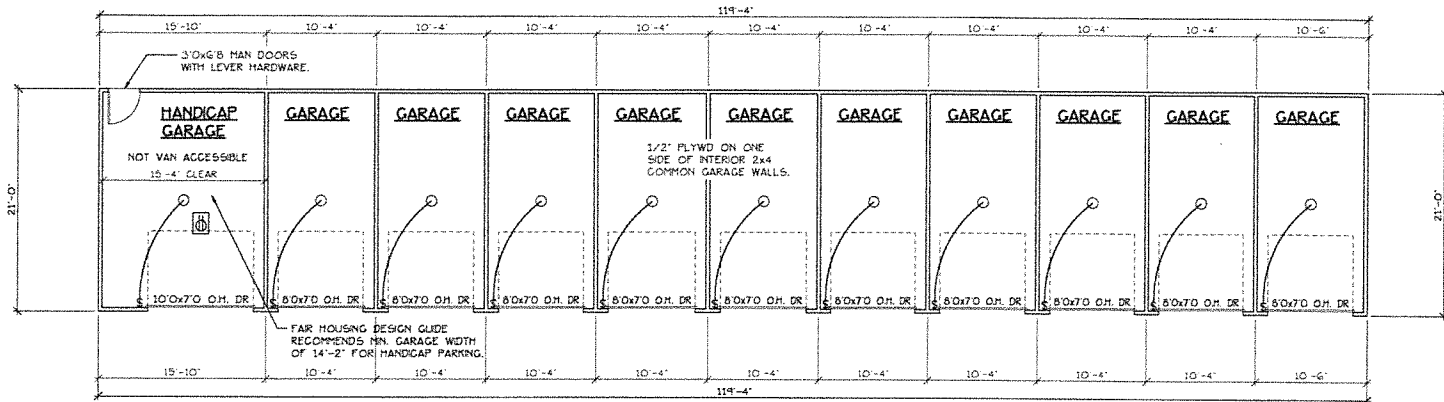
MAIN FLOOR:	3920 SQ.FT.
2ND FLOOR:	0000 SQ.FT.
2ND FL. BONUS:	0 SQ.FT.
GARAGE:	0000 SQ.FT.



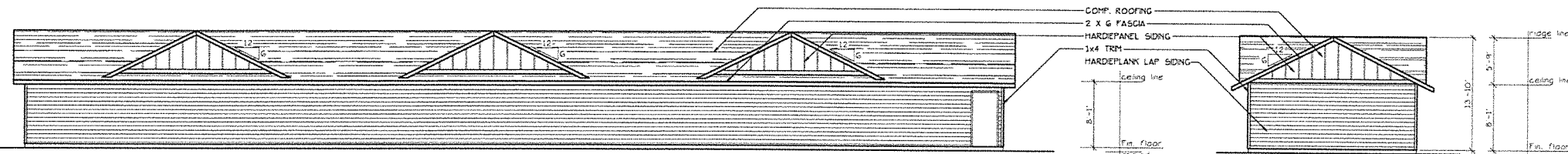
REAR ELEVATION
1/4" = 1'-0"



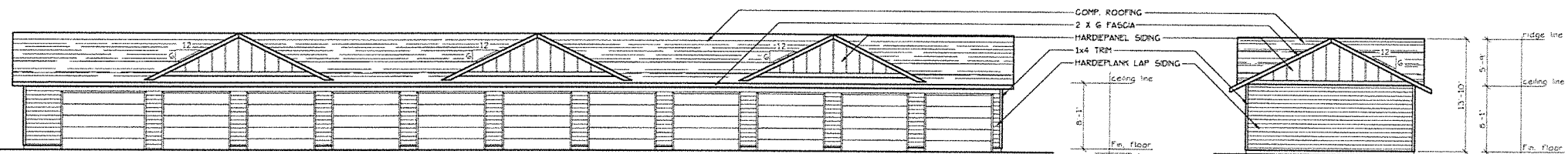
LEFT ELEVATION
1/4" = 1'-0"



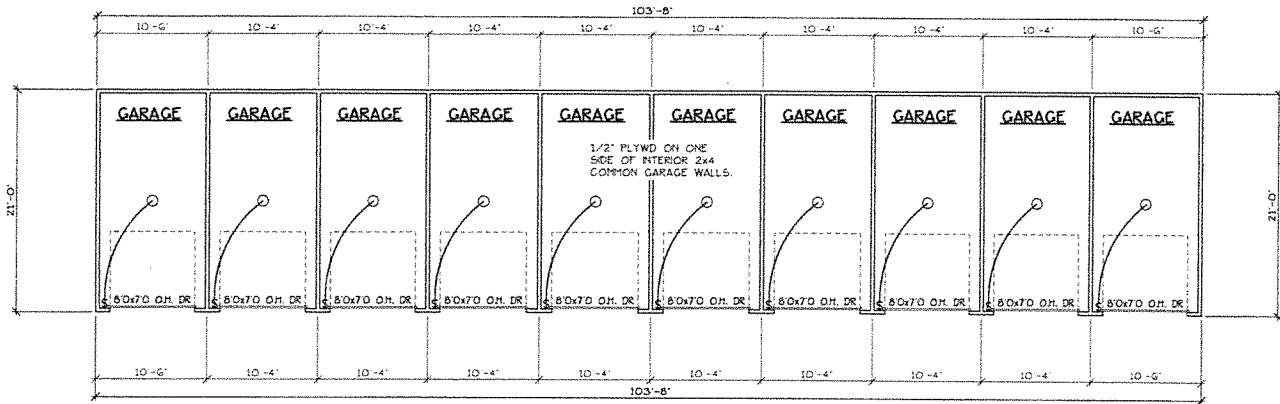
FLOOR PLAN (GARAGE 1 (11 GARAGES))
SCALE: 1/8" = 1'-0"
2.506 S.F.
NOTE: ALL WALLS TO BE FRAMED WITH 2x4 STUDS, UNLESS NOTED OTHERWISE.



SOUTH ELEVATION (GARAGE 1 (11 GARAGES))
SCALE: 1/8" = 1'-0"
EAST ELEVATION (GARAGE 1 (11 GARAGES))
SCALE: 1/8" = 1'-0"



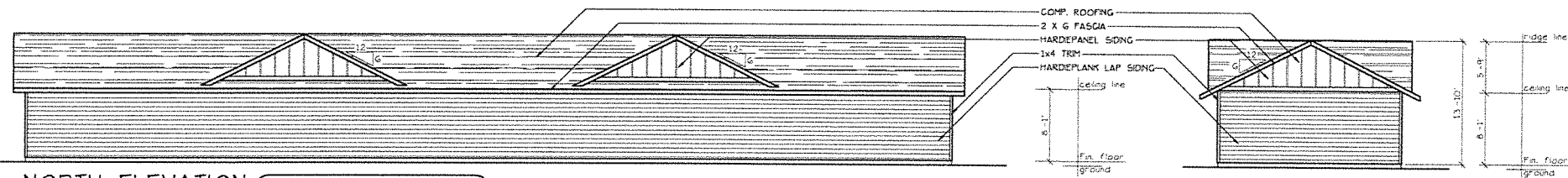
NORTH ELEVATION (GARAGE 1 (11 GARAGES))
SCALE: 1/8" = 1'-0"
WEST ELEVATION (GARAGE 1 (11 GARAGES))
SCALE: 1/8" = 1'-0"



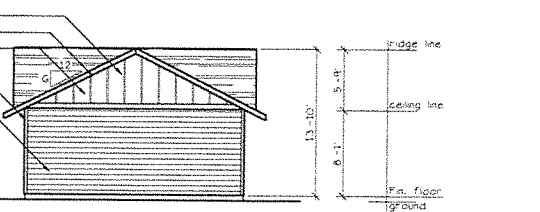
FLOOR PLAN
SCALE: 1/8" = 1'-0"
2,177 S.F.

GARAGE 2 (10 GARAGES)

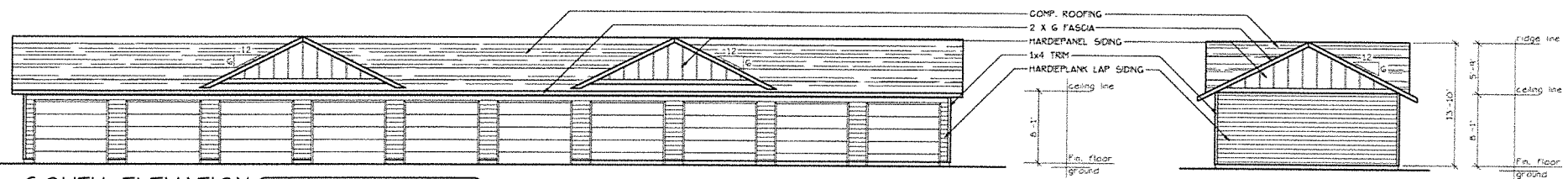
NOTE: ALL WALLS TO BE FRAMED WITH 2x4 STUDS UNLESS NOTED OTHERWISE.



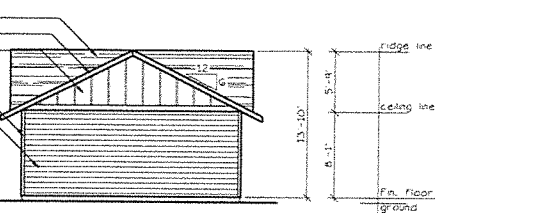
NORTH ELEVATION (GARAGE 2 (10 GARAGES))
SCALE: 1/8" = 1'-0"



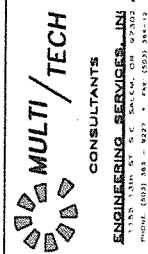
WEST ELEVATION (GARAGE 2 (10 GARAGES))
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION (GARAGE 2 (10 GARAGES))
SCALE: 1/8" = 1'-0"



EAST ELEVATION (GARAGE 2 (10 GARAGES))
SCALE: 1/8" = 1'-0"



**10 GARAGES - FLOOR
PLANS & ELEVATIONS**

**ST. HELENS
APARTMENT COMPLEX**

NO CHANGES, MODIFICATIONS OR REPRODUCTIONS TO BE MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION FROM THE DESIGN ENGINEER.
DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

Design: P.L.M.
Drawn: G.L.D.
Checked: M.D.G.
Date: JULY 2018
Scale: AS SHOWN

JOB # 6433



A11.1

FILE

St. Helens Apartments

Revised July 17, 2018

The following statement addresses the applicable Code requirements under the CG (General Commercial) zone. Information provided on the site plans for the Site Development Review application further address applicable code requirements.

On August 3, 2017, a pre-application conference was held with the applicant and City staff to discuss the development of the subject property.

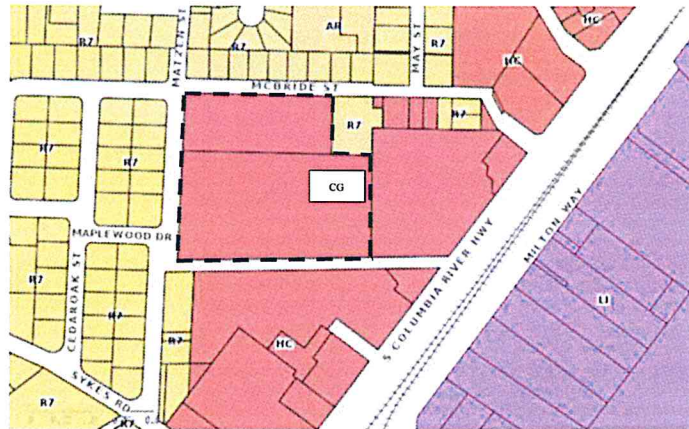
On January 2, 2018, CPZA.2.17 was approved for the subject property. This approval rezoned the subject property from HC to CG.

On April 5, 2018, Sub.3.17 was approved for the subject property. This approval recreated the subject property as Lot 5 of Sub.3.17.

Proposal: The subject property is located on the McBride Street (north), Matzen Street (west), and Maple Drive (south) (040105DD/Tax Lots 700 and 1900).

The applicant is proposing the development of 7.73 acres of GC zoned property with 204-apartment units, plus a rental area ^{2 PLANS ARE 1-STORY?} above the recreation building as shown on the site plans and building elevations. The development of apartments in the GC zone requires a Conditional Use Permit. The applicant has applied for a Conditional Use concurrently with this application.

All Design Standards and applicable Code requirements have been addressed and met as outlined within this narrative and on the site plans.



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CITY OF ST. HELENS

Zoning Districts 17.32

Density: Dwellings are permitted with a Conditional Use Permit in the GC zone , but are subject the AR (Apartment Residential) standards. The AR zone requires a minimum of 1,500 square feet for each multi-dwelling unit over the base of 5,000 square feet for the first two units, with no maximum.

*204 unit proposed

*5,000 square feet for the first two units=5,000 square feet

*1,500 square feet for the remaining 202 units=303,000 square feet

Minimum Lot Size Required=7.07 acres

Lot Size Provided=7.73 acres

Setbacks:

North Property Line: 20-foot setbacks-Adjacent McBride Street, R7 and AR; existing single-family dwellings and existing multifamily across the street

East Property Line: 15 to 20-foot setbacks-HC; vacant commercial land

South Property Line: 20-foot setbacks-Adjacent Maple Drive, R7 and HC; existing single-family dwellings and commercial uses across the street

West Property Line: 20-foot setbacks-Adjacent Matzen Street, R7; existing single-family dwellings across the street

All buildings and parking areas meet the required setbacks as outlined in the Code. The proposed garages meet the setback requirements for accessory structures as outlined in Chapter 17.124.

Lot Width/Depth: No minimum lot width required. An 80-foot minimum lot depth is required. As shown on the site plans, the lot exceeds the minimum lot depth requirements for attached units.

Lot Coverage: Shall not occupy more than 50 percent of the lot. The building on the site occupy 70,029 square feet of the site. Therefore, only covering 20% of the site with buildings.

Multi-Family Landscaping: All required setbacks and landscaping are being provided. Landscaping is being provided adjacent all property lines. The minimum landscaping requirement is 15% for multi-dwelling developments. Landscaping has been provided throughout the site as identified on the landscape plans. There is 120,584square feet of landscaped area throughout the site. Therefore, 35% of the site is landscaped. Landscape plans have been provided and demonstrate how the landscape standards have been met.

The exterior of the buildings will be landscaped to provide a visually appealing development.

LANDSCAPE
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119

Trees and shrubs will be planted in front of and around all buildings as shown on the landscape plans. This will help to provide shading and privacy for residents. Therefore, this standard has been met. See attached site plans.

Maximum Height: Maximum building height allowed in the AR zone is 35 feet (measured to the highest point of the roof). The proposed buildings do not exceed 35 feet in height when measure to the highest point of the roof. Therefore, the buildings are in compliance with the height requirements. See building elevations.

*Building 1 is 33.11 feet in height (measured to the highest point). See Sheet A1.80

*Building 2 is 33.11 feet in height (measured to the highest point). See Sheet A2.80

*Building 3 is 34.1 feet in height (measured to the highest point). See Sheet A3.90

*Building 4 is 34.6 feet in height (measured to the highest point). See Sheet A4.90

*Building 5 is 33.11 feet in height (measured to the highest point). See Sheet A1.80

*Building 6 is 33.11 feet in height (measured to the highest point). See Sheet A1.80

*Building 7 is 33.11 feet in height (measured to the highest point). See Sheet A7.80

*Building 8 is 33.11 feet in height (measured to the highest point). See Sheet A7.80

*Building 9 is 34.1 feet in height (measured to the highest point). See Sheet A3.80

*Building 10 is 34.6 feet in height (measured to the highest point). See Sheets A4.90

*Building 11 is 34.6 feet in height (measured to the highest point). See Sheet A4.90

*Building 12 is 34.6 feet in height (measured to the highest point). See Sheet A4.90

*Building 13 is 33.10 feet in height (measured to the highest point). See Sheet A8.80

*Building 14 is 33.10 feet in height (measured to the highest point). See Sheet A8.80

*Building 15 is 34.6 feet in height (measured to the highest point). See Sheet A6.80

*Building 16 is 34.1 feet in height (measured to the highest point). See Sheet A3.90

*Building 17 is 34.6 feet in height (measured to the highest point). See Sheet A5.90

*Building 18 is 34.6 feet in height (measured to the highest point). See Sheet A6.80

*Building 19 (Recreation Building) is 21.7 feet in height (measured to the highest point). See Sheets A9.2 and A9.3

*Garages are 13.10 feet in height (measured to the highest point). See Sheets A10 and A11

Access and Circulation 17.84

The development has street frontage on McBride Street to the north, Matzen Street to the west, and Maple Drive to the south. As shown on the site plan, the proposed development will have access onto all three adjacent streets via two-way driveways. The proposed will provide a 24 to 26-foot wide driveways running through the development.

The subject property is located in a developed and developing area where improved streets and sidewalks exist and continue with new development. The street system serving the development provides the necessary connections and access to the streets and circulation system serving this neighborhood.

Access to, within, and from the development must be consistent with applicable requirements of the Transportation Planning Rule Requirements (TPR) that requires that development provide connectivity between land uses and transportation. Under the Rule, developments are responsible for providing for the safe and efficient circulation of vehicles, bicycles, and pedestrians into, thru, and out of a development. The proposal develops the subject property within an established residential and commercial area where local and arterial streets exist. These facilities connect the transportation system to the surrounding neighborhoods.

As part of CPZA.2.17 approval, a TPR dated August 10, 2017 was submitted and approved by staff. Also, a Revised Traffic Impact Analysis (TIA) date June 15, 2018, has been submitted as part of this application packet.

The Public Works Department will address the level of street improvements that are roughly proportional to assure conformance to the development and applicable transportation system plan requirements. Completion of conditions of approval prior to development will satisfy this criterion for this application.

Therefore, this criterion has been met.

Pedestrian

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BASED ON WHAT - DID YOU READ
THE ST. HELENS CODE?

GENERIC - NOT APPLICABLE TO ST. HELENS

PW'S DOESN'T
MAKE
THIS
CALL

As shown on the site plan, sidewalks and improvements have been made along throughout the site as required by code.

The internal pedestrian circulation system consists of hard 6-foot wide surfaced sidewalks that provide easily identifiable and safe connections between the residential units, parking, recreation areas, manager's apartment, and the trash disposal area. The pedestrian system connects the buildings to the public sidewalk system within McBride Street to the north, Matzen Street to the west, and Maple Drive to the south, via the proposed internal sidewalk system. The sidewalks are raised above the surface of the travel lanes. This provides a clear separation between vehicles and pedestrians. Any pedestrian pathways that cross the parking area or driveways will be marked and a minimum of five feet wide. The pedestrian pathways will be lighted. Proposed pedestrian sidewalk connections are illustrated on the tentative site plan.

The design of pedestrian circulation systems shall provide clear and identifiable connections within the multiple family development and to adjacent uses and public streets/sidewalks. The proposed development provides safe and convenient bicycle and pedestrian access from within the development to adjacent residential areas.

Therefore, this standard has been met.

Off-Street Parking 17.80

The development is for a 204-unit apartment complex. Code requires 1 vehicle parking spaces per every studio, 1.5 vehicle parking spaces for every 1-bedroom dwelling unit, and 2 vehicle parking spaces for every unit over 1-bedroom. Therefore, the applicant is required to provide 344 on-site vehicle parking spaces for the apartments and 2 spaces for the rental area above the recreation building. As shown on the site plan, 344 on-site parking spaces are being provided. Two-hundred and twelve (212) of the parking spaces are covered via carports or an enclosed garage.

-? ABOVE?

The site plan indicates the ratios provided for standard, compact, and handicap spaces. Two-hundred and twenty-four (224) standard size parking stalls, ninety-two (92) compact parking stalls, seven (7) handicap stalls, and twenty-one (21) garages are provided through-out the site.

All parking areas will be served by 26-foot wide two-way access ways that run through the development. Visitor parking will be provided and centrally located as required.

In order to take into consideration circulation, pedestrian access, landscaping, and the requirements of the code, the parking areas have been carefully designed. All parking areas

are landscaped and separated by landscaped bays. The parking areas and landscaped areas provide for visually appealing apartment grounds.

Therefore, this standard has been met. See attached site plans.

Bicycle Parking: One bicycle parking space per unit is required. There are 204 bicycle parking spaces being provided through the development, two in each stairwell and bike racks throughout the development.

Mail Delivery Facilities

Mail boxes for the residents will be located in a central location within the development. These mail boxes will be accessible for all residents via the proposed internal sidewalks and driveways as shown on the site plan.

Trash Enclosure

There is one trash enclosure provided for the development. The trash enclosure is convenient for all residents via paved sidewalks and driveways. A letter dated July 16, 2018, from Hudson Garbage Service has been provided. The letter indicates that the trash enclosure is accessible, secure and safe.

THIS DOESN'T ADDRESS THE CITY'S STANDARD AT ALL
Design Review 17.96

Elevations:

Roofs/Offsets: These standards are intended to promote building and site design that contributes positively to a sense of neighborhood and to the overall streetscape by carefully relating building mass, entries and yards to public streets.

Section 17.96.180(3) requires an 8-foot offset every 30 feet of building. The building design does not have long flat walls or roof lines. The buildings will have a minimum offset that breaks up the front of the buildings and the roof lines. The buildings proposed meet all design standards as shown on the site plan.

There are no buildings within the development that will exceed 120 feet in length. The height and length of the buildings and structures conform to the measuring requirements in code.

Entries: The primary entrances for each individual unit is provided through a covered entry way. All building entries are clearly defined and easily accessible. The design of the building with the use of roofline offsets and covered entry ways, promote a positive sense of neighborhood. All building entrances face the internal street/parking system.

All buildings have entrances physically and visually connected to the internal public sidewalk system and the parking lots. All external stairways are recessed into the buildings. Therefore, physically and visually incorporating them into the buildings architecture design.

The primary entrances for each individual unit is provided through a covered entry way. All building entries are clearly defined and easily accessible. The design of the building with the use of roofline offsets and covered entry ways, promote a positive sense of neighborhood.

Building Facades: Balconies (decks) and dormers are incorporated in the building design to add some visual element to the buildings.

Varied materials and textures are being used on the building facade. The applicant has provided building elevations to show how this is being complied with. The materials used on the front, rear, and sides of the apartments are the same; shake siding, trim board, lap siding, and stone around the pillars. See attached building elevations.

Buffering:

← THIS WAS NOT CORRECT IN THE ORIGINAL VERSION & IS NOT UPDATED FOR THIS VERSION

The provided landscaping and setbacks help to provide buffering and screening from noise and adjacent properties.

Setbacks:

- North Property Line: 20-foot setbacks-Adjacent McBride Street, R7 and AR; existing single-family dwellings and existing multifamily across the street
- East Property Line: 15 to 20-foot setbacks-HC; vacant commercial land
- South Property Line: 20-foot setbacks-Adjacent Maple Drive, R7 and HC; existing single-family dwellings and commercial uses across the street
- West Property Line: 20-foot setbacks-Adjacent Matzen Street, R7; existing single-family dwellings across the street

All required setbacks and landscaping are being provided. Landscaping is being provided adjacent all property lines. The minimum landscaping requirement is 15% for multi-dwelling developments. Landscaping has been provided throughout the site as identified on the landscape plans. There is 120,584 square feet of landscaped area throughout the site. Therefore, 35% of the site is landscaped. Landscape plans have been provided and demonstrate how the landscape standards have been met.

The exterior of the buildings will be landscaped to provide a visually appealing development.

I for sentence
(not fixed from original)

THIS IS NOT
BUFFERING

NO
THEY
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Trees and shrubs will be planted in front of and around all buildings as shown on the landscape plans. This will help to provide shading and privacy for residents. A 6-foot high sight obscuring fence has been provided along the south east and east property lines. Therefore, this standard has been met. See attached site plans.

Private Outdoor Area:

Each unit will have private open space as required by code. All patios and balconies will have areas that are a minimum 48 square feet in size, with no dimension less than 4 feet. As shown on the site plans, the proposed patios are about 96 square feet in size, and balconies/decks are a minimum 56 square feet in size. All private open space areas are located contiguous to the dwelling unit and will be screened with landscaping and/or fencing. This private open space includes the patios and balconies/decks. Therefore, this standard has been met.

Shared Outdoor Recreation:

In multi-family developments, a portion of the land not covered by buildings and parking shall be of adequate size and shape and in the proper location to be functional for outdoor recreation and relaxation. The standards are intended to ensure that open space is an integral part of the overall development design.

A minimum of 200 to 300 square feet per dwelling unit shall be designated as usable outdoor recreation space. Therefore, the development is required to provide 43,200 square feet of outdoor recreation space. As shown on the site plan, the development will provide 110,929 square feet (33%) of outdoor recreation space (common open space) on the site. This includes the 3,900-square foot recreation building on the site.

Signs will be posted and certain areas fenced in to provide safety for the residents while using these areas. Therefore, this criteria has been met.

Crime and Safety:

Safety of the residents is very important and all requirements are met to assure safety and compliance with code. There are no fences or plant materials located in areas within the development that obstruct visibility. All landscaping adjacent to recreation/open space areas will not exceed any height limits. Recreation areas will be lite for safety.

All buildings have windows provided in habitable rooms and windows that face the parking lots and recreation/open space areas. This helps provide an eye on the development. Lighting on the buildings and along the sidewalks will be provided as well.

Therefore, this standard has been met. See attached site plans.

WHAT LANDSCAPE - ITS CLEAR NOBODY READ THE ST. HELENS CODE

Access and Circulation:

The subject property has street frontage on McBride Street to the north, Matzen Street to the west, and Maple Drive to the south. All access will be taken to and from all three adjacent streets.

The proposed accessways and circulation throughout the site provide adequate emergency access.

The layout of the site has been taken into consideration and provides for safe and efficient circulation throughout the development.

All vision areas have been identified on the site plan as required in Chapter 17.76.

Therefore, this standard has been met.

Distance Between Multiple-Family Residential Structure and Other:

As shown on the site plan, all buildings are separated with a 15 to 25-foot distance. This separation along with landscaping helps to provide privacy for the residents. The separation also provides access throughout the development as well.

Parking Lots:

Therefore, the applicant is required to provide 344 on-site vehicle parking spaces for the apartments and 2 spaces for the rental area above the recreation building. As shown on the site plan, 344 on-site parking spaces are being provided. Two-hundred and twelve (112) of the parking spaces are covered via carports or an enclosed garage.

The site plan indicates the ratios provided for standard, compact, and handicap spaces. Two-hundred and twenty-four (224) standard size parking stalls, ninety-two (92) compact parking stalls, seven (7) handicap stalls, and twenty-one (21) garages are provided throughout the site. Visitor parking spaces have been identified on the site plans.

Carports and Garages: Twenty-one (21) of the provided parking spaces are garages on the site. All garages will be constructed with the same materials and colors as the apartment buildings. See attached elevations. Building elevations of the garages have been provided.

All parking areas will be served by 26-foot wide two-way access ways that run through the development. Visitor parking will be provided and centrally located as required.

CODE SAYS CENTRAL OR EVENLY DIST.
THE PLANS DON'T SHOW CENTRAL!

In order to take into consideration circulation, pedestrian access, landscaping, and the requirements of the code, the parking areas have been carefully designed. All parking areas are landscaped and separated by landscaped bays. The parking areas and landscaped areas provide for visually appealing apartment grounds.

Therefore, this standard has been met. See attached site plans.

NO LANDSCAPE PLANS - HOW CAN YOU DRAW THIS CONCLUSION!

Bicycle Parking: One bicycle parking space per unit is required. There are 204 bicycle parking spaces being provided through the development, two in each stairwell and bike racks throughout the development.

Service, Delivery, and Screening:

There is one (1) trash/recycle area provided within the development. The trash receptacle is accessible for all residents via the paved internal sidewalk system. The trash/recycle area will be screened and enclosed with a sight-obscuring fence or wall. Detail plans for the trash receptacles have been provided.

Electrical and Mechanical Equipment:

All roof-mounted equipment will be screened and integrated into the building design. Further review of this requirement will take place at the time of building permits.

As required per 17.72.110(2), all services facilities will be screened and covered. This will be reviewed at the time of building permit submittal for all buildings on-site.

Landscaping:

All required setbacks and landscaping are being provided. Landscaping is being provided adjacent all property lines. The minimum landscaping requirement is 15% for multi-dwelling developments. Landscaping has been provided throughout the site as identified on the landscape plans. There is 120,584 square feet of landscaped area throughout the site. Therefore, 35% of the site is landscaped. Landscape plans have been provided and demonstrate how the landscape standards have been met. Landscape plans have been provided and demonstrate how the landscape standards have been met.

The exterior of the buildings will be landscaped to provide a visually appealing development. Trees and shrubs will be planted in front of and around all buildings as shown on the landscape plans. This will help to provide shading and privacy for residents. Therefore, this standard has been met.

The code requires that the parking areas be landscaped as well as the open space areas.

Planter bays have been provided every 7 parking spaces. The landscape planters are a minimum of 48 square feet in size. As shown on the site plans, all planter islands are a minimum 5 feet in dimension and meet the requirements of SHMC 17.72.140 as shown on the tie plan. Therefore, this standard has been met.

A permanent underground irrigation system will be provided when development plans are final.

Drainage:

Grading and Drainage Plan have been provided. The proposal is treating at least 80% hard surface with Green Water Infrastructure. A Preliminary Drainage Report dated April 27, 2018 has been provided as part of this application packet. Therefore, meeting the requirements of the Public Works Department.

Lighting:

Lighting has been provided as shown on the site plan. Pole lights are provided within the parking areas and located along the pedestrian paths (sidewalks). The pole lights are 5 feet to 14 feet in height. Lighting will also be mounted the front of the buildings. See attached site plans.

Handicap Standards:

The proposed development will be constructed to handicap standards as required by Code. See attached building floor and elevation plans.

Signs:

Prior to development the applicant will get approval for a sign if required.

Trees:

There are two-hundred and seventy-five (275) trees located on the site, with two-hundred and fifty-seven (257) trees proposed for removal. There are twenty-two (22) trees proposed for preservation.

All the trees, including a 48' Oak tree, proposed for removal are located within the driveway areas or building envelopes. The large oak tree is in an area that will require grading and paving, which will potentially damage the roots of the tree. Therefore, requiring removal to develop the site. However, the applicant will be meeting the replanting requirements of 2:1 ratio, by replanting 506 trees throughout the new development.

CONCLUSION

The requested Apartment development is appropriate for the subject property and has met all the required clear and objective standards as described above. The proposal is consistent and in compliance with the current GC and AR zoning designations.

The materials submitted address all the relevant City criteria for this development. For these reasons, we believe that the proposal is warranted and that the City has sufficient findings to grant the proposal as requested.

FILE**St. Helen's Apts**
Conditional Use

Revised July 17, 2018

RECEIVED
JUL 19, 2018
CITY OF ST. HELENS**SITE:**

The subject property is located on the McBride Street (north), Matzen Street (west), and Maple Drive (south) (040105DD/Tax Lots 700 and 1900).

The applicant is proposing the development of 7.73 acres of GC zoned property with 204-apartment units as shown on the site plans. The development of apartments in the GC zone requires a Conditional Use Permit.

VICINITY INFORMATION:

There is an existing single-family dwelling and shed on the time that will be removed prior to development. The surrounding properties are fully developed.

North Property Line: Adjacent McBride Street, R7 and AR; existing single-family dwellings and existing multifamily

East Property Line: R7; existing single-family dwellings

South Property Line: Adjacent Maple Drive, R7 and HC; existing single-family dwellings and commercial uses

West Property Line: Adjacent Matzen Street, HC; vacant land

PROPOSAL:

The applicant is proposing to develop 204-apartment units on the subject property.

CONDITIONAL USE CRITERIA:***a) The site size and dimensions provide adequate area for the needs of the proposed use;***

Findings: The applicant is proposing the development of 7.73 acres of GC zoned property with 204-apartment units as shown on the site plans. Dwellings are permitted with a Conditional Use Permit in the GC zone, but are subject the AR (Apartment Residential) standards. The AR zone requires a minimum of 1,500 square feet for each multi-dwelling unit over the base of 5,000 square feet for the first two units, with no maximum.

*204 unit proposed

*5,000 square feet for the first two units=5,000 square feet

*1,500 square feet for the remaining 202 units=303,000 square feet

Minimum Lot Size Required=7.07 acres

Lot Size Provided=7.73 acres

The size of the property provides adequate area to meet the minimum lot size requirements and provide more than sufficient setbacks and parking on the site. There are no other sites this size in the area to accommodate this development.

(b) The characteristics of the site are suitable for the proposed use considering size, shape, location, topography, and natural features;

Findings: The proposed development benefits the public by permitting the site to be utilized in accordance with specific development standards that reflects the character of the existing neighborhood. The traffic impacts are minimal and the level of impacts for this development are low. A Revised Traffic Impact Study dated June 15, 2018, has been provided as part of this application. This proposal will also allow for the advantageous use of land that is currently serviced by public facilities. A 204-apartment unit development provides an excellent transition and a melding of the different types of housing and uses in the area, where there is existing well-established detached single family, attached single family housing, and commercial uses.

The proposal is suitable for the site and will take vacant land and develop it with residential uses that will not affect the neighborhood. The proposed use will enhance an established neighborhood by developing buildings with compatible design.

The proposed buildings will be 3-stories in height with more than adequate setbacks to provide a buffer from adjacent residential uses. The building height and setbacks meet the standards set out in the Code. These standards are established in order to minimize impacts to adjacent uses. The building design, height, and setbacks will help minimize any impacts to the surrounding properties.

(c) All required public facilities have adequate capacity to serve the proposal;

Findings: The submitted plans show that the proposed buildings can be serviced by the infrastructure to support the development and will be designed to City standards.

Prior to construction of the site, the applicant will provide plans that identify all existing and proposed utilities. The plans will show how all required utilities will be connected to existing or relocated to provide services to the proposed development.

The applicant will obtain all required permits prior to construction.

(d) The applicable requirements of the zoning district are met except as modified by this chapter;

Findings: As shown on the site plans, all applicable requirements of the zoning district have been met. No variances are required for development of the site.

(e) The supplementary requirements set forth in Chapter 17.88 SHMC, Signs; and Chapter 17.96 SHMC, Site Development Review, if applicable, are met; and

Findings: See attached Site Development Review Site Plans and Findings. All Site Development Review Criteria has been met or will be met.

(f) The use will comply with the applicable policies of the comprehensive plan.

Findings: The proposed development is consistent with the policies of the comprehensive plan. The intent of the comprehensive plan is to project the goal of the most desirable pattern of land use in the area taking into account various factors such as the transportation system, location of public facilities, and the needs of the people which are important to the creation and maintenance of a healthful and pleasing urban environment. To ensure that the anticipated urban land use needs are met, the Plan map demonstrates a commitment that land for a wide variety of uses will be available at appropriate locations as needed.

The subject property is designated as 'General Commercial' on the St. Helen's Comprehensive Plan Map.

The "General Commercial" comprehensive plan designations are consistent with the commercial comprehensive plan goals and policies.

The City's Comprehensive Plan Transportation Goal and Policies encourage a safe, convenient and economic transportation system. The major streets are in place due to previous development.

The City's adopted Comprehensive Plan residential and Transportation Goal and Policies require development to be served by public services. The proposal is for revitalized urban development in an area where future extensions of those services can be provided in the most feasible, efficient and economical manner. All necessary and appropriate public services and facilities essential for development will be provided to this property at levels that are adequate to serve the proposed use.

The City maintains an infrastructure of public services that includes sewer, water, and storm drainage facilities. The City will specify any needed changes to the existing service levels at the time building permits are requested.

The comprehensive plan encourages a mixture of housing types with in a neighborhood that have access to commercial services. The site was rezoned to GC in 2017 which allows the development of multi-family units and/or commercial uses. The site as a whole will provide a higher density of housing that is needed in this area.

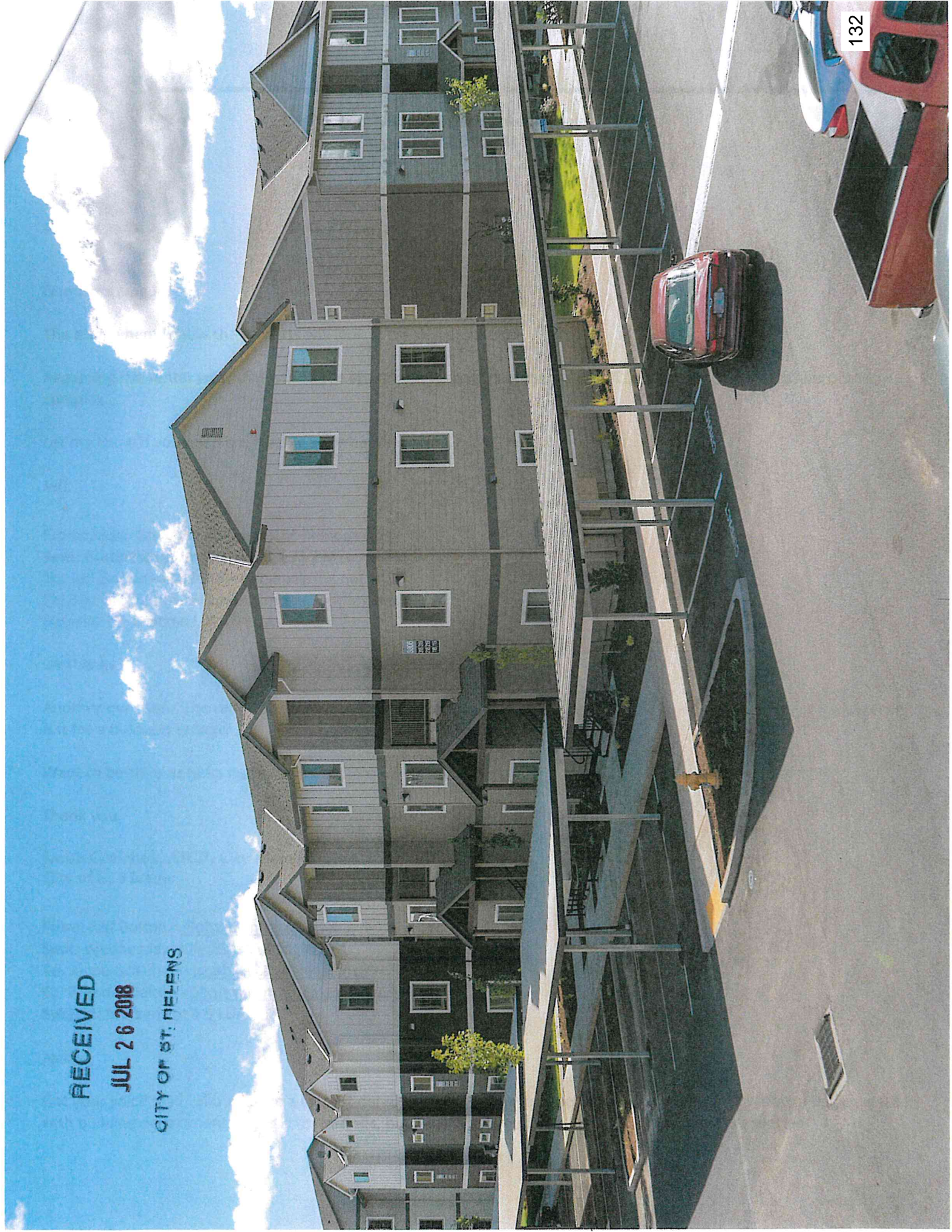
The request is in conformance with the comprehensive plan and all applicable land use standards imposed by state law and administrative regulation, which permit applications to be filed.

Development of the subject property can meet the minimum standards of the zone code as shown on the site plans. The proposal complies with the Comprehensive Plan as addressed in this report. The applicant has presented evidence sufficient to prove compliance with these standards.

RECEIVED

JUL 26 2018

CITY OF ST. HELENS



**PRELIMINARY DRAINAGE REPORT
FOR**

**St. Helens Multi-Family Development
St. Helens, Oregon**

**Prepared For:
St. Helens Land Company, LLC
9550 SE Clackamas Road
Clackamas, Oregon 97015**

April 27, 2018



1155 13th Street SE
Salem OR 97302
www.mtengineering.net

PHONE: (503) 363-9227
FAX: (503) 364-1260
EMAIL: mhendrick@mtengineering.net

PROJECT DESCRIPTION

The applicant is applying for a Conditional Use permit for a multi-family apartment complex. The location of the site is near the southeast corner of McBride Street and Matzen Street intersection. The parcel of land to be developed is a portion of Tax Lot 1900 of Columbia County Assessor's Maps 04 01 05DD. The parcel will also be Lot 5 of the proposed Matzen Subdivision approved under the City St. Helen's Planning Case No. SUB.3.17.



Project Site

The development will consist of an apartment complex containing approximately 204 units. The proposed development will be connected to public water and public sewer. Stormwater conveyance and detention will be designed per the current City of St. Helens Stormwater Engineering standards.

EXISTING CONDITIONS

The 7.73-acre site being developed is generally rectangular in shape and was previously a mobile home site. Surface vegetation consists of trees with grassy openings. There are no identified wetlands, sensitive areas or waterways located on the property. The topographical high point is located on the westerly side of the site. Drainage from this high point flows to the east. The relief is approximately 13-feet. The property appears to be hydrologically isolated. The abutting properties are single family residences with public improvements that include storm water conveyance systems.

The Soil Conservation Service Soil Survey of Columbia County identifies the soil on the site as: Rock outcrop-Xerumbrepts, undulating (map unit 45). The soil is in the hydrologic soil group D.

DEVELOPED CONDITIONS

The proposed development will create approximately 4.8-acres of new impervious surfaces. Stormwater runoff from these new surface areas will be conveyed to an on-site stormwater management system designed per City standards. The system will detain the 25-year storm event for developed conditions and release at the pre-developed flow rate for the 10-year storm event. Water quality facilities will use manufacture stormwater treatment technologies; Contech® Engineered Solutions Stormfilters.

STORMWATER ANALYSIS

Stormwater quantity is proposed to be handled via a volume based facility that detains runoff and controls flow rates to pre-developed flow rates. Runoff from the development will be routed to the facility that stores the volume from the 25-year storm event and meters runoff for the 10-year storm events under pre-developed conditions.

Pre-developed and post developed flow rates were calculated using HydroCAD 10.00. 24-hour rainfall depths were obtained from the NOAA Atlas 2, Volume X, Isopluvial Precipitation maps.

For the post-developed conditions, a time of concentration of 10 minutes was assumed. 4.82-acres of post-developed area was classified as "Impervious Area, HSG D" with a curve number (CN) of 98 and 2.91-acres "> 75% Grass cover, Good, HSG D" with a CN of 80. The calculated composite CN is 91. A Type 1A rainfall distribution was used with the NOAA rainfall depths. The Santa Barbara Unit Hydrograph method was used to generate the hydrographs. Table 1 below identifies the preliminary required storage and allowable release rate for the design storm events.

Table 1

Storm Event	Required Storage (cu.-ft.)	Storage Provided (cu.-ft.)	Allowable Release Rate (cfs)
10-year	22,800	Match or Greater	0.95

In summary, as noted above, the system will be designed will retain and dispose of the runoff from the project in keeping with the City of St. Helen's Stormwater Engineering standards. Water quality will meet the same requirements.

OPERATION & MAINTENANCE

Operation and maintenance of the stormwater facility will be the responsibility of Property Owner.

CONCLUSION

Based on the presented information, the proposed design will meet the water quantity and quality standards. If there are any questions regarding this preliminary, please contact Matthew Hendrick at Multi/Tech Engineering by phone at (503) 363-9227 or via e-mail at mhendrick@mtengineering.net.

Revised Traffic Impact Analysis

St Helens Apts

St Helens, Oregon



Introduction:

The developer intends to build 204 apartment units (ITE 220) on tax lot 700 and 1900 of tax map 04N01W Sec05 in St Helens, Oregon. The 7.7 acre site is south of McBride St and east of Matzen St in St Helens. The site will be developed with access to both McBride St and Maple Dr, a new street along the southern property line.

Residents of St Helens Apts will use the transportation system and add traffic to the roadways in St Helens. This analysis will consider the traffic impacts at the intersections of 1) Columbia River Hwy at St Helens, 2) Columbia River Hwy at Columbia Blvd, 3) Columbia River Hwy at S Vernonia St, 4) Columbia River Hwy at McBride St, 5) Columbia River Hwy at Sykes Rd, 6) Columbia River Hwy at Gable Rd. 7) Columbia Boulevard at Vernonia Rd, 8) Matzen St at Columbia Blvd, 9) Matzen St at McBride St, 10) McBride St at May St and 11) the site access at McBride St.



Figure 1 - Vicinity Map

Background traffic was taken from the St Helens Medical Office Building TIA completed by Kittelson and Associates in Portland. Crash data was provided by the ODOT Crash Data Unit for the most recent 5 years with available data.

Summary of Findings:

The 204 apartment units in the St Helens Apts will generate an estimated 1493 trips each day. 94 of those trips will be in the AM Peak hour and 114 trips will be in the PM Peak hour. The performance metrics when the apartments are occupied at the studied intersections are shown in the following table.

	AM Peak hour		PM Peak hour	
	LOS	v/c	LOS	v/c
Columbia River Hwy at St Helens	A	0.475	B	0.567
Columbia River Hwy at Columbia Blvd	B	0.486	B	0.571
Columbia River Hwy at S Vernonia St	C	0.039	E	0.258
Columbia River Hwy at McBride St	C	0.066	C	0.305
Columbia River Hwy at Sykes Rd	B	0.600	B	0.613
Columbia River Hwy at Gable Rd	C	0.668	E	0.995
Vernonia Rd at Columbia Blvd	B	0.382	B	0.468
Matzen St at Columbia Blvd	B	0.093	B	0.067
Matzen St at McBride St	A	0.017	A	0.011

McBride at May St	A	0.031	B	0.065
Matzen St at E Site Access	A	0.036	A	0.024

Performance Metrics when St Helens Apts are developed & occupied

Crash data from ODOT Crash Data Unit shows there were 77 crashes at the studied intersections in the 5 years studied. None were fatal crashes, 32 were injury crashes and 45 were property damage only crashes. While higher than wanted at all intersections, 3 intersections have crash rates above the 90th%ile for their type of intersection in Oregon. They are Columbia River Highway at Columbia Blvd, Matzen at Columbia Blvd and Vernonia at Columbia Blvd.

History, Existing and Background Conditions:

Traffic from the planned apartments will travel north or south on Matzen St or on McBride St to access the transportation system. The studied intersections on the Lower Columbia River Highway are signalized except the intersections at Vernonia and at McBride. All the other studied intersections are two way stop controlled.

Traffic counts were made in March 2018. These counts will be increased 7.5% to estimate the 30HV traffic volumes. The study assumes that the Columbia River Hwy is a commuter highway. The March 15 factor is 0.9838 and the 30HV factor is 0.9149 yielding the 7.5% increase to estimate the 30th HV traffic.

The logo for Hudson Garbage Service features the word "Hudson" in a large, stylized, cursive font, with "Garbage Service" in a smaller, bold, sans-serif font below it. The text is centered within a large, downward-pointing triangle that has a textured, stippled appearance.

Hudson Garbage Service

Herb Bailey
Hudson Garbage Service
PO Box 1002
St Helens, OR 97051

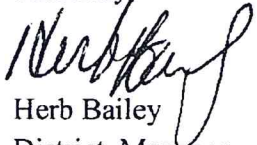
FILE
RECEIVED
JULY 19, 2018
CITY OF ST. HELENS

Jeff,

Reviewing the proposed Multi/Family Development Map and specifically the solid waste collection point, it appears to not only be accessible but also secure enough to safely service a compactor or containers.

If you have any questions, please feel free to call me at: (971) 328-2092.

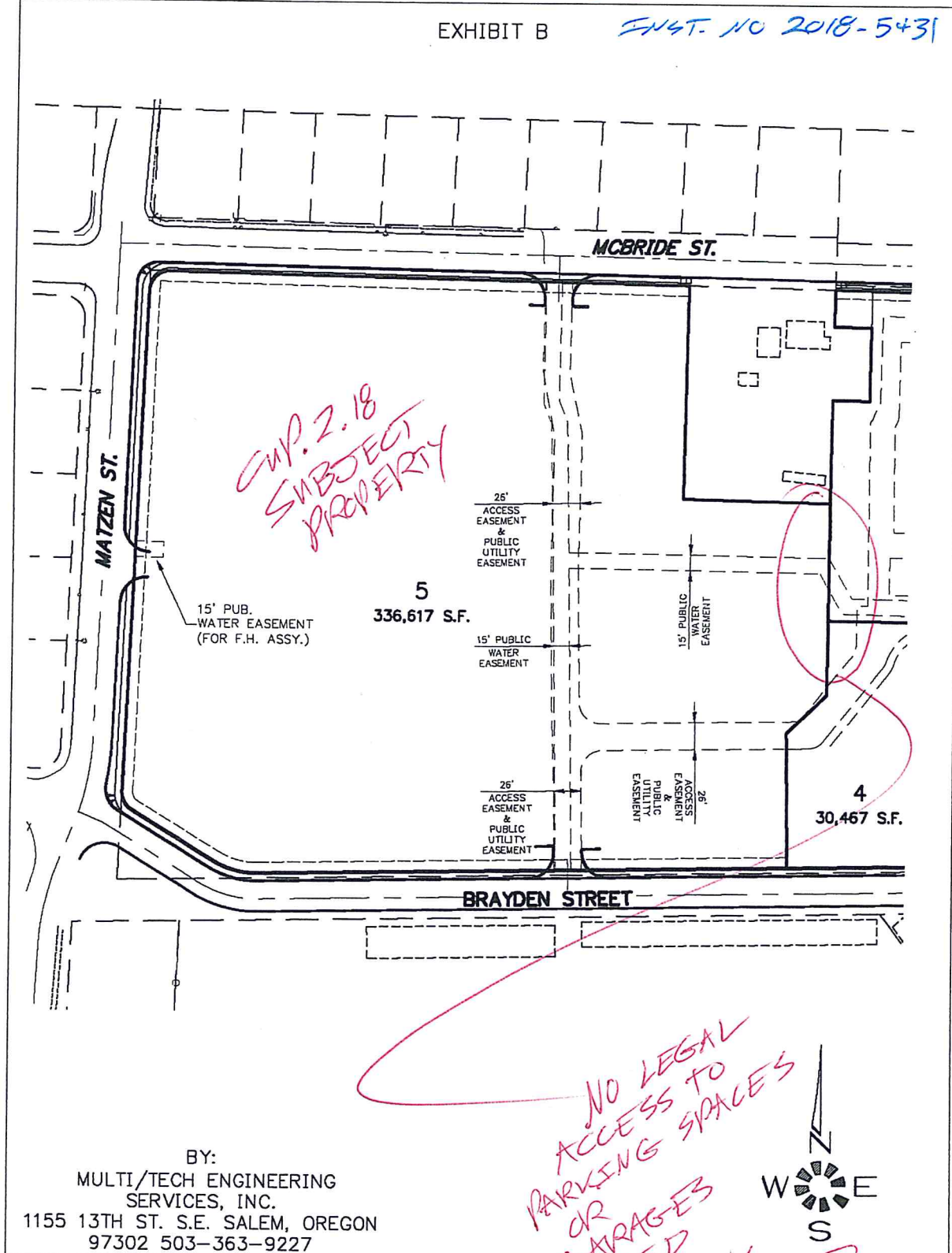
Sincerely,

A handwritten signature in black ink, appearing to read "Herb Bailey", followed by the date "7-16-18".
Herb Bailey
District Manager

FROM CCR DOC FOR MATZEN SUB. ACCES

EXHIBIT B

ENVT. NO 2018-5431



BY:
MULTI/TECH ENGINEERING
SERVICES, INC.
1155 13TH ST. S.E. SALEM, OREGON
97302 503-363-9227

Verit

**CITY OF ST. HELENS PLANNING DEPARTMENT
STAFF REPORT
Right-of-way vacation VAC.1.18**

DATE: August 7, 2018
To: Planning Commission DRAFT
FROM: Jacob A. Graichen, AICP, City Planner
PETITIONER: Rick Scholl and Ron Shlumpberger
PROPOSAL: Vacation of public right-of-way described as follows:

The west 40' of the N. 8th Street (Spring St.) right-of-way abutting Lots 21 and 22, Block 77;

The north 40' of the Wyeth Street right-of-way abutting Lots 1 and 22, Block 77;

The east 40' of the N. 9th Street (Pacific St.) right-of-way abutting Lot 1, Block 77;

The south 40' of the Wyeth Street right-of-way and the east 40' of the N. 9th Street (Pacific St.) right-of-way abutting the portion of Lot 11, Block 76 not included in the Replat of Shadow Canyon; and

The east 40' of the N. 9th Street (Pacific St.) right-of-way abutting the portion of Lot 10, Block 76 not included in the Replat of Shadow Canyon;

All the above within the St. Helens Subdivision, City of St. Helens, Oregon.

The purpose of this vacation is “to adjust lot lines and better use of property” per the petitioner’s petition.

PUBLIC HEARING & NOTICE

Hearing date: September 19, 2018 before the City Council

Notice of this proposed street vacation was published in the Chronicle on <<TBD>> and <<TBD>>. Staff posted a copy of the notice at or near each end of the proposed street vacation areas on <<TBD>>.

APPLICABLE CRITERIA, ANALYSIS & FINDINGS

The petition requested that this proposal be reviewed by the Planning Commission for recommendation to the Council

As such, at their August 13, 2018 meeting, the Commission considered this request and, based on <<majority or unanimous>> vote, recommends the following to the City Council:

The Planning Commission recommends that the City Council...

SHMC 17.32.030(5): Whenever any street is lawfully vacated, and when the lands within the boundaries thereof attach to and become a part of lands adjoining such street, the

lands formerly within the vacated street shall automatically be subject to the same zoning district designation that is applicable to lands to which the street attaches.

SHMC 17.136.220—Vacation of Streets: All street vacations shall comply with the procedures and standards set forth in ORS Chapter 271 and applicable local regulations.

Discussion: The above two excerpts are the only places where vacations are specifically mentioned in the St. Helens Municipal Code. The Municipal Code does not set forth any additional approval criteria other than those per State law below.

Oregon Revised Statutes, ORS 271.120 – Street Vacation Approval Criteria

... the governing body shall hear the petition and objections and shall determine whether the consent of the owners of the requisite area has been obtained, whether notice has been duly given and whether the public interest will be prejudiced by the vacation of such plat or street or parts thereof. If such matters are determined in favor of the petition the governing body shall by ordinance make such determination a matter of record and vacate such plat or street; otherwise it shall deny the petition. The governing body may, upon hearing, grant the petition in part and deny it in part, and make such reservations, or either, as appear to be for the public interest.

- **Have there been any objections or other comments submitted regarding this request?**

City engineering had the following comments:

Streets and Access

Based on adjacent undeveloped properties in the immediate vicinity, specifically at the northeast corner of the N. 8th Street & Wyeth Street rights-of-way, it is reasonable to maintain a minimum right-of-way width of 40 feet along Wyeth, N. 8th, and N. 9th Streets. This would still provide 20 feet of right-of-way adjacent to the applicant's lots that could be vacated without jeopardizing future access to these properties. It would also allow the potential for interconnecting future street improvements, providing better fire and emergency service access to the entire area.

Utilities

There is an existing sanitary sewer main at least partially to the top of the crest at the south end of N. 9th Street, near the Wyeth Street intersection. The sanitary sewer main on N. 8th Street is located approximately 160 linear feet north of the applicant's property. One or both of these may be required to be extended to provide service to lots when they are developed. Typically public utility mains are required to be extended to a point that is halfway across the property frontage of the furthest lot to be served.

An existing waterline is also extended at least partially to the intersection at N. 9th and Wyeth Streets. It appears that the watermain is a small diameter, perhaps 2-inch, at the southerly end of the line, nearest the subject property. The main, or at least a portion of

the main, may be required to be replaced with a 6-inch main, the minimum size for a fire hydrant, to provide required fire protection. It appears that the closest fire hydrant on N. 9th Street is approximately 585 feet away from the subject property, far exceeding the Fire District standard of 300-350 feet. The watermain on N. 8th Street appears to terminate approximately 70 linear feet from the nearest portion of the subject property and may also require to be extended. Records indicate that this is a 4-inch diameter steel main, and the same conditions of upsizing, extending, and potential fire hydrant installation will apply. The nearest fire hydrant on N. 8th Street is slightly closer to the nearest portion of the subject property, at approximately 530 feet.

Because of the existing utilities (water and sanitary sewer) at the south end of N. 9th Street, a utility easement shall be required across any portion of the 9th Street right-of-way that is vacated.

Storm drainage will have to be looked at when the lot(s) is/are developed. Special care will have to be taken to ensure that runoff from new building and development does not impact the existing developed properties. Until development plans for the lots are submitted, it is not known what types of improvements may be required.

Planner's note: Per discussion with City Engineering, the 40' right of way width and easement requirement pertains to the area north from the centerline of Wyeth, generally.

In addition, upon inspection (as part of the location effort), the Public Works crew observed that the Sanitary Sewer Main has noteworthy storm water inflow and infiltration.

These comments were given on July 23, 2018 before staff was completed analyzing the proposal in the field.

- **Has the consent of the owners of the requisite area been obtained?**

Pursuant to ORS 271.080(2), the consent of the owners of all abutting property and not less than two-thirds in area of the real property affected area (i.e. an area 200 feet parallel to and on both sides of the portion of street r.o.w. to be vacated and 400 feet along its course beyond each terminus of the portion of street r.o.w. to be vacated) is required. **The applicant submitted documentation showing 100% consent of all property owners abutting the portion of street right-of-way to be vacated and 67.25% of the affected area.**

- **Has notice been duly given?**

Notice requirements are set forth by ORS 271.110. This requires published notice to occur once each week for two consecutive weeks prior to the hearing and posted notice within five days after the first date of published notice. The posting and first day of publication notice is required to be at least 14 days before the hearing. The notice requirements have been met (see PUBLIC HEARING & NOTICE above).

- **Will the public interest be prejudiced by the proposed street vacation?**

The key issues here are preservation of right-of-way for future access and utilities, and preservation of right-of-way for existing utilities.

All rights-of-way in question are 80' in width. They are also atop a rock outcropping generally void of improvements.

Future access: There are two considerations for this 1) the City's right-of-way standards and 2) physical circumstances.

1) City of St. Helens right-of-way standards.

All streets involved are classified as local per the City's Transportations Systems Plan. The normal minimum width for local streets is 50 feet. However, the Development Code allows for a local "skinny" street with a 40' right-of-way width provided:

- (a) The street will provide access to land uses whose combined average daily trip rate (ADT) is 200 ADT or less; and
- (b) Where the roadway/pavement width will be 20 feet, on-street parking shall be prohibited.

200 Average Daily Trips (ADT) is roughly equivalent to 21 single-family homes or 30 apartments, as examples. Such density is unlikely given topography and doesn't appear possible based on zoning.

Based on the R5 zone's current standards, the approximate potential density for the four lots involved are:

Vacation granted in full: 4-17 dwelling units

Vacation granted in part (if area N. 9th north of Wyeth Street centerline is vacated with utility easement—see below): 4-12 dwelling units

The 40' width seems a logical choice in areas where there is potential for future street connections: via N. 9th and 8th Streets from the north, and maybe Wyeth Street from the east. Other access seems impractical due to topography, development patterns and solid rock.

Thus, the portion that may be acceptable to vacate in entirety as requested would be the portion of N. 9th Street south of the Wyeth Street centerline.

The portion of Wyeth between N. 9th and 8th Streets needs to maintain a 40' width for circulation. In addition, this better enables a turn around for a fire apparatus as required by the Development and Fire Codes.

2) Physical circumstances.

The current functional access is via N. 9th Street. There is an approximate 20' wide swath of gravel road that allows access to the top of the rock feature (Wyeth Street). This road remains in the public right-of-way but veers eastward towards the top such that its center is

about 20' from the NE corner of N. 9th Street / Wyeth Street right-of-way lines. Thus, if vacated as a 40' right-of-way as discussed above, the property line would be in the middle of the improved road.

Given the potential development atop this rock feature, widening is possible and there is limited physical room to widen or even move the road given solid rock jutting many feet above road grade, creating a "wall" on the west side of the road.

Given this physical constraint, it is not recommended to vacate the portion along N. 9th Street north of the Wyeth Street centerline at all.

Utilities: Per City Engineering, an easement should be reserved along the portion of N. 9th which has existing utilities (this is north of the centerline of Wyeth Street), if this area is allowed to be vacated.

Per field measurements, the water line is within approximately 10' and the sanitary sewer line is within approximately 20' of the existing right-of-way line. Even reserving a 40' right of way width from centerline would remove 20' of right-of-way, thus reserving an easement (or not allowing right-of-way vacation in that location) is necessary.

This assumes there are not other issues that would prejudice the public interest. As discussed above, it is not recommended to vacate the portion that would need utility easements due to physical constraint. Remaining as right-of-way preserves right-of-access for utilities.


Elsewhere, the 40' right-of-way width as already described should allow room for any needed utility extensions.

CONCLUSION & RECOMMENDATION

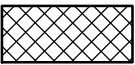
Based upon the facts and findings herein, staff <<and the PC??>> recommends the City Council grant the street vacation petition *in part* as shown on the VAC.1.18 Recommendation Map.

**Attachments: Consent Map
Proposed Building Lots Plan
Photos (3 pages)
Recommendations Map**


FILE: VAC.1.18
JULY 2018



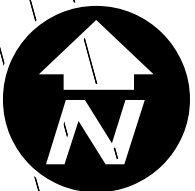
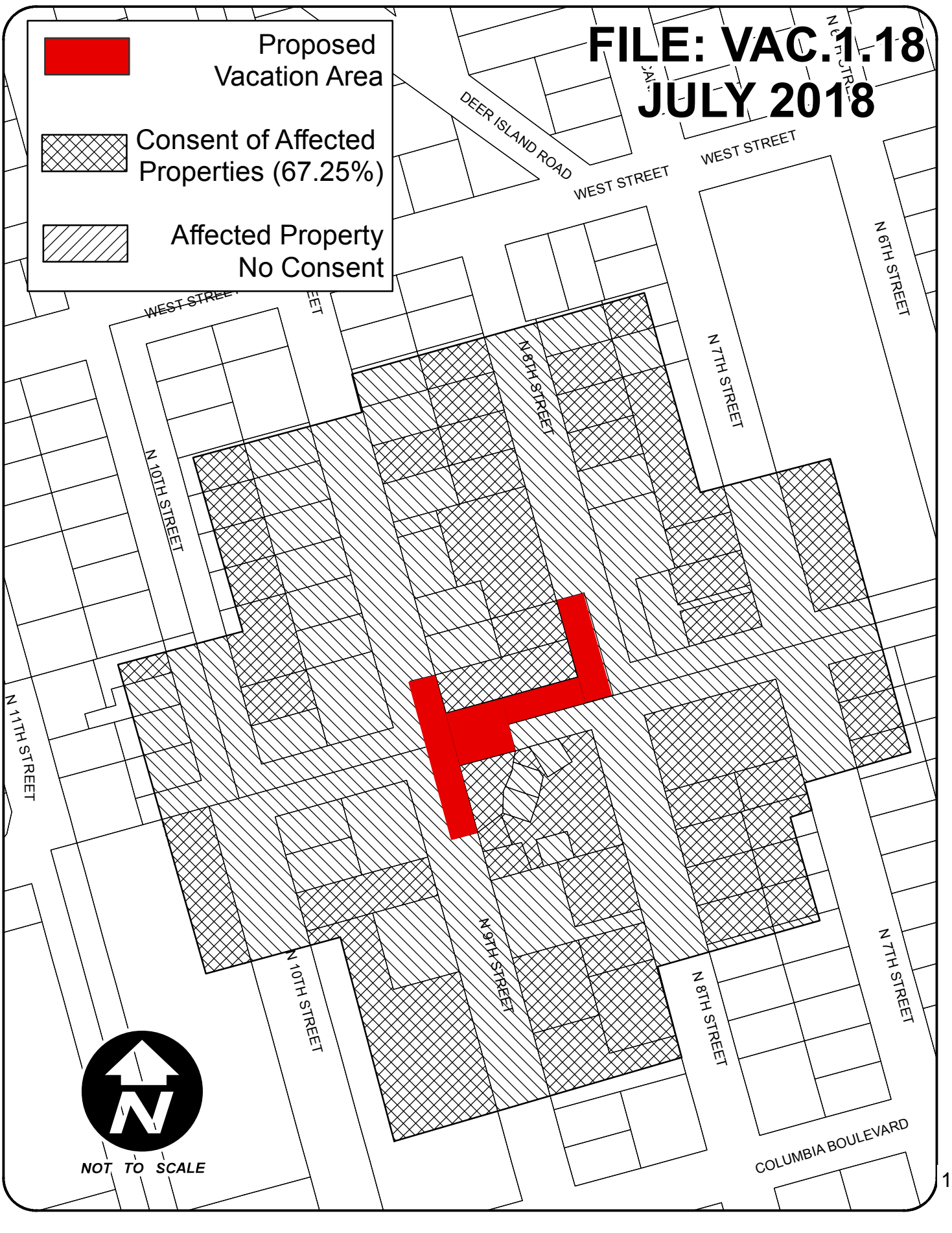
Proposed
Vacation Area



Consent of Affected
Properties (67.25%)



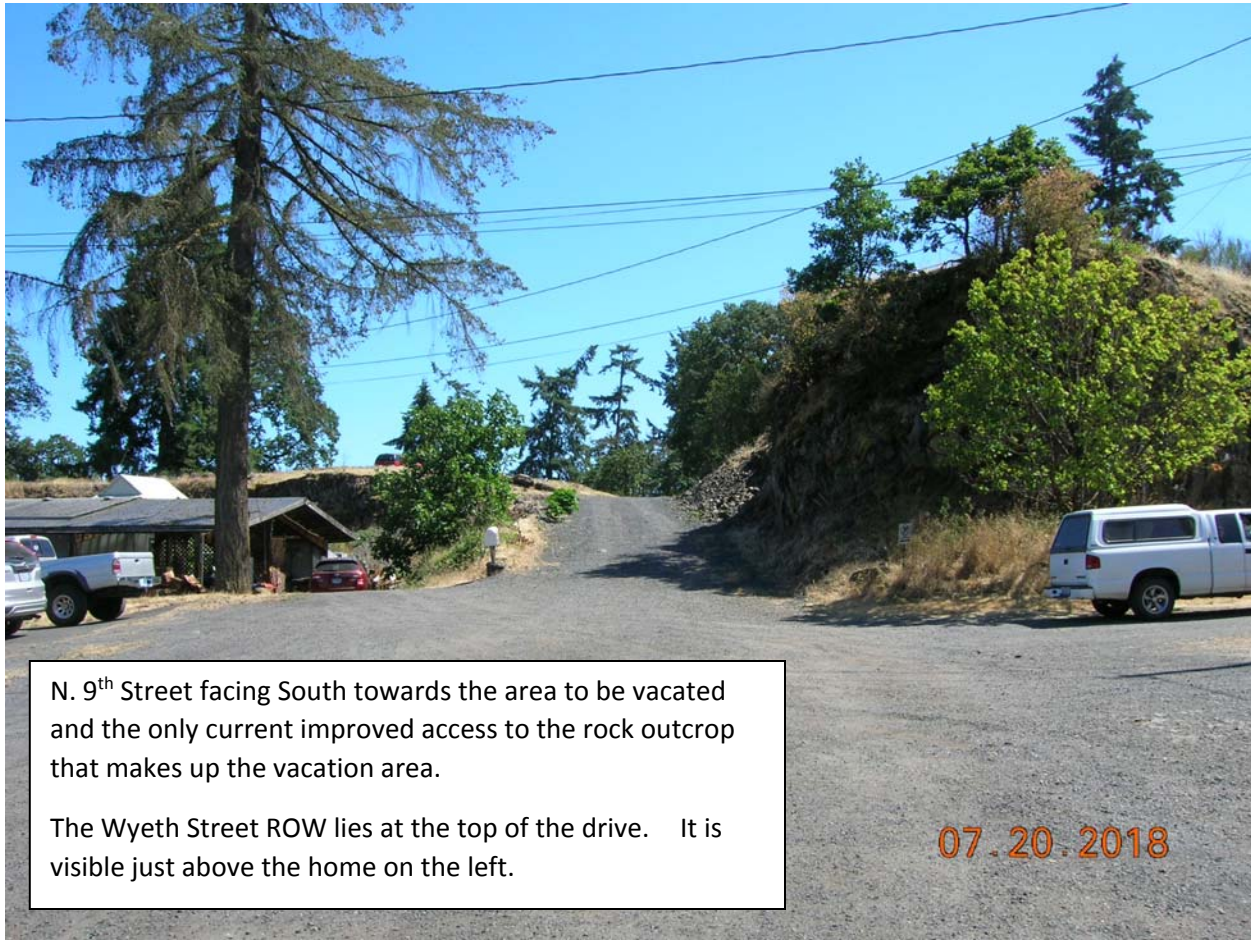
Affected Property
No Consent



NOT TO SCALE

VAC. 1.18
PROPOSED
BUILDING
LOTS

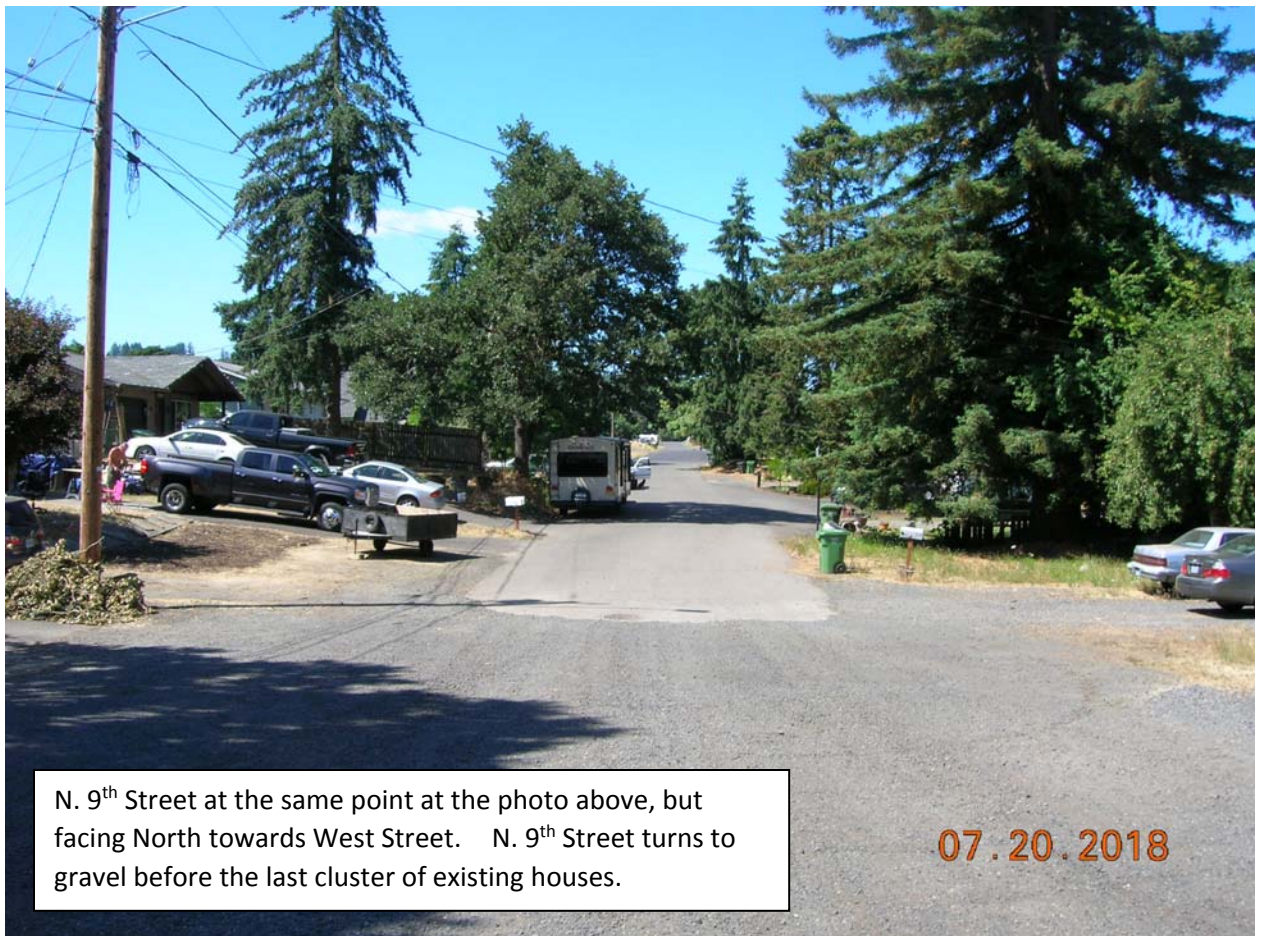




N. 9th Street facing South towards the area to be vacated and the only current improved access to the rock outcrop that makes up the vacation area.

The Wyeth Street ROW lies at the top of the drive. It is visible just above the home on the left.

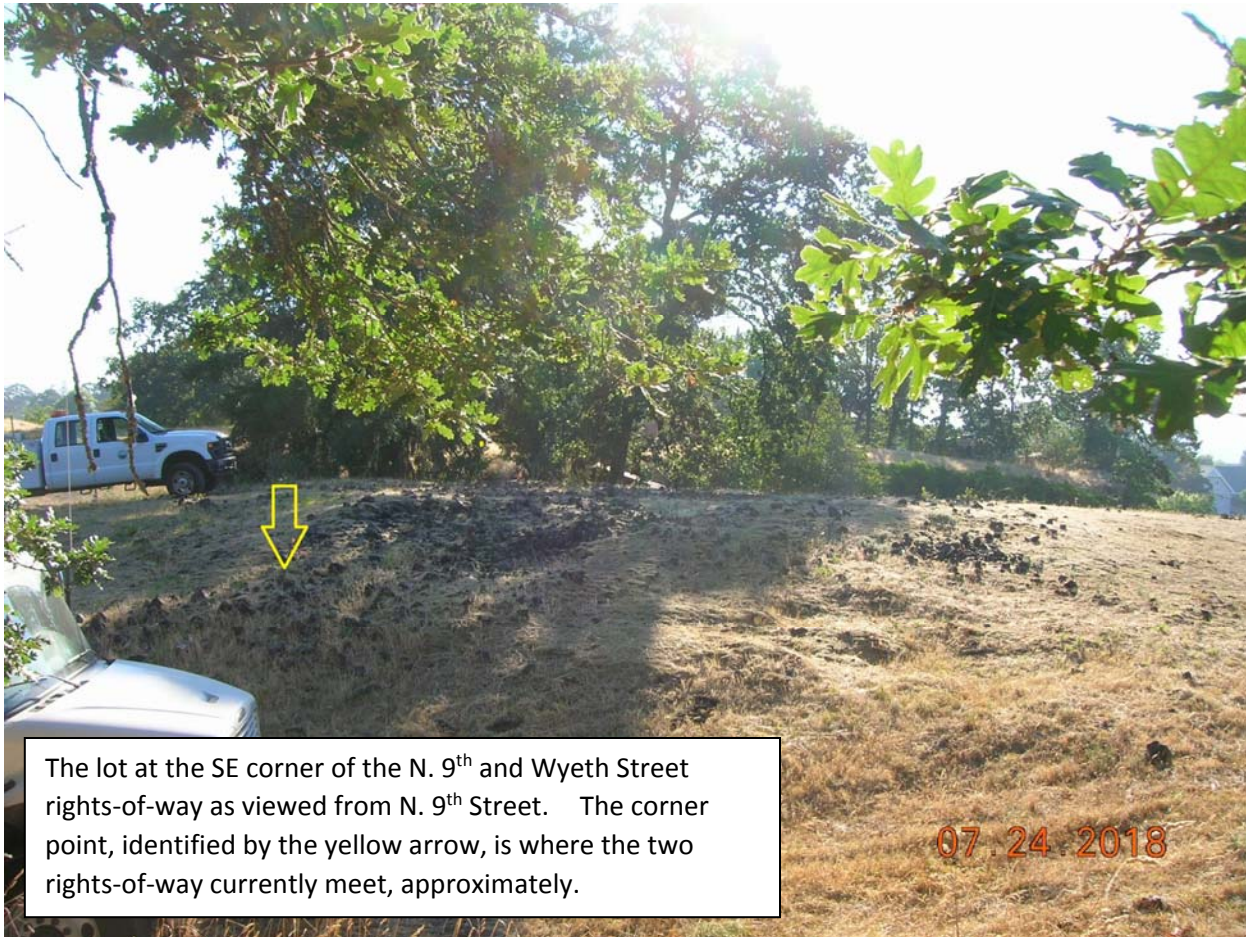
07.20.2018



N. 9th Street at the same point at the photo above, but facing North towards West Street. N. 9th Street turns to gravel before the last cluster of existing houses.

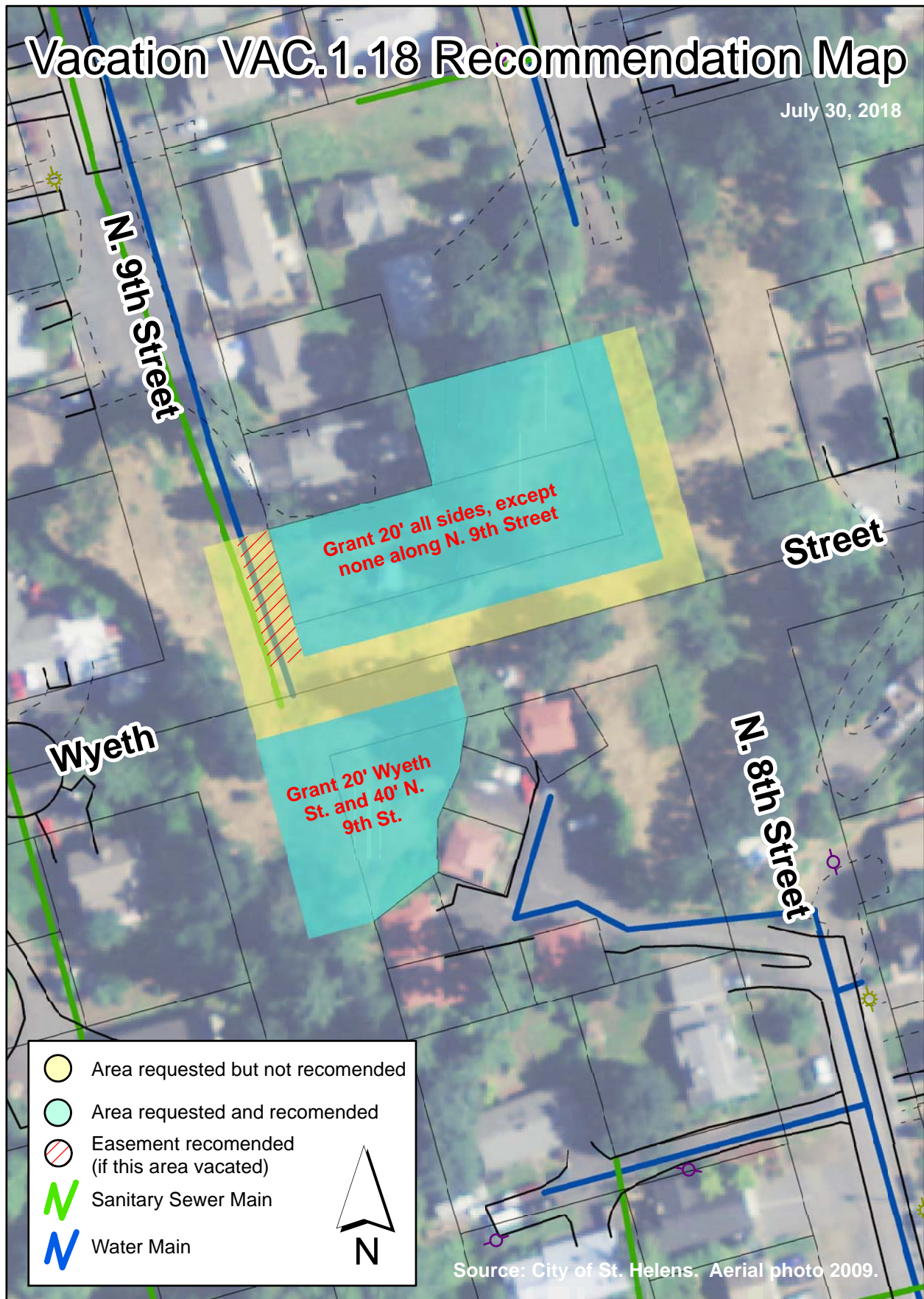
07.20.2018





Vacation VAC.1.18 Recommendation Map

July 30, 2018



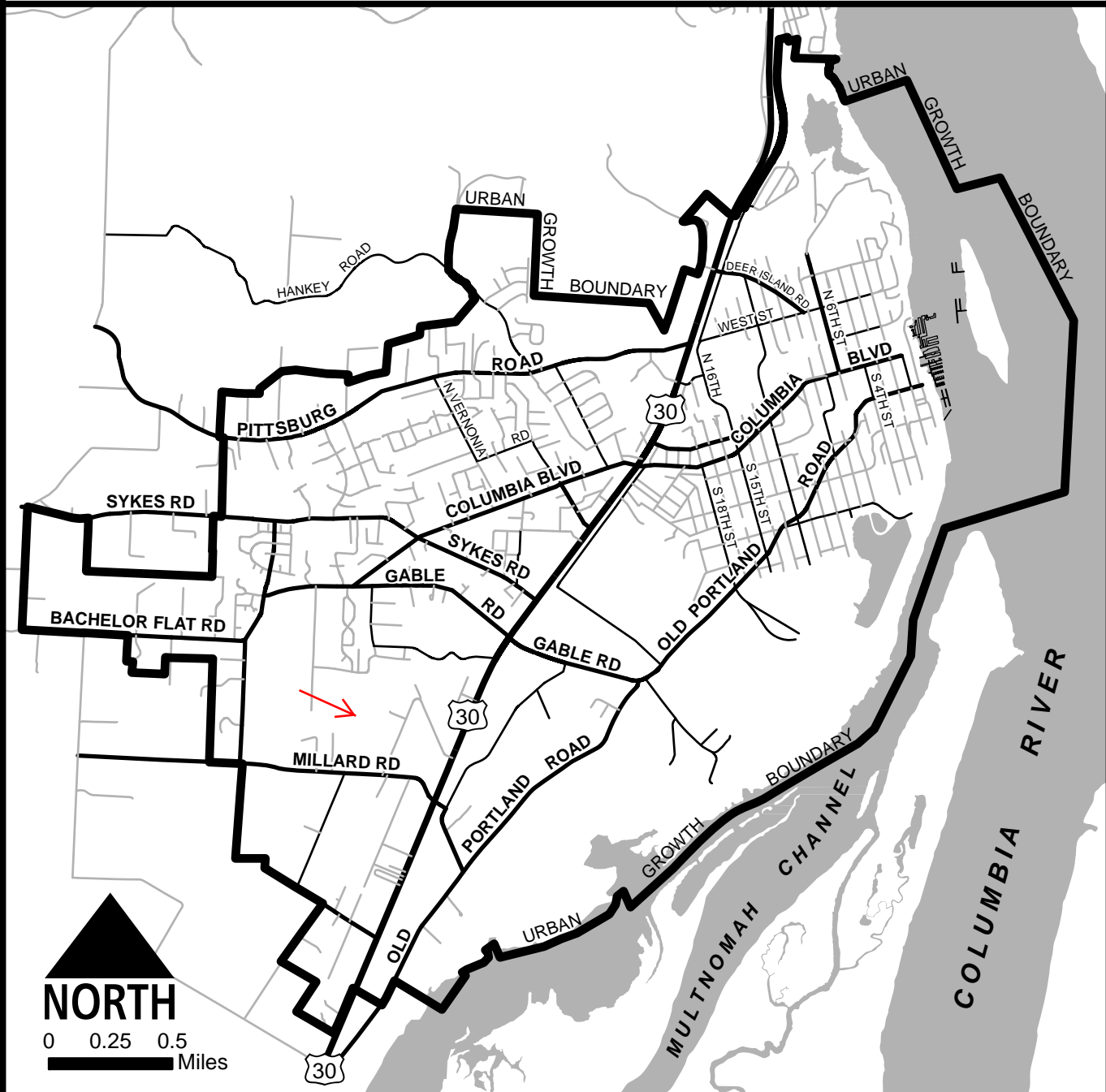
Auxiliary (Accessory) Dwelling Units, cont.

- **Maximum size** – a topic of discussion at Planning Commission hearing!
 - One of the design standards per SHMC 17.128.030: **Ensure ADUs are smaller than principle unit**
 - Current standard: No more than **30%** of principle unit living area or **1,000 s.f.**, whichever is less
 - Planning Commission recommended 1,200 s.f. size
 - Upon further review by staff, recommend:
 - No more than **75%** of principle unit living area or **1,200 s.f.**, whichever is less
 - DLCD recommends 75%
 - Also staff recommends that the ADU not exceed the height of the principle unit (not discussed at PC hearing)
 - Doesn't apply when converting legal accessory structures
 - Staff discussed **new size and height** provision with the Commission at their Aug. 14, 2017 meeting

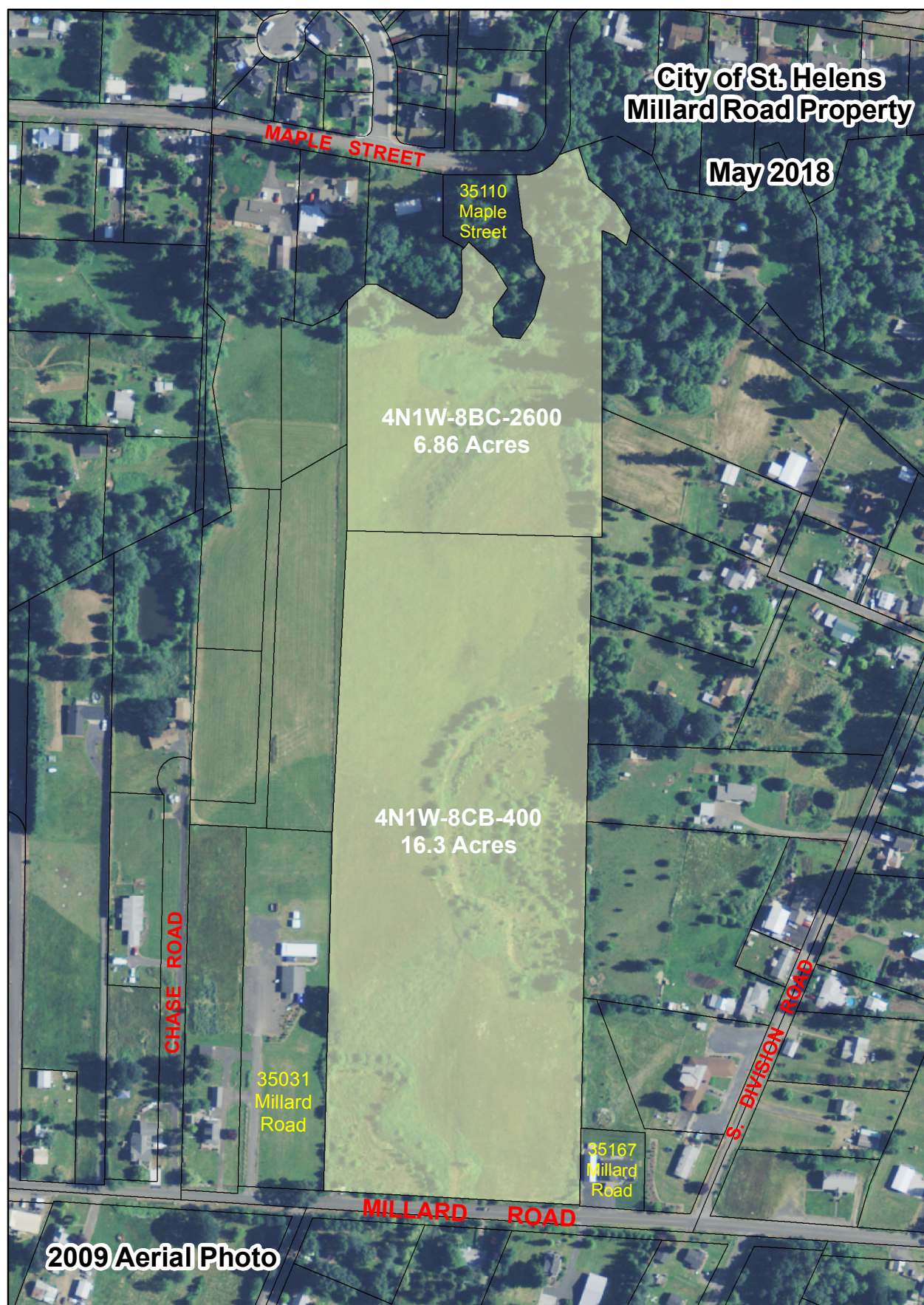
They said: _____

SUBJECT PROPERTY

~ Approximate Location ~



City of St. Helens Urban Growth Boundary Area Vicinity



MAPLE ST
(not shown)

CITY OF
ST. HELENS
PROPERTY

COLUMBIA
HEALTH
DIST.
PROPERTY

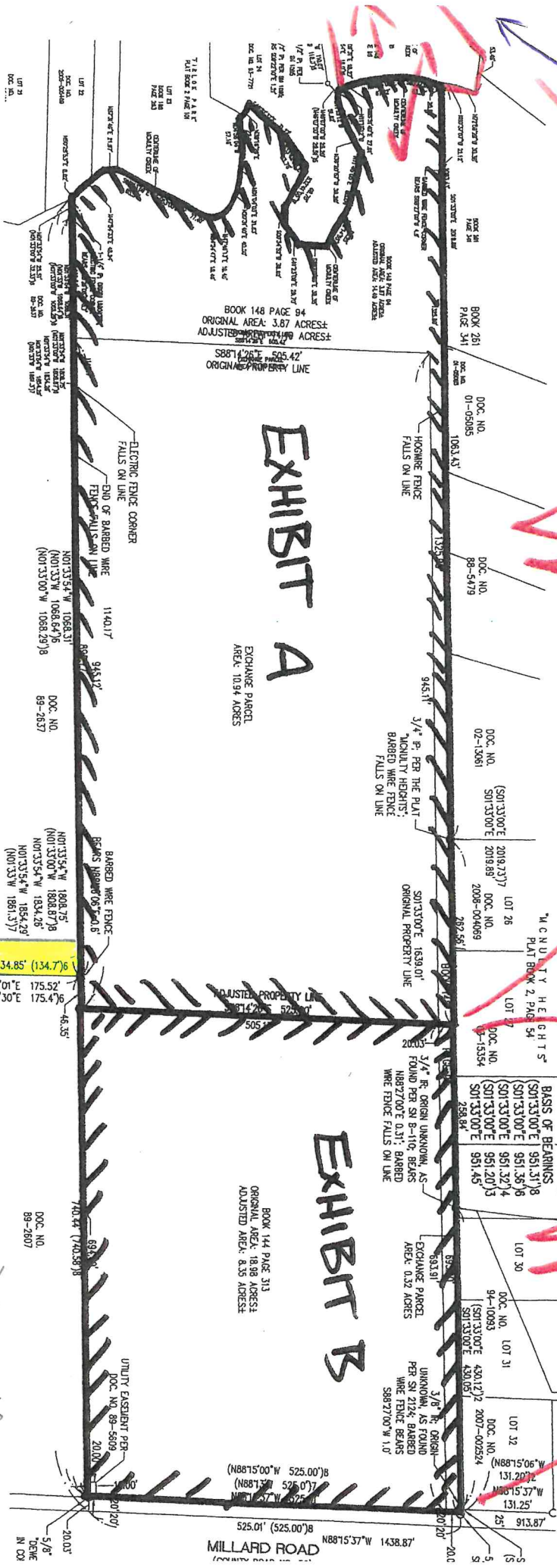


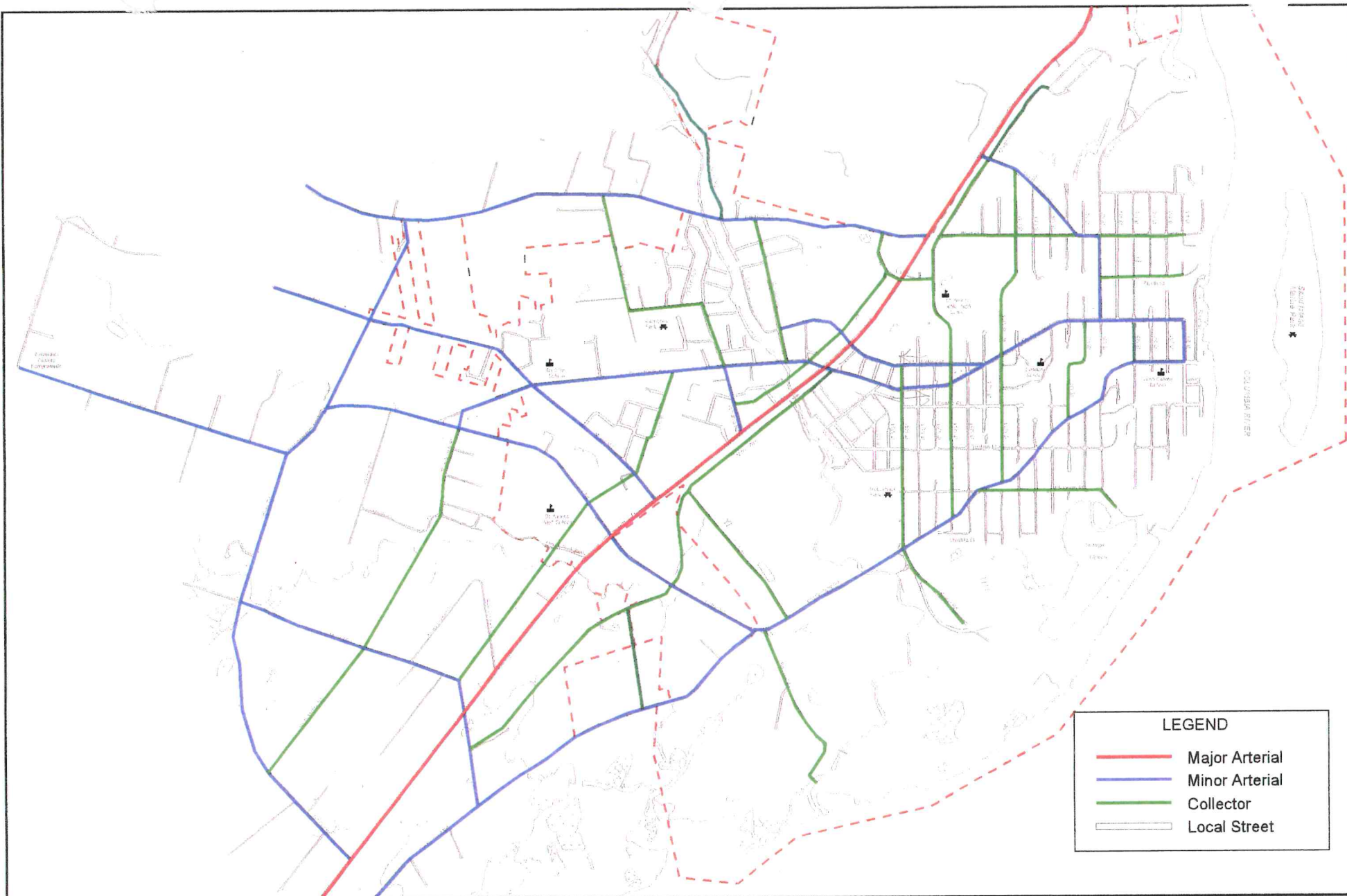
EXHIBIT A

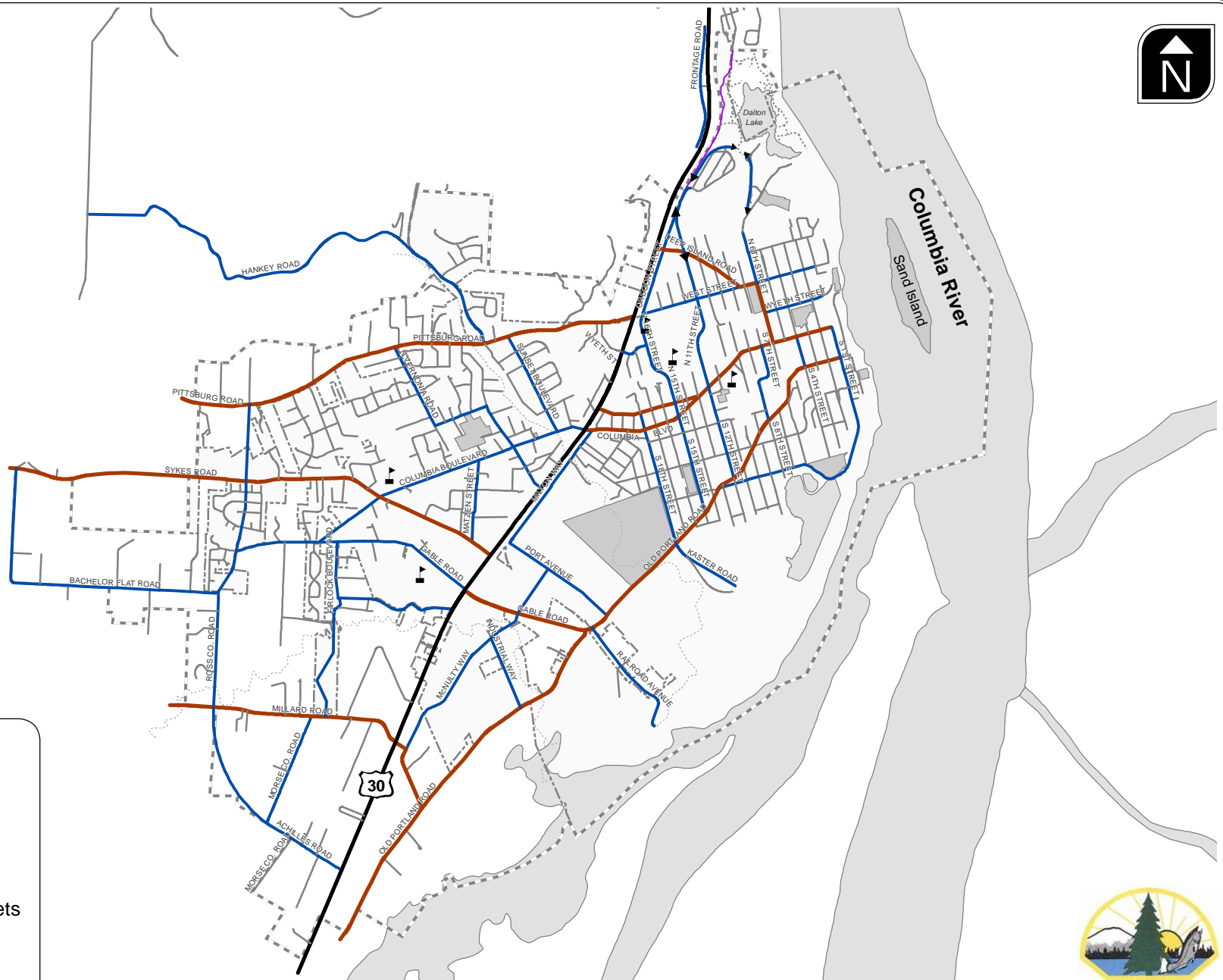
EXHIBIT B

RE: FILES
A-1-09 \$ A-2-09

50' WIDE ACCESS
B UTILITY EASEMENT
PER AN ST.
NO. 2009-2856

TO CHASE RD.



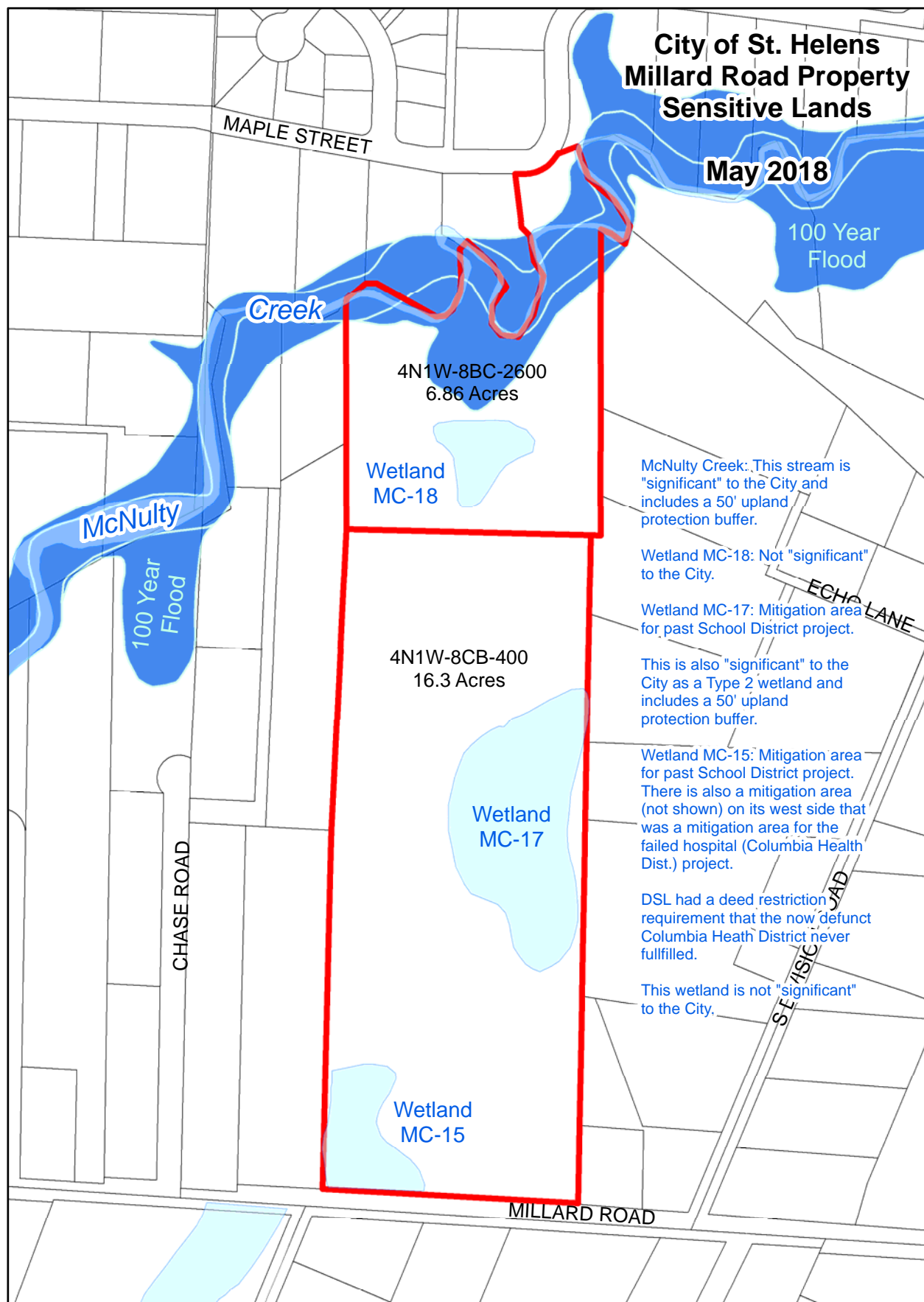


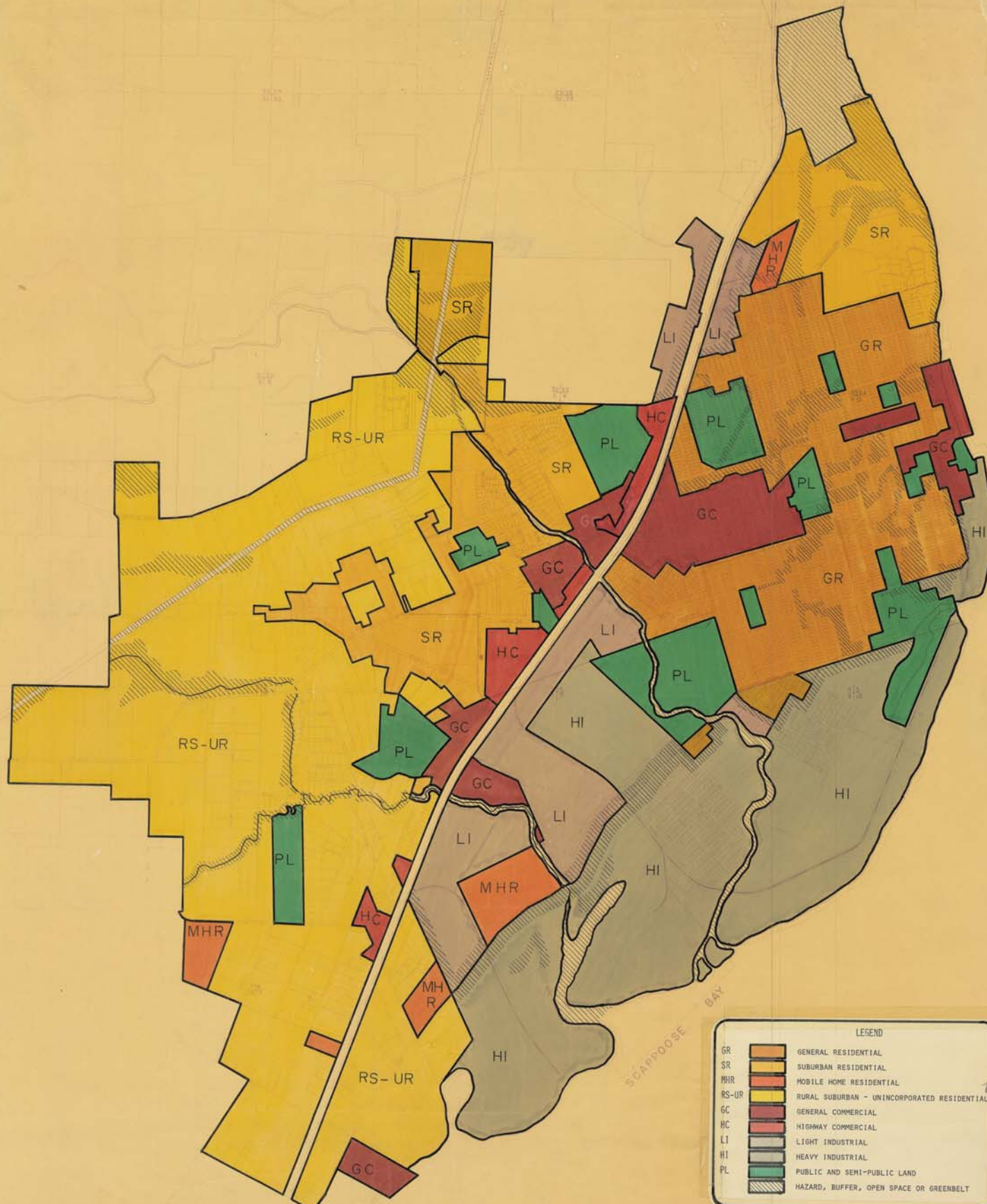
LEGEND

-  Schools
-  Major Arterials
-  Minor Arterials
-  Collector Streets
-  Local Streets
-  City Limits
-  City UGB



**FUNCTIONAL CLASSIFICATION PLAN
ST. HELENS, OREGON**



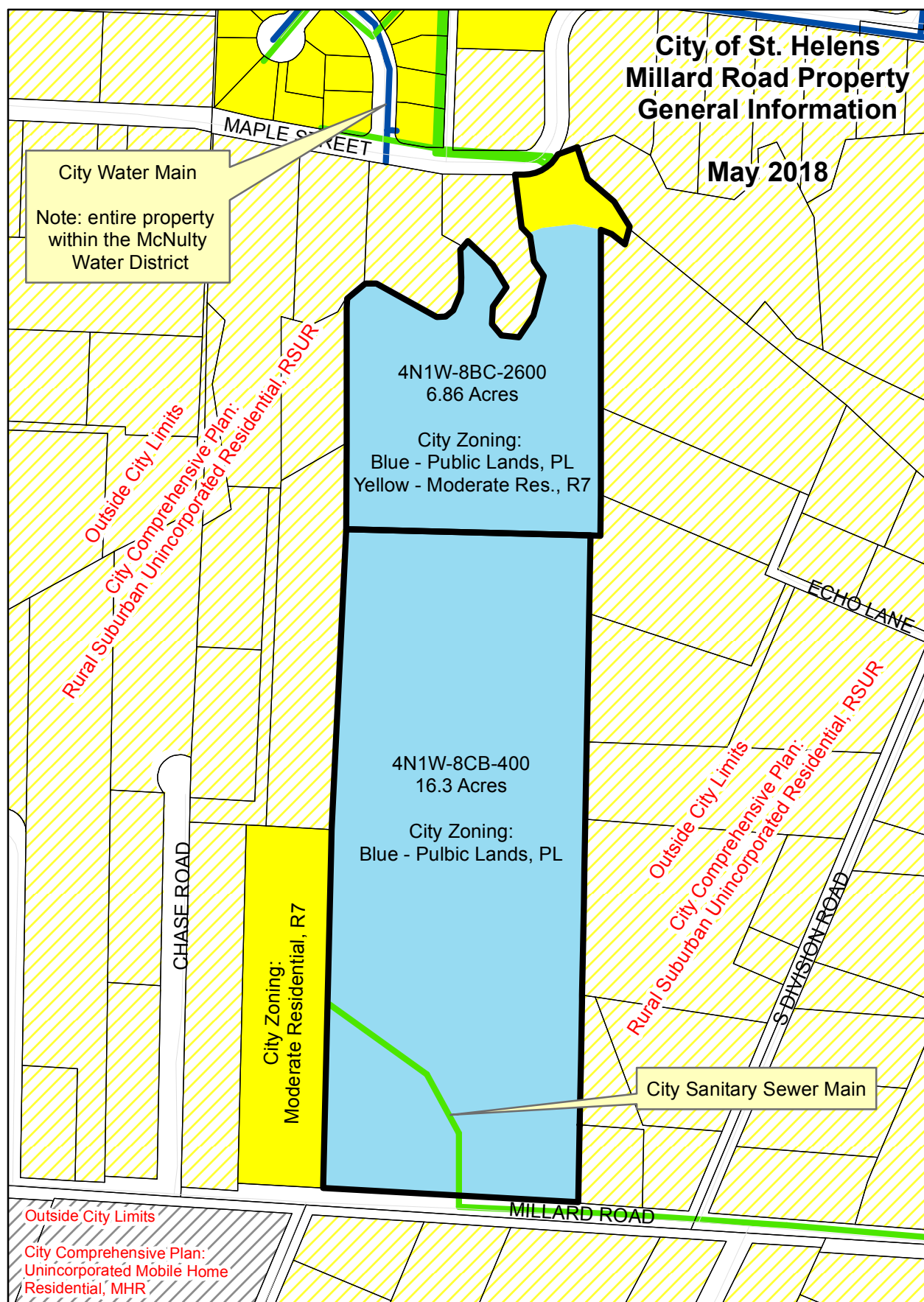


LEGEND	
GR	GENERAL RESIDENTIAL
SR	SUBURBAN RESIDENTIAL
MHR	MOBILE HOME RESIDENTIAL
RS-UR	RURAL SUBURBAN - UNINCORPORATED RESIDENTIAL
GC	GENERAL COMMERCIAL
HC	HIGHWAY COMMERCIAL
LI	LIGHT INDUSTRIAL
HI	HEAVY INDUSTRIAL
PL	PUBLIC AND SEMI-PUBLIC LAND
H	HAZARD, BUFFER, OPEN SPACE OR GREENBELT

COMPREHENSIVE PLAN MAP

1978

ST. HELENS & VICINITY



Zoning	Detached SFDs	Attached SFDs	Duplexes	Apartments (3+ units)	RV Parks	Neighborhood Store	Public Parks	Commercial Use	Industrial Use
R10	P	X	X	X	X	X	P	X	X
R7	P	X	C	X	X	C	P	X	X
R5	P	P	P	C	X	C	P	X	X
AR	P	P	P	P	X	C	P	X	X
MU	P	P	P	C	C	X	C	P	X
GC	X	X	X	C	C	X	C	P	X
LI	X	X	X	X	C	X	C	C	P

Comp Plan – Suburban Residential (incorporated), SR

- Same as surrounding area.
- Possible zoning districts:
 - Suburban Residential, **R10**
 - Moderate Residential, **R7**
- Pros/Cons: Greatest change of compatibility / tax base and employment lands

Comp Plan – General Residential, GR

- Possible zoning districts:
 - General Residential, **R5**
 - Apartment Residential, **AR**
- Pros/Cons: Density / compatibility

Comp Plan – General Commercial, GC

- Many zonings possible. Two proposed:
 - Mixed Use, MU
 - General Commercial, GC
- Pros/Cons: Tax base/employment lands and greatest flexibility / compatibility

Comp Plan – Light Industrial, LI

- Zoning: Light Industrial
- Pros Cons: Best tax base and employment lands / compatibility
- However, may want to restrict use (e.g., no mini storage)

CITY OF ST. HELENS PLANNING DEPARTMENT ACTIVITY REPORT



To: City Council
From: Jacob A. Graichen, AICP, City Planner

Date: 07.25.2018

This report does not indicate all *current planning* activities over the past report period. These are tasks, processing and administration of the Development Code which are a weekly if not daily responsibility. The Planning Commission agenda, available on the City's website, is a good indicator of *current planning* activities. The number of building permits issued is another good indicator as many require Development Code review prior to Building Official review.

PLANNING ADMINISTRATION

Applicants continue to anxiously wait to start physical work as staff busily tries to keep up. Also, applicants are submitting new development proposals with anxiety to start given the time of year.

The City has been selected by DLCD as a potential recipient of the 2018-2019 Housing Needs Planning Project. I helped the Associate Planner complete some information DLCD needs to continue on this project, which was due in the first half of July.

Cascade Tissue's Temporary Use Permit for a temporary fence for cardboard bale storage within the employee parking lot of the mill site expired as of the 1st of this month. The mill site is required to be cleaned up and restored. Reference TUP.6.17.

Conducted a pre-application meeting for a potential new use at the SE corner of St. Helens Street / N. 15th Street in the "Houlton hole."

Responded to a Columbia County referral notice for a project outside City limits but inside the City's UGM for a Non-Conforming Land Use/Structure Application for a residential parcel on N. Morse Road (County File NCU 18-05). **See attached.**

DEVELOPMENT CODE ENFORCEMENT

Associate Planner responded to some shed complaints.

PLANNING COMMISSION (& acting HISTORIC LANDMARKS COMMISSION)

July 10, 2018 meeting (outcome): The Commission reviewed the latest batch text amendments as part of a public hearing (ADUs, HOIs, and wetland/riparian buffers). We had some good testimony, which helped to shape their recommendation to the Council. The Commission also denied a Conditional Use Permit at 100 St. Helens Street to establish a marijuana retail business there. An appeal has been filed, so the Council will see this.

August 14, 2018 meeting (upcoming): The Commission has two public hearings, one for an access variance for Pittsburg Road and the other for a Conditional Use Permit for a 204 unit multidwelling complex along Matzen Street. The Commission will also review a street right-of-way vacation request from Rick Scholl, for recommendation to the Council. Staff will also inquire with the Commission about some size requirements for ADUs in advance of the Council public hearing on August 15th. Finally, time permitting, staff will discuss the City's Millard Road property zoning options for their input.

ST. HELENS RIVERFRONT CONNECTOR PLAN (TGM FILE NO. 2D-16)

The Project Management Team met this month per our project schedule. The focus is on design option criteria and next meeting dates. Next advisory committee and public meetings are anticipated to take place in September.

GEOGRAPHIC INFORMATION SYSTEMS (GIS)

Data updates this month. Also the annual software updates.

ASSOCIATE PLANNER—*In addition to routine tasks, the Associate Planner has been working on:*

See attached.

RECEIVED

JUL 26 2018

CITY OF ST. HELENS

July 24, 2018

REFERRAL AND ACKNOWLEDGMENT

To: City of St Helens

NOTICE IS HEREBY given that Aaron & Debbrah Prettyman have submitted an application for a Non-Conforming Use Expansion of the house that has a non-conforming side yard setback. The house will be expanded using the same building line, without encroaching further into the non-conforming side setback. The subject property is zoned Single Family Residential (R-10), and is identified as Tax Map No. 4118-A0-04200. The site is located at 55830 N. Morse Road in Warren. NCU 18-05

57830

THIS APPLICATION IS FOR: (X) Administrative Review; () Planning Commission, Hearing Date:

PLEASE RETURN BY: 08/02/2018

Planner: Hayden Richardson

The enclosed application is being referred to you for your information and comment. Your recommendation and suggestions will be used by the County Planning Department and/or the Columbia County Planning Commission in arriving at a decision. Your prompt reply will help us to process this application and will ensure the inclusion of your recommendations in the staff report. Please comment below.

- ☒ We have reviewed the enclosed application and have no objection to its approval as submitted.
- ☐ Please see attached letter or notes below for our comments.
- ☐ We are considering the proposal further, and will have comments to you by _____.
- ☐ Our board must meet to consider this; we will return their comments to you by _____.
- ☐ Please contact our office so we may discuss this.
- ☐ We recommend denial of the application, for the reasons below:

COMMENTS: OUR COMPREHENSIVE PLAN IDENTIFIES THIS PROPERTY AS RESIDENTIAL,
SO NO ISSUE WITH LAND USE. IT APPEARS RIGHT-OF-WAY DEDICATION TO MORSE
ROAD IS NOT COMPROMISED BY THIS PROPOSAL, SO NO OBJECTION.

Signed:  Printed Name: JACOB GRATCHEN

Title: CITY PLANNER Date: JULY 27, 2018

★ NOTE: ASSESSOR RECORDS IDENTIFY PROPERTY
AS 57830 N. MORSE RD.

167

PROPOSED USES:

Residential (addition) *Off*

WATER SUPPLY: _____ Private well ☒ Community system

Name of community water system: MCNULTY water

SEWAGE DISPOSAL SYSTEM: ☒ Subsurface Septic _____ Community

Is the property approved for a subsurface sewage disposal system?

☒ Yes _____ No _____ Not Applicable

CONTIGUOUS PROPERTY: List all other properties you own which have boundary lines touching this property:

Tax Account No.	Acres	Co-owners (if any)
<u>4201</u>	<u>.30</u>	<u>NONE</u>
<u>4000</u>	<u>.15</u>	<u>NONE</u>

CERTIFICATION:

I hereby certify that all of the above statements, and all other documents submitted, are accurate and true to the best of my knowledge and belief.

Date: 6-26-18 Signature: *[Signature]*

NOTE: Please attach an accurate and detailed plot plan, including property lines, existing and proposed structures, location of septic tank and drainfield, farm - forest areas, large natural features (cliffs, streams, etc.).

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Planning Department Use Only

Date Rec'd. 6/28/18

Hearing Date: _____

Receipt No.: 385641

Administrative: _____

Check #: 7258 Cash ☐ Credit ☐

Zoning: R-10

Staff Member: HR

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NON-CONFORMING USE FACT SHEET

1. Current use of property of buildings: Residential
(add on to dwelling using (continuing) the same south side
setback of 8 ft. vs. required 10 foot side setback) 9/18/18

2. If you are enlarging a non-conforming building, please supply the following:
 Land area occupied by the existing building: 1195 square feet.
 Land area to be occupied by addition(s): 368 square feet.
(Note: this may not be more than 40% of the land area of the existing building)

3. Describe the practical difficulties or public need your proposal will alleviate:
Larger Bedroom

4. Describe how your proposal will be no more than is necessary to overcome the practical difficulties or to meet the public need: IT will make it large enough
for my wife to walk around the Bed. And a
larger closet and bathroom

5. Describe how your proposal will not interfere with the use and enjoyment of other properties in the area, nor reduce their property values: This will NOT Block any views
By Increasing The Square Footage of This house will
Increase The Value which will also Increase The value in The area.

6. Describe how your proposal will not endanger the public health, safety and general welfare:

It is a simple room addition that will not endanger the public health or safety and general welfare of anybody.

Please Provide:

1. An accurate plot plan, showing property lines, existing and proposed structures, roads and driveways, the location of your septic tank and drainfield, large natural features (e.g. streams, cliffs), etc.
2. A vicinity map.
3. The application fee.
4. Adequate documentation (with pictures and/or utility bills) that the lawfully established non-conforming residence has the following:
 - a. Intact exterior walls and roof structure;
 - b. Interior plumbing, including kitchen sink, toilet and bathing facilities connected to a sanitary waste disposal system;
 - c. Interior wiring for interior lights: and
 - d. A heating system.

1506 NON-CONFORMING USES:

- .1 Continuation of Non-Conforming Uses or Structures: Except as provided in this section, a Non-Conforming Use or structure may be continued, even though it is not in conformity with the use, height, area, and all other regulations for the district in which it is located.
- .2 Normal Maintenance and Repairs: Normal maintenance of a Non-Conforming Use is permitted, including structural alterations to the bearing walls, foundation, columns, beams, or girders, provided that:
 - A. No change in the basic use of the building occurs that would make the use less conforming to the district.
- .3 A Non-Conforming Use may be changed to a use allowable under the underlying district. After a Non-Conforming Use changes to a conforming use, it shall not thereafter be changed back to a Non-Conforming Use.
- .4 Reinstatement of a Discontinued Use: A Non-Conforming Use may be resumed if the discontinuation is for a period less than 1 year. If the discontinuance is for a period greater than 1 year, the building or land shall thereafter be occupied and used only for a conforming use.
- .5 Rebuilding, Change, Moving, or Use Expansion: A Non-Conforming building or use may be rebuilt, moved, or changed in use to a use of the same restrictive classification or expanded, subject to the provisions outlined herein, if upon review in accordance with Section 1601 the Director finds all the following to exist:
 - A. That such modifications are necessary because of practical difficulties or public need;
 - B. That such modifications are not greater than are necessary to overcome the practical difficulties or meet the public need;
 - C. That such modifications will not significantly interfere with the use and enjoyment of other land in the vicinity, nor detract from the property value thereof; and
 - D. That such modifications will not endanger the public health, safety, and general welfare.
- .6 Rebuilding: When a building or structure is damaged by fire or any other cause beyond the control of the owner, it may be rebuilt.
- .7 Change of Use: A Non-Conforming Use may be changed to a use of the same or a more restrictive classification but not to a use of a less restrictive classification, pursuant to subsection 1506.5.
- .8 Moving: A Non-Conforming Use may be moved to another location on its lot or parcel provided the height and yard requirements of the district in which it is located are met, pursuant to Section 1506.5.

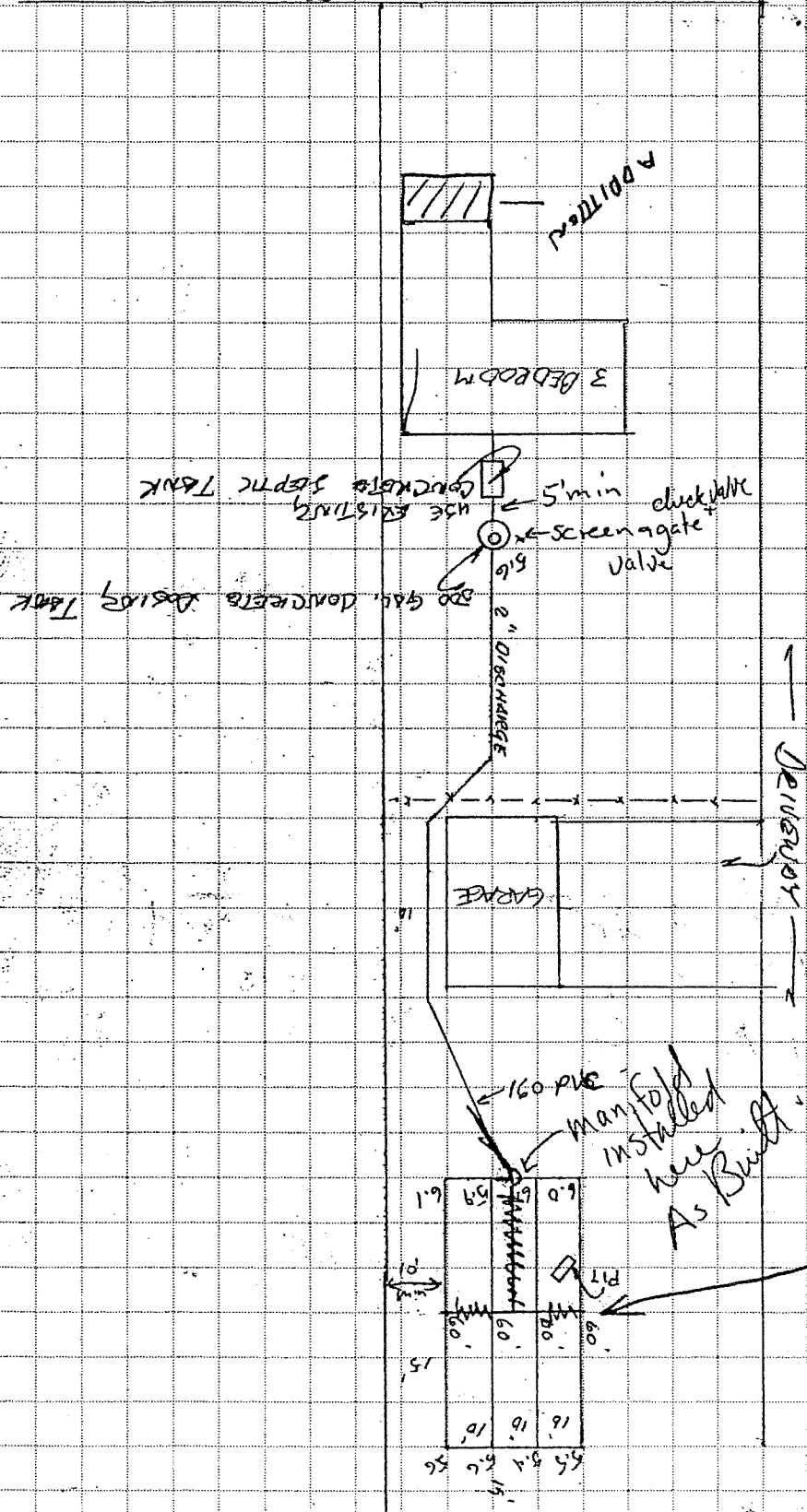
.9

Expansion: A Non-Conforming Use may be expanded one time only. This expansion shall not exceed 40% of the square footage on the ground level of the existing structure, pursuant to Section 1506.5.

KIRSCH CONST.
Route 2, Box 243B
SCAPPOOSE, OREGON 97056
Phone 543-2160

JOB R1984 OF 173
SHEET NO. OF
CALCULATED BY [Signature] DATE
CHECKED BY [Signature] DATE 8-23-85
SCALE 1" = 40'

N. MORSE ROAD



300' OF LOW PRESSURE
36" CENTER PIPE w/ 1/8" HOLES
(100 holes)
700 GAL. DOSING TANK
(CONCRETE)

on 3' centers
40 gpm at ~15-20 TDH (est.)

Uncover + open septic tank
access so that tank and
outlet baffles can be
inspected.

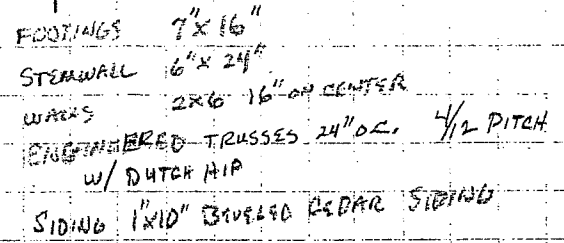
Chris Cox
R.S. 8/26/85

Manifold to be in the
middle to more
equally distribute the flow

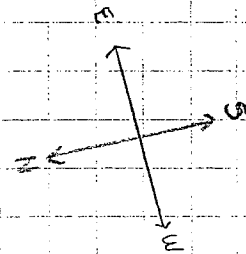
05-2755

175

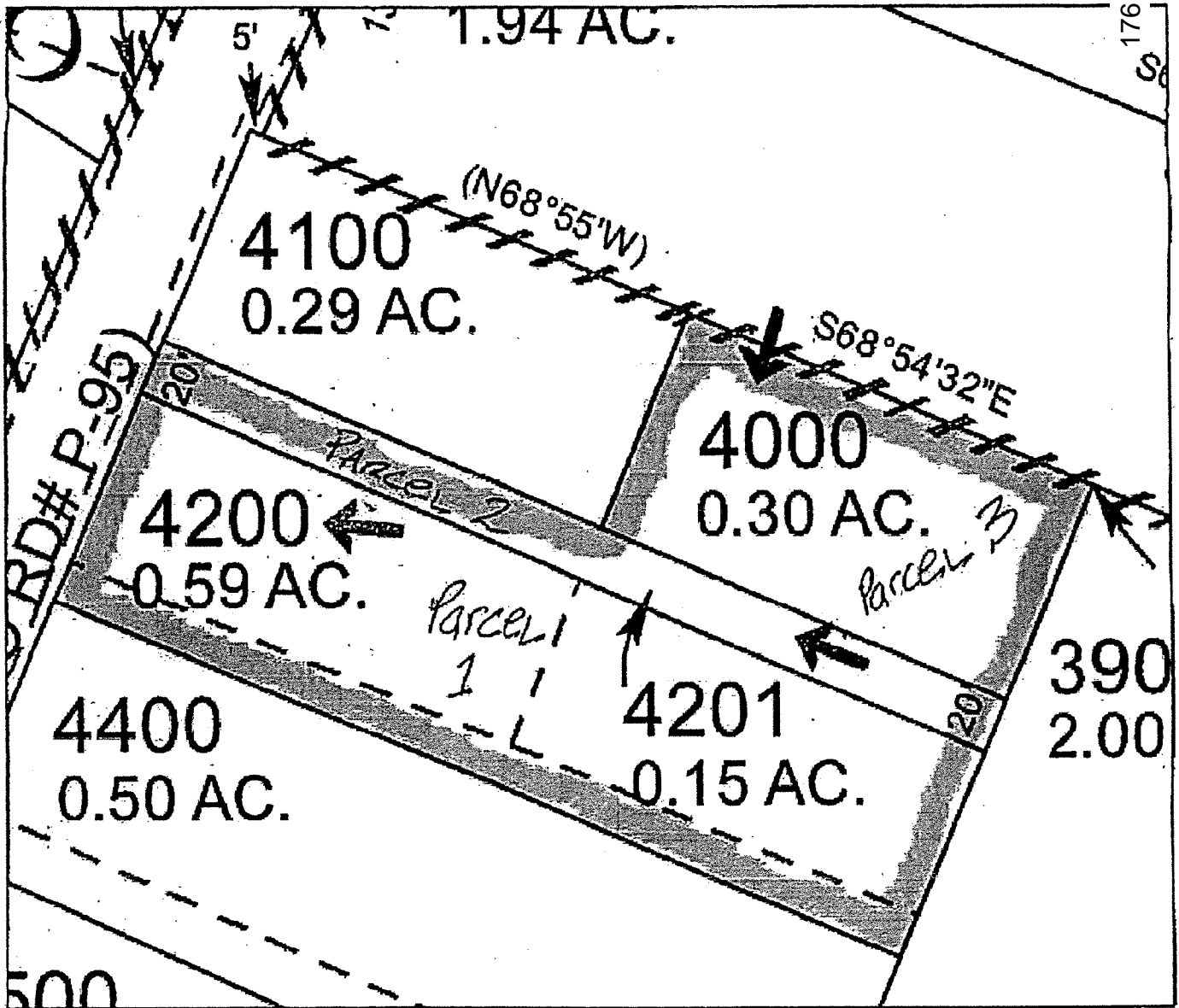
EXISTING
HOUSE



FLAT LOT



SCALE $\frac{1}{8}" = 1'$



7 6574

EVENS D.L.C. #56
ANGEL 1/4 COR.
L.C. #57

199
199B
777

R.05-65

57830 N Morse Rd Map



Geoinfo

Columbia County Web Maps

Columbia County



Disclaimer: This map was produced using Columbia County GIS data. The GIS data is maintained by the County to support its governmental activities and is subject to change without notice. This map should not be used for survey or engineering purposes. Columbia County assumes no responsibility with regard to the selection, performance or use of information on this map.

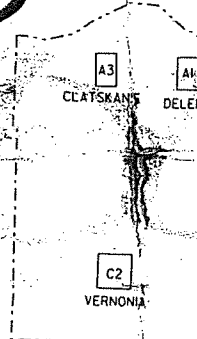


- DOMINANT MOUNTAIN, BUTTE, OR PEAK
- MARSH
- INTERMITTENT STREAM
- STREAM WITH FALLS
- SPRING-WELL
- RIVER WITH RAPIDS
- LAKE, POND, OR RESERVOIR
- LAKE, POND, OR RESERVOIR WITH DAM
- INTERMITTENT LAKE OR POND
- IRRIGATION OR DRAINAGE DITCH

179

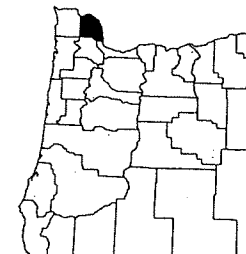
NCU 18-05
Vicinity
Map

ARRANGEMENT OF SHEETS FOR



Population of Columbia Cou

KEY TO COL



ROAD IND
COLUMBIA
OPEC

Jacob Graichen

From: Jennifer Dimsho
Sent: Tuesday, July 24, 2018 12:09 PM
To: Jacob Graichen
Subject: July Planning Department Report

Here are my additions to the July Planning Department Report.

GRANTS

1. **Travel Oregon - Medium Grants Program (100k) – Implementation Phase One of the Wayfinding Master Plan for community-wide signage– Received notice of award! \$75k award for a \$145k project. To be completed by July 2020.**
2. OPRD – Recreational Trails Program – Grey Cliffs Park Restrooms - Worked on delivery details and site preparation with Public Works staff. Worked through land use (Minor Site Design Review) building, electrical, and plumbing permitting. Added engineered foundation drawings to contract for restroom. Scheduled delivery and worked with Roger to coordinate City work, electrician, and plumber.
3. OPRD – Veterans Memorial Grant – Construction work window to be Sept 4 – Oct 31. Worked through land use permitting (Minor Site Design Review). Publicized bid request for concrete slab work to close on August 8. Received quote for covered shelter/stage pre-fab structure.
4. TGM – Riverfront Connector Plan – Project Management Meeting to discuss planning for upcoming PC Work Session, COOLPPL Meeting, and Public Meeting to be held in September. Specific times/info TBD.
5. Community Development Block Grant (CDBG) Program – Submitted grant application for 1.5 million to renovate the new location for the Columbia Pacific Food Bank at 1421 Columbia Blvd. Application included narrative, budget, environmental review, and about 20 other attachments.
6. US DOT - BUILD Application - Submitted a 15 million request for public access (boardwalk/trail) and street extensions for phase one of the Waterfront Redevelopment Project. Application included 30-page narratives, graphics, preliminary design, over 20 letters of support. Due July 19. Announcement mid-December 2018.
7. Researched Ford Family Foundation grant for renovations to the old FARA building.
8. EPA – CWA Grant Program – Prepared Quarterly Report & reimbursement request through federal ASAP system (Due July 31).
9. Safe Routes to School Research for grant funding for bike/pedestrian infrastructure near schools.

MISC

11. Discussed Boise White Paper site strategy scope of work with EcoNW and staff. Integrated Planning Grant through Business Oregon may fund planning work.
12. Submitted US Census LUCA Response for the 2020 census address update
13. Completed Annual 2018 PSU Housing Unit & Population Questionnaire
14. Registered for Annual OAPA conference in Bend in October

Jenny Dimsho

Associate Planner
City of St. Helens
(503) 366-8207
jdimsho@ci.st-helens.or.us