



**PLANNING COMMISSION**  
**Tuesday, December 11, 2018**  
265 Strand Street, St. Helens, OR 97051  
[www.ci.st-helens.or.us](http://www.ci.st-helens.or.us)

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**Welcome!**

1. **7:00 p.m. Call to Order and Flag Salute**
2. **Consent Agenda: Approval of Minutes**
  - 2.A. Minutes Dated October 9, 2018  
[Draft PC Minutes Dated 100918](#)
3. **Topics from the Floor: Limited to 5 minutes per topic (not on public hearing agenda)**
4. **Public Hearings (times reflect earliest start time)**
  - 4.A. 7:00 p.m. - Conditional Use Permit at N. 14th Street & N. 15th Street between Columbia Blvd. & St. Helens Street - Frank Robison Veterinary Service  
[CUP.4.18 Staff Report](#)
5. **Discussion Items**
  - 5.A. 50 Plaza Square Riverfront District Architectural Guidelines Recommendation  
[50 Plaza Square Memo](#)
  - 5.B. Commission Term Expirations Update
6. **Acceptance Agenda: Planning Administrator Site Design Review -**
  - a. *Site Design Review (Minor) at 454 Milton Way - Modifications to an existing cell tower communications facility*
  - b. *Site Design Review (Major) at Old Portland Road - New metal fabrication shop & modular office*
  - c. *Site Design Review (Minor) at Port Ave. - Expansion of outdoor storage area for existing equipment sales/rental business*

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**7. Planning Director Decisions -**

- a. Sign Permit at 1945 Columbia Blvd. - New projecting sign on an existing commercial suite*
- b. Sign Permits (2) at 465 S. Columbia River Highway - Replace 2 wall signs*
- c. Lot Line Adjustment at Elk Meadows & Valley View Drive - 3J Consulting, Inc.*
- d. Partition at 1070 Deer Island Road - 2 parcel partition*
- e. Sign Permit (Banner) at 2100 Block of Columbia Blvd. - Toy & Joy Auction*
- f. Partition at N. 9th Street - 2 parcel partition*
- g. Temporary Use Permit at Lot 57 of Emerald Meadows - Sales trailer for the sale of homes*
- h. Temporary Use Permit at Lot 55 of Emerald Meadows - Model home/sales office*
- i. Lot Line Adjustment at 2034 St. Helens Street - Arthur Pochert*
- j. Temporary Use Permit at 175 Bowling Alley - Placement of 6 food service trailers on property developed with existing walk-up window and a drive-thru to be converted to walk-up*
- k. Accessory Structure Permit at 34840 Pittsburg Road - New garage using an existing access*
- l. Partition at 1160 & 1170 Deer Island Road - 2-parcel partition*
- m. Sign Permit (Banner) at 2100 Block of Columbia Blvd. - St. Helens Police Department Donut Day*
- n. Temporary Use Permit at SE corner of Matzen & Brayden Street - Construction-related storage*
- o. Extension of Time (CUP.6.16) at 2360 Gable Road - St. Helens Church of the Nazarene expansion*
- p. Sensitive Lands Permit at 55 DuBois Lane - Building addition near floodplain & wetlands*
- q. Sign Permit at 1810 Old Portland Road - New wall sign for Recreation Center*

**8. Planning Department Activity Report**

**8.A. October Planning Department Report**

[2018 OCT Planning Dept Rept](#)

**8.B. November Planning Department Report**

[2018 NOV Planning Dept Rept](#)

**9. For Your Information Items**

**10. Next Regular Meeting - January 8, 2019**

**11. Adjournment**

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# City of St. Helens Planning Commission

Draft Minutes

October 9, 2018

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**Members Present:** Commissioner Lawrence  
Commissioner Semling  
Commissioner Stenberg  
Commissioner Webster  
Vice Chair Cary  
Chair Hubbard

**Members Absent:** Commission Cohen

**Staff Present:** City Planner Graichen  
Associate Planner Dimsho

**Others:** Kaily Allen  
Becca Williams  
Hal & Kyra Ritz  
Joe Kessi

- 1) **7:00 p.m. Call to Order and Flag Salute**
- 2) **Consent Agenda: Approval of Minutes**  
2.A Minutes Dated September 11, 2018

**Motion:** Upon Commissioner Semling's motion and Commissioner Webster's second, the Planning Commission unanimously approved Draft Minutes dated September 11, 2018. [AYES: Commissioner Lawrence, Commissioner Semling, Commissioner Stenberg, Commissioner Webster, Vice Chair Cary; Nays: None]

- 3) **Topics from the Floor: Limited to 5 minutes per topic (not on public hearing agenda)**

There were no topics from the floor.

- 4) **Public Hearings (times reflect earliest start time)**  
4.A 7:00 p.m. - Variances (3) at 1070 Deer Island Road - Robert Johnson Land Surveying, Inc.

Chair Hubbard opened the Public Hearing at 7:01 p.m. There were no ex-parte contacts, conflicts of interests, or bias in this matter. City Planner Graichen entered the staff report dated October 2, 2018 into the record.

Graichen described the proposal and recommended conditions of approval, as presented in the staff report. Graichen said the applicant is requesting three variances in order to divide the parcel into two lots. One variance is for an exception to the 85' lot depth requirement, one is for



reduced setbacks, and one is for an exception to the minimum lot size of the flag lot. Graichen said the partition needs all three variances to work, so approval is bundled into one set of conditions. Graichen discussed the history of the lot divisions on the site. It used to be a larger lot that was divided in 1999. In 2000, it was divided even further. The partition application from 2000 said the homes were going to be converted into a duplex for approval of the partition. That is the only way the parcel would have been legal. It appears the duplex conversion never occurred, but the partition was approved. Graichen went through the variance approval standards and recommended conditions, as described in the staff report. He asked the Commission to consider whether or not a shared access easement should be required between the two properties because of the limited yard between the dwellings. To limit the number of access approaches onto Deer Island Road (a minor arterial), the applicant should be required to utilize the access easement on the abutting property. It appears they are currently accessing the property directly off of Deer Island Road because there is no curb.

### **In Favor**

**Kessi, Joe. Property Owner.** Kessi would like to divide this irregular-shaped lot, so that each single-family dwelling can be sold separately. The dwellings have access on two separate streets. The entrances face opposite directions. The dwellings do not share parking. Kessi said he is not in favor of a shared access easement between the two properties, as suggested. Kessi said this property cannot be easily financed because it is non-conforming. Vice Chair Cary clarified the location of stairs on the southern house. Webster asked if the fence was still there. Kessi said yes. Kessi said they would remove the fence to have adequate room to park on the property by using the access easement on the abutting property. There was discussion about how people park at the house currently. Graichen described where the applicant would have to pave to facilitate use of the access easement on the abutting property and prevent the head-in parking from Deer Island Road. Commissioner Stenberg asked how big the homes are. Kessi said they are approximately 760 square feet and 800 square feet. They are both two bedroom/one bath and have been extensively remodeled. Kessi has no problem with fixing the landing on the stairs and removing the shed as proposed.

### **In Opposition**

No one spoke in opposition.

### **End of Oral Testimony**

There were no requests to continue the hearing or leave the record open.

### **Close of Public Hearing & Record**

The applicant waived the opportunity to submit final written argument after the close of the record.

### **Deliberations**

Chair Hubbard thinks the variances make the property function. He likes that there will be two affordable, smaller homes. Commissioner Webster agreed.



**Motion:** Upon Vice Chair Cary's motion and Commissioner Webster's second, the Planning Commission unanimously approved the three Variance Permits at 1070 Deer Island Road as recommended by staff with two changes: 1) no shared access easement located between the two dwellings, and 2) the proposed property line should remain in that location. [AYES: Commissioner Lawrence, Commissioner Semling, Commissioner Stenberg, Commissioner Webster, Vice Chair Cary; Nays: None]

**Motion:** Upon Commissioner Semling's motion and Commissioner Stenberg's second, the Planning Commission unanimously approved the Chair to sign the Findings & Conclusions once prepared. [AYES: Commissioner Lawrence, Commissioner Semling, Commissioner Stenberg, Commissioner Webster, Vice Chair Cary; Nays: None]

**5) Acceptance Agenda: Planning Administrator Site Design Review**

**Motion:** Upon Commissioner Webster's motion and Commissioner Stenberg's second, the Planning Commission unanimously approved the Acceptance Agenda: Planning Administrator Site Design Review. [AYES: Commissioner Lawrence, Commissioner Semling, Commissioner Stenberg, Commissioner Webster, Vice Chair Cary; Nays: None]

**6) Discussion Items**

**6.A Term Expirations**

Graichen said Commissioner Webster and Commissioner Semling have exceeded two terms. Commissioner Webster and Commissioner Semling would both like to pursue additional terms. Commissioner Semling said if someone else interviews for her position, she will step down. The Commission has no problem with this. Graichen asked who would like to be on the interview committee. Commissioner Stenberg volunteered. The Commission would like to ask Commissioner Cohen if he would like to be on interview committee too.

**7) Planning Director Decisions**

Graichen noted the Temporary Use Permit for the new food truck pod. This is our first ever mobile food service trailer pod. There was also a discussion about the Sensitive Lands Permit at US 30/Gable Road.

**8) Planning Department Activity Report**

**8.A October Planning Department Report**

There were no comments.

**9) For Your Information Items**

Graichen said the state is providing funding for a Housing Needs Analysis (HNA), which is something the City has needed for years. He is hoping to use the Planning Commission as the Advisory Committee for this process. The HNA will be developed by June 30, 2019. Advisory Committee meetings will hopefully occur during the winter. The Commission was okay with being the HNA Advisory Committee.

**10) Next Regular Meeting - November 13, 2018**



11) **Adjournment**

There being no further business before the Planning Commission, the meeting was adjourned at 7:56 p.m.

Respectfully submitted,

Jennifer Dimsho  
Associate Planner



**CITY OF ST. HELENS PLANNING DEPARTMENT  
STAFF REPORT  
Conditional Use Permit CUP.4.18**

**DATE:** December 4, 2018  
**TO:** Planning Commission  
**FROM:** Jacob A. Graichen, AICP, City Planner

**APPLICANT:** Frank Robinson Veterinary Service, LLC  
**OWNER:** 4N1W 4AC 5900 - BEICKEL CHARLES FRANCES & KEITH ERNEST  
 4N1W 4AC 5800 - NELSON GREGORY M & NELSON MONTY LEE  
 4N1W 4AC 4800 - STEINKE RONALD I & BETTY ANN TRUST

**ZONING:** Houlton Business District, HBD  
**LOCATION:** Block surrounded by the the St. Helens Street, N. 15<sup>th</sup> Street, N. 14<sup>th</sup> Street, and Columbia Boulevard rights-of-way  
**PROPOSAL:** Construct new building and related site improvements for veterinarian services for small animals.

**The 120-day rule (ORS 227.178) for final action for this land use decision is March 2, 2018.**

**SITE INFORMATION / BACKGROUND**

The site (block) is bounded by four improved streets: Columbia Boulevard, St. Helens Street, N. 15<sup>th</sup> Street and N. 14<sup>th</sup> Street. The site is below grade from the surrounding streets and is a local low point.

Site was developed in the past. A survey (attached) from 1959 (updated 1965) shows two buildings on the block. We are not sure when they were razed however, but it has been in its current vacant state for decades. For example, a 1983 aerial photo at City Hall shows no development there and there is no known indication of any development since.

**PUBLIC HEARING & NOTICE**

Hearing dates are as follows: December 11, 2018 before the Planning Commission

Notice of this proposal was sent to surrounding property owners within 300 feet of the subject property(ies) on November 19, 2018 via first class mail. Notice was sent to agencies by mail or e-mail on the same date. Notice was published in the The Chronicle on November 28, 2018.

**AGENCY REFERRALS & COMMENTS**

**City Engineering:** There are several concerns regarding public utilities at this site, the primary (and obvious) one being storm water.



**STORM** – For decades this site has collected storm runoff from multiple directions surrounding the property. Water collects and eventually exits through a culvert under N. 15<sup>th</sup> Street and flows westerly. The condition of the culvert is unknown. The inlet and outlet of this will have to be located and features such as size, material, and structural condition will have to be assessed to ensure that it is in good enough condition to function as intended on the proposed plans submitted by the applicant. On site detention may be required. The preliminary utility plans submitted with the application looks to address the storm drainage all around and on the site in an acceptable way but more details will be required, including a drainage report, with the formal public improvement plans when/if the project is approved.

**SANITARY SEWER** – Public sanitary sewer is available to the property. However, because the existing sewer line that formerly served the site was not in use for decades and was infiltrating storm water into the public sanitary system, the connection to the manhole (located behind the sidewalk on the north side of St. Helens Street) was plugged. This connection would have to be reinstated, or a new sewer main will have to be constructed to serve the lots on the site. If the existing main is to be reinstated, it will have to be inspected and possibly rehabilitated/repaired/replaced to bring it to an acceptable usable standard since it was known to have previously leaked ground and rain water. If the public main is either reinstated and/or a new main constructed that extends on to the private property, a 15-ft wide easement centered on the pipe shall be required, extending 10 feet beyond the end of the main, including the cleanout or manhole. If the existing pipe is proposed to be used and the manhole connection reinstated, it may be necessary to replace the existing manhole.

**WATER** – Public water is available to the site from multiple sides. No new improvements should be required.

The site has historically been used for discharge of storm water. There is also a great deal of existing vegetation. These two conditions combined would indicate that the soil conditions are not favorable to compaction and good foundation material. It is highly advisable that a Geotechnical Engineer be consulted to determine the nature of the existing soil, the depth of the unsuitable material to be removed, and make recommendations and oversee any proposed filling and compaction activities.

#### **APPLICABLE CRITERIA, ANALYSIS & FINDINGS**

**Deemed Complete Info:** This application was originally received and deemed complete on November 2, 2018.

However, note that the applicant provided revised plans to the City, which were received on November 30, 2018. The narrative is still original; there will be some discrepancies between the applicant’s narrative and the plans received on November 30, 2018.

\* \* \*

**Zoning Compliance:** The site is zoned Houlton Business District, HBD. “Animal sales and services: veterinary (small animals)” is identified as a conditional use in this zoning district.



“Animal sales and services: veterinary (small animals)” is defined as:

“Animal sales and services” means establishments or places of business primarily engaged in animal-related sales and services.

“Animal sales and services, veterinary (small animals)” means veterinary services for small animals. Typical uses include pet clinics, dog and cat hospitals, or animal hospitals for small animals.

Maximum building height is 45 feet. Just under 19’ is proposed.

90% maximum lot coverage of all impervious surfaces is 90%. And 10” minimum open space. Proposal maintains this; will need to be looked at closely when further development is proposed beyond this proposal.

The maximum front yard (setback) is zero. The building is proposed along the St. Helens Street and N. 15<sup>th</sup> Street property lines.

\* \* \*

**Sensitive Lands:** There are no known sensitive lands as identified in the Development Code.

\* \* \*

**Landscaping/buffering/screening:** **Street trees will be required along the portions of street that abut the area to be developed.** The proposal abuts portions of N. 15<sup>th</sup> Street and St. Helens Street.

There is overhead utility lines along the portion of N. 15<sup>th</sup> Street, thus, street trees need to be “small” per this chapter. This requires a 20’ spacing. There is not overhead utility lines along St. Helens Street that would restrict tree size to “small” trees per the code; tree spacing will be based on tree size per 17.72.035(2)(a)-(c).

Tree location shall also comply with requirements per 17.72.035(2)(d)-(l).

All trees noted on landscape plan are “small” trees. There is an inadequate amount of these trees shown. Also, note that the trees are shown behind the existing sidewalk, assuming frontage improvements are not required to be reconstructed.

Given the amount of right-of-way available behind the existing sidewalk, trees need to be located within the public right-of-way to be considered street trees for the purpose of meeting this requirement.

**This chapter requires screening. This applies in this case as follows:**

Because the parking lot will be greater than three spaces, it is required to be screened. For screening in this case, the City usually requires landscaping along the perimeter that includes a



balance of low lying and vertical shrubbery and trees. Landscape plan shows some of this, but doesn't include all sides.

Service facilities and equipment (e.g., HVAC and other mechanical unit) visible from a public street, customer or residential parking area, any public facility or residential area are required to be screened whether they are ground, wall or roof mounted. In addition, rooftop facilities and equipment are required to be screened from street and adjacent properties.

The applicant notes that no rooftop facilities are proposed and that such will be installed inside the building or on the west or north sides of the building. This is a concern as the north and west sides are on the property line and such private facilities are not typically allowed within the right-of-way. Screening required in all cases.

Refuse container or collection area are required to be screened (e.g., trash enclosure). A trash enclosure is shown on the plans.

**Revegetation.** Where there will be bare earth and no formal landscaping vegetating with lawn or turf grass is required. The applicant acknowledges this.

**Interior parking lot landscaping.** When off-street parking lots have more than 20 spaces, landscape islands are required with trees. This doesn't apply in this case.

\* \* \*

**Visual Clearance:** Chapter 17.76 SHMC requires proper sight distances at intersections to reduce traffic hazard potential. The required area to maintain clear vision is greater for arterial streets.

This chapter is exempt in the HBD zoning district.

\* \* \*

**Off-Street Parking/Loading:** Off street parking is required because this is a new use on undeveloped property.

**Dimension and type.** There is a mix of standard spaces (min. size 9' x 18') and compact spaces (min. size 8' x 15'). Up to 40% of requires spaces may be compact. 40% of 12 (size of proposed lot is 4.8. Plan shows 5 compact spaces.

**Location.** Parking spaces are required to be within 200' of the building/use served. Plans show this.

**Accessible (disabled person) spaces.** Required to comply with State and Federal Standards. 12 off-street parking spaces are proposed. This requires at least 1 accessible space, which is required to be van-accessible.



Also, accessible parking spaces are required to be located on the shortest route to an accessible pedestrian entrance. Though this is a building code issue, it is relevant to site design.

An accessible space is shown in a reasonable location.

**Bicycle parking.** 1 lockable space is required at a rate of 10% of vehicle spaces. Bicycle spaces are required to be within 50' of primary entrances, under cover when possible, and not located in parking aisles, landscape areas, or pedestrian ways. 2 bicycle spaces are required; a rack is shown for this at a reasonable location.

**Number of off-street parking spaces required.** The minimum off-street parking for the proposed use is one space per 300 square feet of gross floor area. The main level is 4,554 square feet per the plans. In addition, the bottom floor will be predominately storage with 162 square feet, per plans, with a different Building Code occupancy type (e.g., office). Thus, the total area for parking calculation is:

$$4,716 / 300 = 15.72 \text{ or } 16 \text{ off-street parking spaces required.}$$

A parking lot with 12 spaces is proposed. The HBD zone allows abutting on-street parking to count towards the off-street parking requirement. The applicant notes 8 on-street parking along St. Helens Street. The spaces are not marked. Normal parallel spaces are required to be at least 22' long; spaces are drawn at that length. In any case, there are at least three abutting on-street parking spaces for the purposes of this Conditional Use Permit.

**Aisle width.** 24' required for two-way traffic circulation. Plan shows this.

**Markings.** All interior drives and access aisles are required to be marked and signed to indicate direction flow. Plan shows markings.

**Surface area.** All areas used for parking, storage or maneuvering of vehicles (including things towed by vehicles) shall be paved. Plans show this.

**Wheel stops.** Wheel stops are required along the boundaries of a parking lot, adjacent to interior landscape area, and along pedestrian ways. Plans show this.

**Drainage.** Drainage plans will be required to prevent ponding, prevent water flow across pedestrian ways and to address pollutants from vehicles (e.g., oil/water separation).

**Lighting.** Required to be directed to avoid glare from surrounding residences and roads/streets.

\* \* \*

**Access/egress/circulation: Joint access and reciprocal access easements.** Joint access is important in this case, given the streets that surround the site. But in this case the lots will need to be combined for development purposes (since the project encompasses all to some extent). The access considerations are explained more below.



**Public street access.** All vehicular access and egress per Chapter 17.84 SHMC is required to directly connect to a public or private street approved by the City for public use. Moreover, vehicular access is required to be within 50' of principle entrances.

The site abuts the following streets:

| Street/Road Name           | Public or Private | Street Class (TSP) | Jurisdiction       | Improved?   |
|----------------------------|-------------------|--------------------|--------------------|---|
| St. Helens Street          | Public            | Minor Arterial     | City of St. Helens | Yes, with curb-tight sidewalk                           |
| N. 15 <sup>th</sup> Street | Public            | Collector          | City of St. Helens | Yes, with curb-tight sidewalk                           |
| Columbia Boulevard         | Public            | Minor Arterial     | City of St. Helens | Yes, with curb-tight sidewalk                           |
| N. 14 <sup>th</sup> Street | Public            | Local              | City of St. Helens | Yes, with curb-tight sidewalk; also has gravel shoulder |

The site utilizes N. 15<sup>th</sup> Street for access and brings vehicle access within the statutory distance of the primary entrance.

**Vehicular access spacing, amount, etc.**

In regards to the Minor Arterial streets, the code notes that nonresidential projects proposed on arterials include a frontage or service and that such requirement may be satisfied by interconnected lots. For this property this means no access allowed from St. Helens Street or Columbia Boulevard.

There is an existing approach along St. Helens Street that will need to be replaced with standards sidewalk and curb.

For N. 15<sup>th</sup> Street, the collector, the required distance between a driveway and street is 100 feet. Same distance is required between driveways. The applicant proposes one access midblock along N. 15<sup>th</sup> Street, which is acceptable.

In addition the number of access points for nonresidential development is required to be minimized. One access point as proposed is reasonable in this regard.

**Pedestrian access (interior walkways).** Walkways shall extend from the ground floor entrances or from the ground floor landing of stairs, ramps, or elevators of all commercial, institutional, and industrial uses, to the streets which provide the required access and egress. Walkways shall provide convenient connections between buildings in multibuilding commercial, institutional, and industrial complexes. Walkways also shall provide access to existing and planned transit stops adjacent to the development site. Unless impractical, walkways should be constructed between a new development and neighboring developments.



The plans show this. However, there is a door shown on the east side of the building to “nowhere” on the plans. Walkway required here too.

Where a site for proposed commercial, institutional, or multifamily development is located within at least one-quarter mile of an existing or planned transit stop, the proposed pedestrian circulation system must include a safe and direct pedestrian walkway from building entrances to the transit stop or to a public right-of-way that provides access to the transit stop.

Per the 2009 Columbia County Community-Wide Transit Plan, there is no transit stop within a quarter mile.

Wherever required walkways cross vehicle access driveways or parking lots, such crossings shall be designed and located for pedestrian safety. Required walkways shall be physically separated from motor vehicle traffic and parking by either a minimum six-inch vertical separation (curbed) or a minimum three-foot horizontal separation, except that pedestrian crossings of traffic aisles are permitted for distances no greater than 36 feet if appropriate landscaping, pavement markings, or contrasting pavement materials are used. Walkways shall be a minimum of four feet in width, exclusive of vehicle overhangs and obstructions such as mailboxes, benches, bicycle racks, and sign posts, and shall be in compliance with ADA standards.

There is a cross walk shown along the east side of the parking area. Though not required for this proposal, this reserves an area for future connectivity if the property is developed further in the future.

Required walkways shall be paved with hard-surfaced materials such as concrete, asphalt, stone, brick, etc. Walkways shall be required to be lighted and/or signed as needed for safety purposes. Soft-surfaced public use pathways may be provided only if such pathways are provided in addition to required pathways.

The width and material appears to meet this. Lighting plan will be required; the entire pathway and all exterior doors shall be illuminated.

**Access requirements based on type and intensity of use.** One access point is sufficient.

\* \* \*

**Signs:** No signs are proposed at this time. New signs will require permits per Chapter 17.88 SHMC.

\* \* \*

**Solid Waste/Recyclables:** Chapter 17.92 SHMC includes provisions for functional and adequate space for on-site storage and efficient collection of mixed solid waste and recyclables subject to pick up and removal by haulers.

The applicant addresses this adequately.



\* \* \*

### **Site Development Review:**

Buildings are required to be located to preserve existing trees and such. Per Chapter 17.96 SHMC trees with a 6" or greater dbh require preservation or replacement. This property is unusual in that it was previously developed but has been vacant for decades allowing time for trees to grow. Most trees will be removed, which makes sense since this is a depression. However, the applicant proposed to save a cluster of trees by the Columbia Boulevard/N. 15<sup>th</sup> Street intersection.

**Crime prevention.** The parking lot, internal walkways and building entrances need to be sufficiently illuminated to deter crime. A lighting plan is necessary.

\* \* \*

### **Conditional Use: SHMC 17.100.040(1) - CUP Approval standards and conditions**

(1) The planning commission shall approve, approve with conditions, or deny an application for a conditional use or to enlarge or alter a conditional use based on findings of fact with respect to each of the following criteria:

- (a) The site size and dimensions provide adequate area for the needs of the proposed use;
- (b) The characteristics of the site are suitable for the proposed use considering size, shape, location, topography, and natural features;
- (c) All required public facilities have adequate capacity to serve the proposal;
- (d) The applicable requirements of the zoning district are met except as modified by this chapter;
- (e) The supplementary requirements set forth in Chapter 17.88 SHMC, Signs; and Chapter 17.96 SHMC, Site Development Review, if applicable, are met; and
- (f) The use will comply with the applicable policies of the comprehensive plan.

**(a) This criterion requires that the site size and dimensions provide adequate area for the needs of the proposed use.**

**Finding(s):** There is no evidence to the contrary.

**(b) This criterion requires that the characteristics of the site be suitable for the proposed use.**

**Finding(s):** There is no evidence to the contrary.

**(c) This criterion requires that public facilities have adequate capacity to serve the proposal.**



**Finding(s):** There is no evidence that public facilities are inadequate for this proposal.

**(d) This criterion requires that the requirements of the zoning district be met except as modified by the Conditional Use Permit (CUP) chapter.**

**Finding(s):** The proposed use is listed in the HBD zone as conditionally permitted. There are no additional criteria in the CUP chapter.

**(e) This criterion requires analysis of the sign chapter and site design review chapter.**

**Finding(s):** This is addressed elsewhere herein.

**(f) This criterion requires compliance with the applicable policies of the Comprehensive Plan.**

**Finding(s):** This property is identified in the Corridor Master Plan adopted in 2015 by Ordinance No. 3181 as a potential stormwater/interpretive gathering place. The plan notes that this would require acquisition by the City and would be expensive to construct. As such, it was noted as a low priority in that plan.

Having been for sale for an extended period of time, the City had some possibility of acquisition. But the City didn't pursue that.

The same plan calls for specific frontage improvements along the streets. The Planning Commission has been clear in past decisions that intact sidewalks should not be required to be replaced to the corridor plan standard. The existing sidewalks are in reasonably good condition.

### **SHMC 17.100.040(3) - CUP Approval standards and conditions**

(3) The planning commission may impose conditions on its approval of a conditional use, which it finds are necessary to ensure the use is compatible with other use in the vicinity. These conditions may include, but are not limited to, the following:

- (a) Limiting the hours, days, place, and manner of operation;
- (b) Requiring design features which minimize environmental impacts such as noise, vibration, air pollution, glare, odor, and dust;
- (c) Requiring additional setback areas, lot area, or lot depth or width;
- (d) Limiting the building height, size or lot coverage, or location on the site;
- (e) Designating the size, number, location, and design of vehicle access points;
- (f) Requiring street right-of-way to be dedicated and the street to be improved;
- (g) Requiring landscaping, screening, drainage and surfacing of parking and loading areas;
- (h) Limiting the number, size, location, height, and lighting of signs;
- (i) Limiting or setting standards for the location and intensity of outdoor lighting;



- (j) Requiring berming, screening or landscaping and the establishment of standards for their installation and maintenance;
- (k) Requiring and designating the size, height, location, and materials for fences; and
- (l) Requiring the protection and preservation of existing trees, soils, vegetation, watercourses, habitat areas, and drainage areas.

**Findings:** These are for the Commission's consideration.

\* \* \*

**Tree Removal/Preservation:** Chapter 17.132 SHMC addresses the preservation of trees with a diameter at breast height (DBH) >12 inches. Protection is preferred over removal per this Chapter and Site Development Review Chapter 17.96 SHMC.

All trees within the boundaries of the subject property are proposed to be removed. There are approximately 15 trees with a DBH > 12".

Since less than 50% of these trees will be kept, the number lost is required to be replaced at a 2:1 ratio. At least 30 trees are necessary.

The trees within the public right of way along N 15<sup>th</sup> Street to be kept are separated such that they are anticipated to be spared from construction activity. However, they should be identified for preservation on development plans.

\* \* \*

**Street/Right-of-Way Standards:** The Corridor Master Plan adopted in 2015 by Ordinance No. 3181 includes specific street standards for St. Helens Street, Columbia Boulevard and N. 14<sup>th</sup> Street. The standard for N. 15<sup>th</sup> would be per the City Transportation Systems plan for Collector classified streets. None of these standards call for curb-tight sidewalks, which is the case along all street frontages.

The Planning Commission has been clear in past decisions that intact sidewalks should not be required to be replaced to the Corridor Plan standard. Staff assumes the same for the TSP standard. The existing sidewalks are in reasonably good condition, thus, reconstructing the streets is not warranted.

This includes street lighting. There is cobra head style street lights at each intersection. The Corridor Master Plans calls for more and different street lights. New street lighting would be a consideration if street frontage improvements were required.

There is an existing approach along St. Helens Street that will need to be replaced with standards sidewalk and curb. A new approach will need to be installed along N. 15<sup>th</sup> Street as proposed.

No right-of-way dedication is warranted.



\* \* \*

**Utility Standards:**

**Water:** There are water mains along at least three sides of the site within public rights-of-way.

**Sanitary Sewer:** There is an existing sanitary sewer main within the subject property just to the east of the proposed building. There is an existing 20' wide easement for this from three documents from 1963: Book 151, Page 982; Book 151, Page 988; and Fee 2134, Doc. 5978.

Applicant proposes to use this line.

**Storm Sewer:** Per the plans provided, it appears that the applicant will install new storm sewer infrastructure within the public rights-of-way to divert storm flow into the basin (the subject property), to direct storm flow to a low point within N. 15<sup>th</sup> Street. In addition, for their storm runoff a detention chamber is proposed under the propose parking lot, that will also discharge to the same point. A storm water plan will be required. Also, this includes new public infrastructure, thus civil plans will be required as well.

Other: There is overhead power throughout the area. The proposal may use overhead utilities provided no new poles are necessary.

\* \* \*

**Trails/bikeways:** No planned trails or bikeways *through* the subject property.

\* \* \*

**Traffic Impact Analysis:** Not warranted.

\* \* \*

**Other Considerations:** Some existing trees are within the public right of way. They are proposed to be preserved. Note that pursuant to SHMC 8.12.090 no person shall remove trees within public places (including public rights-of-way) without first obtaining permission from the City.

\* \* \* \* \*

**CONCLUSION & RECOMMENDATION**

**Based upon the facts and findings herein, staff recommends approval of this application with the following conditions:**



1. This **Conditional Use Permit** approval is valid for a limited time (to establish the use) pursuant to SHMC 17.100.030. This Conditional Use Permit approval is valid for 1.5 years. A 1-year extension is possible but requires an application and fee. If the approval is not vested within the initial 1.5 year period or an extension (if approved), this is no longer valid and a new application would be required if the proposal is still desired. See SHMC 17.100.030.
2. The following shall be required prior to any development or building permit issuance:
  - a. Final plans as submitted with any development or building permit(s) shall comply with the plans submitted with this Conditional Use Permit with the following additions and/or corrections:
    - A. Landscape plans per the Development Code and to address the shortcomings of the preliminary landscape plans as described herein. Plan shall include at least 30 new trees.
    - B. Walkway required to serve all ground floor entrances. For example, , there is a door shown on the east side of the building to “nowhere” on the plans.
    - C. Lighting plans showing adequate illumination of walkways, parking areas, and any areas vulnerable to crime including all building entrances/exits.
    - D. The trees within the public right of way along N 15<sup>th</sup> Street to be kept shall be identified for preservation and include method of identifying them for preservation while the site is being developed.
    - E. In addition to normal parking space markings, compact spaces shall be signed or marked to indicate “compact.”
    - F. Applicable details per condition 2.b.
  - b. Engineering construction plans shall be submitted for review and approval:
    - A. All existing driveway approaches shall be replaced with standards sidewalk and curb. The existing approach along St. Helens Street for example.
    - B. New driveway approach as proposed along N. 15<sup>th</sup> Street.
    - C. All proposed or modified public infrastructure including but not limited to storm sewerage and sanitary sewerage.
  - c. The existing sanitary sewer line and related infrastructure shall be inspected and assessed to City Engineering satisfaction, if proposed to be used. Use of existing infrastructure is at the City’s discretion.



- d. Existing storm water infrastructure proposed to be used shall be located, inspected and assessed to City Engineering satisfaction. Use of existing infrastructure is at the City's discretion.
  - e. A drainage and stormwater plan shall be submitted that addresses any increase in runoff from the site and how the potential impacts will be mitigated. Plans shall include oil/water separation.
  - f. An erosion control plan shall be reviewed and approved by City Engineering to prevent erosion of any new soil materials, unless waived by City Engineering.
3. The following shall be required **prior to** Certificate of Occupancy by the City Building Official:
- a. All improvements necessary to address the requirements herein, and in accordance with approved plans, shall be in place.
  - b. All individual lots that make up the block shall be combined such that they cannot be sold separately. This may be via deed restriction, the form of which shall be approved by the City prior to recordation, or a "one parcel" partition.
  - c. Any new easements required for new or modified public infrastructure shall be recorded in a form approved by the City. Applicant shall at least be responsible for providing legal descriptions.
4. Service facilities such as gas meters and air conditioners which would otherwise be visible from a public street, customer or resident parking area, any public facility or any residential area shall be screened, **regardless if such screening is absent on any plan reviewed by the City. This includes but is not limited to ground mounted, roof mounted or building mounted units.** See SHMC 17.72.110(2).
- In addition, ground mounted units are not allowed within a public right-of-way.
- 5. Areas where natural vegetation has been removed, and that are not covered by approved landscaping, shall be replanted pursuant to SHMC 17.72.120.
  - 6. Disabled person parking space(s) shall comply with local, State, and Federal standards.
  - 7. Any artificial lighting of the site shall be designed such that there will be no glare into nearby public rights-of-way or residences.
  - 8. Pursuant to SHMC 8.12.090 no person shall remove trees within public places (including public rights-of-way) without first obtaining permission from the City.
  - 9. Any new sign requires a sign permit prior to installation, pursuant to Chapter 17.88 SHMC.



10. Any new utilities shall be underground. Existing overhead utilities may remain above ground provided there are no new poles.
11. Any requirement of the Fire Marshall as it applies to this proposal shall be met.
12. Owner/applicant and their successors are still responsible to comply with the City Development Code (SHMC Title 17).

**Attachment(s):** County survey from 1959 (updated 1965)

Applicant's narrative

Geotech Engineering Report

Site plan set (stamped "Received Nov. 30, 2018)

\*Original submitted sheet C-003 (existing conditions)

Floor plan and elevations set (stamped "Received Nov. 30, 2018)

\*The original existing conditions shows the trees proposed to be removed. Staff asked for a version without the "X"s to be able to read the tree diameter information.







18" Corr. Iron Culvert  
Top of Pipe 96.8

6" Corr. Iron Pipe  
22.2 Top

28.0 Let Corner

101.3  
103.6

101.2  
96.0

57.1

95.9

57.1

96.4

91.9

97.0

100.3 Top Pipe  
99.4 Ground

-1.98%

103.7 Ground  
104.75

103.4  
98.1

100.4

278.25

28.5

57.1

99.9

98.4

40.88  
100.4

29.5

104.3 On Ground  
107.9 On Ret. Wall  
107.8 on walk  
106.3

39.33

109.2 On Walk

106.3

101.3 on off

106.3

1119



## Conditional Use

Columbia Veterinary Clinic  
N 15<sup>th</sup> Street and St. Helens Street  
St. Helens, Oregon

Prepared for:

Dr. Frank Robison, DVM  
33555 E Columbia Avenue  
Scappoose, Oregon 97056

November 2, 2018  
PBS Project No. 74004.002

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### **SUBJECT PROPERTY LOCATION AND ZONING**

The subject site (site) is comprised of three tax lots identified as Account Number 10101, Tax Map/Lot 4N1W4AC5900; Account Number 10100, Tax Map/Lot 4N1W4AC5800; and Account Number 10090, Tax Map/Lot 4N1W4AC4800 as per Columbia County GIS information. The site is unaddressed and is bounded by St. Helens Street as its north boundary, Columbia Boulevard as its south boundary, N 15<sup>th</sup> Street as its west boundary, and N 14<sup>th</sup> Street as its east boundary. The site is within the city limits of St. Helens (City) and is comprised of approximately 0.73 acres.

The site is in the City's Houlton Business District (HBD) zone, and it is designated on the City's Comprehensive Plan Map as General Commercial (GC). The site is not within any overlay zones.

### **SUBJECT PROPERTY EXISTING CONDITIONS AND HISTORY**

The site is currently undeveloped with no impervious surfaces or structures. The site does not contain any wetlands, floodplain, significant natural resources, riparian habitat, or any other natural or environmental resource. The site is generally flat, with mild sloping down from the boundary edges forming a shallow indentation in the center of the site. St. Helens Street and Columbia Boulevard are minor arterials, N 15<sup>th</sup> Street is a collector, and N 14<sup>th</sup> Street is a local street. There is a public sewer mainline running north to south through the middle of the site along the east boundary of Tax Lots 5800 and 5900 and the west boundary of Tax Lot 4800. Storm pipe is in the adjacent streets. Water main lines are also in the adjacent streets. The adjoining streets are paved and have existing sidewalk, excepting a small area of gravel along the N 14<sup>th</sup> Street frontage. The site does not contain any curb cuts or driveway approaches. The site does not contain any uses or structures. The applicant does not have knowledge of previous uses or structures on the site and is not aware of any previous land use applications.

Surrounding tax lots have similar zoning to the site. Since the site directly abuts streets on all four sides, the adjacent property is public right-of-way. However, the tax lots on the north side of St. Helens Street, the west side of N 15<sup>th</sup> Street, the east side of N 14<sup>th</sup> Street, and the south side of Columbia Boulevard are zoned HBD with a GC comprehensive plan designation.

Uses surrounding the site vary. Even though they are zoned HBD, the lots to the north of St. Helens Street contain houses and are residential in use. Similarly, the lots to the west of N 15<sup>th</sup> Street contain houses and are residential in use, excepting the building on the northwest corner of N 15<sup>th</sup> Street and Columbia Boulevard which is commercial retail and service-oriented in design and use. South of Columbia Boulevard there are commercial retail stores and services, as well as east of N 14<sup>th</sup> Street.

### **PROPOSED PROJECT DESCRIPTION**

The applicant, Dr. Frank Robison, DVM, requests approval of this submitted Conditional Use Permit application to erect a new single-story structure for Columbia Veterinary Clinic, approximately 18 feet 10 inches tall and 4,500 square feet in area. The new structure will allow the business to better serve the ever-growing number of residents living in the City and Columbia County in the treatment and care of their dogs. The project for the new veterinary clinic will be completed in one phase with construction to begin immediately upon receipt of necessary approvals, with a goal to begin work in January 2019 and be completed and fully occupied by May 2019. City services will be utilized for sanitary sewer and domestic water. Storm water resulting from on-site impervious surfaces will be detained and then released at pre-development rates.

The new clinic will include a large treatment area, surgery room, exam rooms, a dental room, an isolation room, process/x-ray area, an office space, employee lounge, lobby/waiting area, reception area, and storage



closet. The x-ray process utilized in the clinic is digital. The chemicals on the site that could be considered hazardous are anesthetic fluids and oxygen tanks used during surgical procedures.

The new clinic will be placed in the northwest corner of the site abutting St. Helens Street to the north, N 15<sup>th</sup> Street to the west, and the site to the east and south. The parking area will be south of the proposed building. A new approach and driveway will be constructed to City standards off N 15<sup>th</sup> Street to provide access to the parking area and building. The parking area will be paved with asphalt and will contain 12 on-site parking spaces, with one of those being a disabled-accessible parking space. The trash and recycling dumpsters will be contained in a screened area south of the proposed building. The approach, driveway, and parking area will be jointly used by and maintained with users of future buildings to be located on the site with uses undetermined.

No right-of-way dedication along any of the adjacent streets will take place as none is required. Any existing sidewalk in need of maintenance will be repaired and/or replaced as part of this project in conjunction with installation of the curb cut and approach and planting of required street trees. Otherwise, no street frontage improvements are proposed.

The number of employees staffing the veterinary clinic will be six. The clinic will be open for business from 8:00 a.m. to 6:00 p.m., Monday through Saturday.

## **ST. HELENS MUNICIPAL CODE (CODE)**

### **TITLE 17 COMMUNITY DEVELOPMENT CODE**

#### **17.32 Zones and Uses**

##### *17.32.180 Houlton business district – HBD*

- (1) Purpose. The HBD zone is intended to provide an innovative and flexible zoning category...*
- (2) Uses Permitted Outright. In the HBD zone, the following uses are permitted outright, subject to modifications to development...*
- (3) Conditional Uses. In the HBD zone, the following conditional uses may be permitted upon application, subject to provisions of Chapter 17.100 SHMC and other relevant sections of this code:*
  - (a) Animal sales and services: veterinary (small animals).*

**Response:** This application proposes a veterinary clinic for the care and treatment of dogs. The proposed use is a conditional use pursuant to the Code's 17.32.180(3)(as). This narrative discusses compliance with Chapter 17.100 and other relevant Code sections.

- (4) Standards Applicable to All Uses. In the HBD zone, the following standards and special conditions shall apply and shall take precedence over any conflicting standards listed in this code:*
  - (a) The maximum building height shall be 45 feet.*

**Response:** A review of the submitted building elevations shown on Sheet D-2801-A-05 show a single-story building at approximately 18 feet 10 inches tall.

- (b) The maximum lot coverage including all impervious surfaces shall be 90 percent; provided, however for new construction or existing legally constructed buildings seeking new or revised development approvals, lot coverage may be increased up to 100 percent by payment of a lot coverage fee*



*established by resolution of the city council. The lot coverage fee shall be deposited into the Houlton business district community capital improvement account to offset loss of landscaping and open space in the HBD zone.*

**Response:** The site is 0.71 acres (30,924 square feet) as noted previously in this narrative and as illustrated on Sheet C-004 of the submitted plan set. The 90-percent maximum lot coverage requirement, including all impervious surfaces, equates to 27,831.60 square feet. The proposed impervious area for this project comprises approximately 12,700 square feet. This allows for about 15,000 square feet of allowed additional impervious area for future development elsewhere on the site.

*(c) There is no minimum lot size requirement.*

**Response:** The applicant acknowledges there is no minimum lot size requirement in the HBD zone; therefore, the site's 0.71 acres is adequate for the proposed project. Sheet C-004 of the submitted plan set notes the size of the site.

*(d) No minimum setback requirements applicable to all uses except for as required as in Chapter 17.64 SHMC.*

**Response:** The applicant acknowledges there are no minimum setback requirements for the proposed veterinary clinic in the HBD zone adjacent to sites also in the HBD zone. A complete discussion of Chapter 17.64 takes place later in this narrative addressing compliance with applicable standards in said chapter. As shown on Sheet C-0004 the building is proposed to be on the north and west property lines, 50 feet from the south line of Tax Lot 5900, and 10 feet from the east line of Tax Lot 5900. The building will be fully contained on Tax Lot 5900 of the site.

*(e) The maximum front yard setback shall be zero feet. The maximum setback may be increased with the condition that 100 percent of the increased setback is used for pedestrian amenities with the building use, such as patio dining for restaurant, sidewalk café, plaza, or courtyard.*

**Response:** In keeping with the zero-foot front yard setback, the building is directly on the north and west property lines as illustrated on Sheet C-004 of the submitted plan set.

*(f) Interior or Side Yard Setbacks. New buildings containing any nonresidential use abutting residential districts require one foot of setback for each foot of building wall height on the side abutting the residential zone, with a minimum setback of 10 feet. For yards abutting other nonresidential districts, no setback is required, subject to building code requirements.*

**Response:** As explained earlier in this narrative and as illustrated on the City's Zoning Map, the site is not abutting any residential districts but is rather adjacent to the HBD zone; therefore; additional interior or side yard setbacks are not required for this project.

*(g) Rear Yard Setbacks. New buildings containing nonresidential uses abutting residential districts require one foot of setback for each foot of building wall height with...*

**Response:** As explained earlier in this narrative and as illustrated on the City's Zoning Map, the site is not abutting any residential districts but is rather adjacent to the HBD zone; therefore, additional rear yard setback is not required for this project.



*(h) The minimum lot width at the street and building shall be 20 feet.*

**Response:** As noted previously in this narrative, the veterinary clinic will be situated entirely on Tax Lot 5900 of the site. Sheet C-004 of the submitted plan set shows Tax Lot 5900 is a 100-foot by 100-foot square with St. Helens Street being the north 100 feet and N 15<sup>th</sup> Street being the west 100 feet. Sheet C-004 also shows the proposed building dimensions as 50 feet wide on the west (N 15<sup>th</sup> Street) façade and 90 feet long on the north (St. Helens Street) façade.

*(i) The minimum lot depth shall be 50 feet.*

**Response:** As noted previously in the narrative, the veterinary clinic will be situated entirely on Tax Lot 5900 of the site. Sheet C-004 of the submitted plan set shows Tax Lot 5900 is a 100-foot by 100-foot square with St. Helens Street being the north 100 feet and N 15<sup>th</sup> Street being the west 100 feet. All dimensions exceed the 50-foot minimum requirement.

*(j) Minimum open space shall be 10 percent, except when the lot coverage fee is paid as per subsection (4)(b) of this section.*

**Response:** As shown on Sheet C-004 of the submitted plan set, the total impervious area proposed for this project is 12,700 square feet. Ten percent of 12,700 equals 1,270 square feet. Sheet C-004 notes that 1,298 square feet of formal landscaping is being provided. Sheet L-001 shows the proposed plantings within the formal landscaped areas with the remainder of the site being hydroseeded using a native seed blend mix. The minimum open space requirement has been met and no lot coverage fees are needed. Future development of the hydroseeded area will be reviewed for compliance with open space requirements under separate, future applications.

*(k) No maximum building size.*

**Response:** The applicant acknowledges there is no maximum building size requirement for this development.

*(l) No additional or new on-site parking is required for sites with existing development footprint coverage...*

**Response:** A review of Sheet C-003 shows the site does not contain any existing development. The proposed new veterinary clinic building will provide on-site parking as required.

*(m) Except for subsection (4)(l) of this section, new development shall meet required on-site parking requirements with credit, on a one-for-one basis of parking spaces in rights-of-way abutting the site. On-street parking (in rights-of-way) shall be based upon parallel parking or existing and fractions do not count. Moreover, parking standards shall be for normal sized vehicles, for the purpose of the parking credit.*

**Response:** The site does not contain any existing parking spaces for which credit can be obtained. However, the site does abut streets on all four sides and Sheet C-004 shows typical on-street parking spaces for standard-sized cars allowing for eight on-street parking spaces on St. Helens Street for this project. The parking requirements for the new veterinary clinic are discussed in detail later in this narrative, and the on-



street parking spaces noted here are deducted from the overall on-site parking requirement as allowed on a one-for-one basis of this subsection (4)(m).

- (n) New development can buy out of on-site parking requirements by paying into the HBD community capital improvement account (a fund shall be designated for future HBD located parking facilities), an amount set by the city council in a resolution.*

**Response:** The applicant does not intend to buy out of on-site parking requirements. Rather, the on-site parking requirements are being met by providing 12 parking spaces on the site and 8 parking spaces on the adjacent St. Helens Street.

- (o) Notwithstanding the standards of subsections (4)(a) through (n) of this section, these residential uses are subject to the following:*

**Response:** No residential uses are proposed.

- (5) Special Conditions Permitted and Conditional Uses.*  
*(a) Residential density above permitted...*

**Response:** No residential uses are proposed as part of this project.

- (b) Outdoor storage of goods and materials must be screened.*

**Response:** No outdoor storage of goods or materials is proposed.

- (c) Outdoor display of goods and materials for retail establishments is permitted on private property in front of the retail establishment, provided such displays do not block safe ingress and egress from all entrances, including fire doors. In addition, outdoor display goods and materials shall be properly and safely stored inside during nonbusiness hours. No outdoor display may block safe pedestrian or vehicular traffic. Outdoor displays shall not encroach in public rights-of-way, including streets, alleys or sidewalks, without express written permission of the city council.*

**Response:** No outdoor display of goods and materials is proposed for this project.

- (d) Kiosks may be allowed on public property, subject to the approval of a concession agreement with the city.*

**Response:** No kiosks are proposed for this project.

- (6) Additional Requirements.*  
*(a) Residential Density Transition. The residential density calculation and transition provisions of Chapter 17.56 SHMC shall not apply to the HBD zone for residential uses...*

**Response:** No residential uses are proposed as part of this project.

- (b) The visual clearance area requirements of Chapter 17.76 SHMC do not apply to the Houlton business district.*



**Response:** The applicant acknowledges the visual clearance area requirements of the Code's Chapter 17.76 are not applicable in the HBD zone. Accordingly, vision triangles are not shown around the new approach.

*(c) Overlay district Chapter 17.148 SHMC, Planned Development, shall not apply to the HBD zone.*

**Response:** No planned development is proposed as part of this project.

*(d) All chapters of the Development Code apply except as modified herein.*

**Response:** Applicable chapters of the Code are addressed in this narrative.

### **17.36 Historic Sites and Overlay District**

### **17.40 Protective Measures for Significant Wetlands, Riparian Corridors, and Protection Zones**

### **17.44 Sensitive Lands**

### **17.46 Floodplains and Floodways**

**Response:** The site does not contain any historic sites, nor is it within any Overlay Districts. The site does not contain any significant wetlands, riparian corridors, protection zones, sensitive lands, floodplains, or floodways; therefore, Code Chapters 17.36, 17.40, 17.44, and 17.46 are not applicable to this application.

### **17.48 Solar Access Requirements**

**Response:** Since this project is not intended for any residential structures or uses, Chapter 17.48 of the Code is not applicable.

### **17.52 Environmental Performance Standards**

#### *17.52.030 Noise.*

*For the purposes of noise regulation, the provisions of St. Helens Ordinance 2405 (Chapter 8.16 SHMC), or successive ordinances governing noise, shall apply as the standard.*

**Response:** Normal business operations of the veterinary clinic are between the hours of 8:00 a.m. and 6:00 p.m. and do not violate the City's noise ordinance.

#### *17.52.040 Visible emissions.*

*Within the commercial and industrial park zoning districts, there shall be no use, operation, or activity which results in a stack or other point source emission, other than an emission from space heating, or the emission of pure uncombined water (steam) which is visible from a property line except where permits have been obtained from the Department of Environmental Quality.*

**Response:** The proposed veterinary clinic does not include any operations or processes which create any visible emissions, either on the site or from the property lines.

#### *17.52.050 Vibration.*

*No vibration longer than 30 continuous seconds or a frequency of greater than once per hour other than that caused by highway vehicles, trains, and aircraft is permitted in any given zoning district...*



**Response:** Nothing is proposed to take place as part of the veterinary clinic that creates any vibrations or any vibrations longer than 30 continuous seconds.

*17.52.060 Odors.*

*The emission of odorous gases or other matter in such quantities as to be readily detectable at any point beyond the property line of the use creating the odors is prohibited. DEQ rules for odors (OAR 340-028-090) apply.*

**Response:** No manufacturing or processing takes place as part of the proposed project and all treatments and exams take place inside the building; therefore, the application does not involve emission of odorous gases or other matter that could be readily detectable beyond the property lines of the site.

*17.52.070 Glare and heat.*

*No direct or sky-reflected glare, whether from floodlights or from high temperature processes such as combustion or welding or otherwise, which is visible...*

**Response:** The project does not propose any floodlights. The project does not propose any exterior lighting other than required street lights along the site's street frontages and downward-facing exterior building light fixtures. No high temperature processes take place as part of the veterinary clinic, nor are any proposed or anticipated to take place in the future.

*17.52.080 Insects and rodents.*

*All materials including wastes shall be stored and all grounds shall be maintained in a manner which will not attract or aid the propagation of insects or rodents or create a health hazard.*

**Response:** All waste materials will be contained inside the veterinary clinic building and disposed of on an as-needed basis in the outdoor dumpsters contained within a screened and enclosed area. The dumpsters will be emptied on a weekly basis by the garbage and recycling service vehicles.

## **17.56 Density Computations**

**Response:** Density computations are only applicable to residential uses. This project does not propose any residential structures or uses; therefore, Chapter 17.56 of the Code does not apply to this application.

## **17.60 Manufactured/Mobile Home Regulations**

**Response:** This project is not for a manufactured/mobile home.

## **17.64 Additional Yard Setback Requirements and Exceptions**

*17.64.020 Additional setback from centerline required.*

- (1) To ensure improved light, air, and sight distance and to protect the public health, safety, and welfare, structures in any zoning district which abut certain arterial and collector streets shall be set back a minimum distance from the centerline of the street.*

**Response:** The site is adjacent to St. Helens Street to the north which is a minor arterial, N 15<sup>th</sup> Street to the west which is a collector, and Columbia Boulevard to the south which is a minor arterial; therefore, the additional setback requirement from the centerline is applicable to the north, west, and south sides of the site.



- (2) *Where the street is not partially or fully improved, the measurement shall be made at right angles from the centerline or general extension of the street right-of-way:*
- (a) *Arterial Streets. The required setback distance for buildings on arterial streets is the setback distance required by the zoning district plus the following distances measured from the centerline of the street:*
- |                        |                |
|------------------------|----------------|
| <i>Major Arterial</i>  | <i>50 feet</i> |
| <i>Minor arterials</i> | <i>30 feet</i> |

**Response:** Sheet C-003 of the submitted plan set shows St. Helens Street has an existing 47.5-foot wide right-of-way from the centerline to the site's north property line, and Columbia Boulevard has an existing 40-foot wide right-of-way from its centerline to the site's south property line. Both streets are fully improved. The site is in the HBD zone as noted previously in this narrative which does not have any required setbacks making the setback, due to the result of St. Helens Street and Columbia Boulevard being minor arterials, 30 feet. With the existing right-of-way, the proposed building is more than 30 feet from the centerline of either St. Helens Street or Columbia Boulevard. Sheet C-004 of the submitted plan set shows the building at 47.5 feet from the St. Helens Street centerline and more than 54 feet from the Columbia Boulevard centerline.

- (b) *Collector Streets. The required setback distance for buildings on collector streets as classified by the transportation system plan is the setback distance required by the zoning district plus 25 feet measured from the centerline of the street.*

**Response:** As noted previously in this narrative, the site is in the HBD zone and is not abutting any residential zones, so the project does not have any minimum setback requirements from the zoning district. However, N 15<sup>th</sup> Street is the site's west boundary and is a collector which, accordingly, requires a 25-foot setback measured from the centerline of the street. Sheet C-004 of the submitted plan set identifies the centerline of N 15<sup>th</sup> Street and shows the existing right-of-way of 40 feet from the centerline with the west side of the building being 40 feet from the centerline.

- (3) *The minimum yard requirement shall be increased in the event a yard abuts a street having a right-of-way width less than required by its functional classification on the city's transportation plan map and, in such case, the setback shall be not less than the setback required by the zone plus one-half of the projected road width as shown on the transportation map.*

**Response:** As shown on Sheet C-004 of the submitted plan set, there is existing right-of-way width from centerline of 40 feet along N 15<sup>th</sup> Street, 47.50 feet along St. Helens Street, and 40 feet along Columbia Boulevard. The existing right-of-way on the site's side of the centerlines for each street exceeds the minimum requirement.

- (4) *The minimum distance from the wall of any building to the centerline of an abutting street, however, shall not be less than 25 feet plus the yard required by the zone. This provision shall not apply to rights-of-way of 60 feet or greater in width.*

**Response:** The site is in the HBD zone which does not have any minimum setback requirements. All sides of the proposed building are more than 25 feet from any centerline of any of the abutting streets as shown on Sheet C-004 of the submitted plan set.

17.64.030 No yard required – Structure not on property line.



*In zoning districts where a side yard or a rear yard setback is not required, a structure which is not to be built in the property line shall be set back from the property line by a distance in accordance with the applicable building code (as administered by the building official) requirements.*

**Response:** The HBD zone does not require a side or rear yard setback when the site is not adjacent to a residential district, and the site is not abutting any residential districts; therefore, no side or rear yard setbacks are required. Additionally, the HBD zone requires a zero-front yard setback. Accordingly, the building has been placed directly on the north and west property lines to meet this requirement.

*17.64.040 Exceptions to yard requirements.*

- (1) If there are dwellings on both abutting lots with front yard depths less than the required depth for the zone, the depth of the front yard...*
- (2) If there is a dwelling on one abutting lot with a front yard of less depth than the required depth...*

**Response:** The site does not have abutting lots as the site abuts streets on all four sides.

*17.64.050 Projections into required yards.*

- (1) Cornices, eaves, belt courses, sills, canopies, or similar architectural features may extend or project into a required yard not more than 36 inches provided the width of such yard is not reduced to less than three feet.*

**Response:** As noted previously in this narrative, the project does not have any required yards.

- (2) Fireplace chimneys may project into a required front, side, or rear yard...*

**Response:** The new building will not contain any fireplaces or fireplace chimneys.

- (3) Open porches, decks, or balconies not more than 36 inches in height and not covered by a roof or canopy may extend or project into a required rear or side yard provided such natural yard area is not reduced to less than three feet and the deck is screened from abutting properties. Porches may extend into a required front yard not more than 36 inches.*

**Response:** As noted previously in this narrative, the project does not have any required yards because it's in the HBD zone.

- (4) Unroofed landings and stairs may project into required front or rear yards only.*

**Response:** As noted previously in this narrative, the project does not have any required front or rear yards.

- (5) No building or portion thereof, regardless of size, shall be placed closer than three feet to a property line.*

**Response:** As noted previously in this narrative, the HBD zone has a zero-foot front setback. Accordingly, the building has been placed directly on the north and west property lines to meet this HBD-zone zero-foot setback requirement.



## 17.68 Building Height Limitations – Exceptions

**Response:** No exceptions to the building height limitation are needed for this project, as the single-story building at approximately 18 feet 10 inches tall does not exceed 45 feet in height. Height of the building is shown on the elevations identified as Sheet D-2801-A-05.

## 17.72 Landscaping and Screening

### 17.72.015 Applicability – Approval process

- (1) The provisions of this chapter shall apply to all development where landscaping is required by this code including the construction of new structures...*

**Response:** This is an application for conditional use permit approval to construct a new veterinary clinic; accordingly, the standards of Chapter 17.72 are applicable.

- (2) Where the provisions of Chapter 17.96 SHMC, Site Development Review, do not apply, the director shall approve, approve with conditions, or deny...*

**Response:** This is an application for conditional use permit approval. The Planning Commission will review the application, including the landscaping plan, through the public hearing process.

- (3) The applicant shall submit a site plan which includes:*  
*(a) Location of underground irrigation system sprinkler heads where applicable;*

**Response:** The note regarding irrigation listed on Sheet L-001 explains that the contractor shall provide the irrigation system through design-build.

- (b) Location and height of fences, buffers, and screenings;*

**Response:** The project does not propose any fences, buffers, or screenings other than the required trash enclosure which is shown on Sheet C-004.

- (c) Location of terraces, decks, shelters, play areas, and common open spaces;*

**Response:** The project does not require any terraces, decks, shelters, play areas, or common open spaces, and none are being provided.

- (d) Location, type, size, and species of existing and proposed plant materials; and*

**Response:** Sheet C-003 shows the site's existing vegetation. Sheet L-001 shows the location, type, size, and species of proposed plant materials.

- (e) A narrative which addresses:*  
*(i) Soil conditions; and*  
*(ii) Erosion control measures that will be used.*

**Response:** A Geotechnical Engineering Report was completed on September 11, 2018 by Ryan White, PE, GE, and provides a full discussion of the site's soil conditions. A copy of this report has been included as part of



the application submittal package. All areas of the site not covered with building, sidewalk, parking, and formal landscaping will be hydroseeded with a native seed blend mix to the limits of soil disturbance as shown on Sheet L-001. Sheet C-005 shows inlet protection around existing storm drains and an erosion control filter fabric fence around the site's perimeter during construction as additional erosion control measures.

#### *17.72.020 General Provisions*

**Response:** Sheet L-001 notes the owner's responsibility for maintenance as well as providing planting notes for installation, cut and fill around existing trees, and general landscaping notes. Landscape details are illustrated on Sheet L-002.

#### *17.72.030 Street trees*

##### *17.72.035 Location of street trees*

**Response:** The new veterinary clinic has frontage along both St. Helens Street and N 15<sup>th</sup> Street. Accordingly, proposed locations for required street trees along the site's St. Helens Street and N 15<sup>th</sup> Street frontages are shown on Sheet L-001.

#### *17.72.040 Cut and fill around existing trees*

**Response:** Sheet L-001 provides details for cutting and filling around existing trees.

#### *17.72.110 Screening – Special provisions*

**Response:** The building will be in the northwest corner of the site which will effectively screen the adjacent south parking area from the north view. Landscaping is being provided on the west side of the parking area as well as a landscape island on the south side of the drive aisle.

No rooftop mechanical equipment is proposed. Mechanical equipment will either be installed inside the building or will be screened from view by the landscaping proposed on the north and west sides of the building. The project does not include any swimming pools or outdoor storage areas. The trash enclosure will be screened from sight by a 6-foot-tall solid wood fence and gate.

#### *17.72.120 Revegetation*

**Response:** The entire site will be cleared for this project. All area not containing the new building, parking area, drive aisle, trash enclosure, and formal landscaping will be hydroseeded with a native seed blend mix.

#### *17.72.130 Buffer matrix*

**Response:** The site is abutting streets on all four sides. Additionally, the site is in the HBD zone and all surrounding properties are also in the HBD zone. No screening buffers are required or proposed.

#### *17.72.140 Interior parking lot landscaping*

**Response:** Parking lot landscaping is only required for parking areas with more than 20 spaces. This project has an on-site parking area containing 12 parking spaces; the interior parking lot landscaping requirements are not applicable to this project.



## 17.76 Visual Clearance Areas

**Response:** As per Section 17.76 of the Code, visual clearance requirements are not applicable in the HBD zone; the site is in the HBD zone.

## 17.80 Off-Street Parking and Loading Requirements

### 17.80.015 Applicability of provisions.

- (1) *The provisions of this chapter shall apply to all development including the construction of new structures,...*

**Response:** This project includes the construction of a new building; off-street parking and loading requirements are applicable.

- (2) *Where the provisions of chapter 17.96 SHMC, Site Development Review, do not apply, the director shall approve, approve with conditions, or deny a plan submitted under the provisions of this chapter. No notice is required. The decision may be appealed as provided by SHMC 17.24.310(1).*

**Response:** This project requires conditional use permit approval through a public hearing.

- (3) *The applicant shall submit a site plan which includes:*  
 (a) *The location of the structures on the property and on the adjoining property;*

**Response:** The location of the proposed veterinary clinic is shown on Sheet C-004 of the submitted plan set. Adjoining properties are streets, which don't contain buildings.

- (b) *The delineation of individual parking and loading spaces and their dimensions;*

**Response:** The delineation of the on-site and on-street parking spaces for the project is shown on Sheet C-004, along with typical dimensions.

- (c) *The location of the circulation area necessary to serve the spaces;*

**Response:** Sheet C-004 of the submitted plan set shows a new 30-foot wide approach from N 15<sup>th</sup> Street to serve the site. The approach leads into a 24-foot wide drive aisle with parking spaces on either side. The drive aisle forms a hammerhead on its north end for a turn-around area for trash trucks. This will be expanded to a future drive aisle and parking area when future development of the site takes place at an undetermined time.

- (d) *The location of the access point(s) to streets, to accessways and to properties to be served;*

**Response:** The project proposes one access point to public streets and that is via a new 30-foot-wide commercial approach from N 15<sup>th</sup> Street. Spacing distance does not allow for any approaches from St. Helens Street, Columbia Boulevard, or N 14<sup>th</sup> Street.

- (e) *The location of curb cuts;*

**Response:** Sheet C-004 shows the dimensions of the proposed curb cut on N 15<sup>th</sup> Street.



- (f) *The location of dimensions of all landscaping, including the type and size of plant material to be used, as well as any other landscape material incorporated into the overall plan;*

**Response:** Sheet L-001 shows proposed landscaping for the project.

- (g) *The proposed grading and drainage plans; and*

**Response:** Sheet C-005 is the preliminary Grading and Erosion Control plan for the project. Sheet C-006 shows the proposed storm plan for the project.

- (h) *Specifications as to signs and bumper guards.*

**Response:** Wheel stops are shown on Sheet C-004 at the front end of each on-site parking space. Specifications for the signage of the disabled-accessible parking space and any required fire lane/no parking signage will be detailed on the final civil plan set.

*17.80.020 General provisions.*

- (1) *Parking Dimensions. The minimum dimensions for parking spaces are:*
- (a) *Eight feet, eight inches wide and 18 feet long for a standard space;*
  - (b) *Eight feet wide and 15 feet long for a compact space; and*
  - (c) *As required by applicable state of Oregon and federal standards for designated disabled person parking spaces.*

**Response:** Sheet C-004 shows proposed parking with the required designated disabled-person parking space. Typical dimensions are noted for the standard and compact spaces.

- (2) *Building Permit Conditions. The provision and maintenance of off-street parking and loading spaces are the continuing obligations of the property owner:*
- (a) *No building or other permit shall be issued until plans are presented to the director to show that property is and will remain available for exclusive use as off-street parking and loading space; and*
  - (b) *The subsequent use of property for which the building permit is issued shall be conditional upon the unqualified continuance and availability of the amount of parking and loading space required by this code.*

**Response:** The property owner acknowledges his continuing obligations regarding provision and maintenance of off-street parking and loading spaces.

- (3) *Parking Requirements for Unlisted Uses.*

**Response:** The parking requirement for animal sales and/or services is listed in the Code as one space for every 300 square feet of gross floor area. The veterinary clinic falls under this use.

- (4) *Existing and New Uses. At the time of erection of a new structure or at the time of enlargement or change in use of an existing structure within any district, off-street parking spaces shall be as provided in accordance with SHMC 17.80.030, and:*



**Response:** The site does not contain any existing uses. Required parking for the new building is being provided as part of the construction of the project.

*(5) Change in Use.*

**Response:** The site is undeveloped bare ground and is not in use.

*(6) Shared Parking in Commercial Districts.*

- (a) Owners of two or more uses, structures, or parcels of land may agree to utilize jointly the same parking and loading spaces when the peak hours of operation do not overlap;*
- (b) Satisfactory legal evidence shall be presented to the director in the form of deeds, leases, or contracts to establish the joint use; and*
- (c) If a joint use arrangement is subsequently terminated, or if the uses change, the requirements of this code thereafter apply to each separately.*

**Response:** This application is for one use with one property owner. No shared parking is proposed or needed at this time.

*(7) Visitor Parking in Multiple-Dwelling Unit Residential Districts.*

**Response:** The site is not in a residential district.

*(8) Location of Required Parking.*

- (a) Off-street parking spaces for single-dwelling unit...*
- (b) Off-street parking lots for uses not listed above shall be located not further than 200 feet from the building or use they are required to serve, measured in a straight line from the building with the following exceptions:*

**Response:** The off-street parking spaces are located adjacent to the south side of the building and on the south side of the drive aisle.

- (9) Mixed Uses. Where several uses occupy a single structure or parcel of land or a combination of uses are included in one business, the total off-street parking spaces and loading area is the sum of the requirements of the several uses, computed separately unless the peak hours of use do not overlap.*

**Response:** This application is for one use. No mixed uses are proposed at this time.

- (10) Choice of Parking Requirements. When a building or use is planned or constructed in such a manner that a choice of parking requirements could be made, the use which requires the greater number of parking spaces shall govern*

**Response:** Required parking is being provided as per Code requirements on the site and as allowed on the street.

*(11) Availability of Parking Spaces. Required parking spaces shall:*

- (a) Be available for the parking of operable passenger automobiles of residents, customers, patrons, and employees only;*



- (b) Not be used for storage of vehicles or materials or for the parking of trucks used in conducting the business or use; and*
- (c) Not be rented, leased, or assigned to any other person or organization.*

**Response:** Sheet C-004 of the submitted plan set shows the proposed parking spaces for the new veterinary clinic. The proposed parking spaces will not be rented, leased, or assigned to any other person or organization and are intended solely for use of operable passenger automobiles of customers, patrons, and employees of the clinic.

*(12) Parking Lot Landscaping. Parking lots shall be landscaped in accordance with the requirements in Chapter 17.72 SHMC.*

**Response:** As noted previously in this narrative under a discussion of Chapter 17.72, no parking lot landscaping is required since the parking area contains less than 20 parking spaces.

*(13) Designated Parking for Handicapped. All parking areas shall be provided with the required numbers and sizes of disabled person parking spaces as specified by applicable state of Oregon and federal standards. All disabled person parking spaces shall be signed and marked on the pavement as required by these standards.*

**Response:** There is a requirement for one disabled person parking space. The required disabled person parking space will be signed and marked as required by Code and is shown on Sheet C-004.

*(14) Designated Parking for Compact Vehicles. All parking spaces designated for compact vehicles shall be signed or labeled by painting on the parking space.*

**Response:** The parking spaces on the south side of the drive aisle are proposed as compact vehicle parking spaces. Accordingly, Sheet C-004 shows these spaces designated with a "c" which will be painted on the asphalt-surface of each compact parking space.

*(15) Bicycle Parking.*

- (a) One lockable bicycle parking space shall be provided within a rack for the following:*
  - (i) Four or more dwelling units in one building: one space...;*
  - (ii) Commercial development: 10 percent of vehicular parking spaces;*

**Response:** The required number of vehicular parking spaces for this commercial project is 15 yielding a requirement of two lockable bicycle spaces within a rack.

- (b) Bicycle parking areas shall be provided at locations within 50 feet of primary entrances to structures. Where possible, bicycle parking facilities shall be placed under cover. Bicycle parking areas shall not be located within parking aisles, landscape areas, or pedestrian ways; and*

**Response:** The required bicycle parking rack providing two lockable spaces is approximately 10 feet from the primary entrance of the new building. This is shown on Sheet C-004 of the submitted plan set.

- (c) Residential complexes with...*

**Response:** This is not a residential project.



*(16) Lighting. Any lights provided to illuminate any public or private parking area or vehicle sales area shall be so arranged so as to direct the light away from any adjacent residential district, and shall not create a hazard for drivers in public streets.*

**Response:** The project is not proposing any lighting other than low-level landscape lighting and exterior light fixtures on the building.

*(17) Final Building Inspection. Required parking spaces shall be completely improved to city standards and available for use at the time of the final building inspection.*

**Response:** The property owner intends to have all required vehicular and bicycle parking areas and drive aisles completed to City standards and available for use prior to the final building inspection.

*(18) Plan, Building Permit Prerequisite. A plan drawn to scale, indicating how the off-street parking and loading requirement is to be fulfilled shall accompany the request for a building permit or site development review permit...*

**Response:** The parking plan for this conditional use permit application shall be included with the building permit application.

*(19) Measurement for Required Parking. Unless otherwise specified, where square feet are specified, the area measured shall be gross floor area under the roof measured from the faces of the structure, excluding only space devoted to covered off-street parking or loading.*

**Response:** The gross square footage of the building of 4,500 square feet is the area under the roof measured from the faces of the structure.

*(20) Employees. Where employees are specified, the employees counted are the persons who work on the premises including proprietors, executives, professional people, production, sales, and distribution employees during the largest shift at peak season.*

**Response:** Employees are not specified in animal sales and/or services.

*(21) Fractions. Fractional space requirements shall be counted as a whole space.*

**Response:** The number of required parking spaces is 15.

*(22) On-Street Parking. Parking spaces in a public street or alley shall not be eligible as fulfilling any part of the parking requirement except as otherwise provided in this code.*

**Response:** The project is providing eight parking spaces on St. Helens Street as allowed by 17.32.180(m) of the Code.

*(23) Preferential Long-Term Carpool/Vanpool Parking. Parking lots providing in excess of 20 long-term parking spaces shall provide preferential long-term carpool and vanpool parking for employees, students, or other regular visitors to the site. At least five percent of total long-term parking spaces shall be reserved for carpool/vanpool use. Preferential parking for carpools/vanpools shall be closer to the*



*main entrances of the building than any other employee or student parking, other than disabled person parking spaces. Preferential carpool/vanpool parking spaces shall be full size parking spaces. Preferential carpool/vanpool spaces shall be clearly designated for use only by carpools or vanpools between 7:00 a.m. and 5:30 p.m.*

**Response:** This project is not providing any long-term parking spaces.

*17.80.030 Minimum Off-street parking requirements.*

*(3) Commercial.*

*(d) Animal sales and/or services:*

*(iv) Veterinary – one space per 300 square feet of gross floor area*

**Response:** The new veterinary clinic will be 4,500 square feet in size. 4,500 divided by 300 equals 15 minimum off-street parking spaces. The project is providing 12 off-street parking spaces and eight on-street parking spaces along St. Helens Street.

*17.80.040 Modification to parking requirements.*

*(1) Compact Car Spaces. Up to 40 percent of the required parking spaces may be compact spaces.*

**Response:** The project has a requirement of 15 parking spaces, of which 40 percent (or 6 spaces) may be compact spaces. Accordingly, the project is providing five compact vehicle parking spaces.

*17.80.050 Parking dimension standards.*

*(1) Accessibility. Each parking space shall be accessible from a street or right-of-way, and the access shall be of a width and location as described by SHMC 17.84.070 and 17.84.080.*

*(2) Table of Standards.*

**Response:** The Table of Standards for Parking Spaces Figure 14 lists a 90-degree angle parking space requirement with a 24-foot wide drive aisle at 9 feet wide by 18 feet long. Sheet C-004 shows the dimensions of proposed spaces as 9 feet wide by 18 feet long with a 24-foot-wide drive aisle for two-way traffic. The proposed approach from N 15<sup>th</sup> Street will be a 30-foot-wide full approach. No structured parking is proposed. No service drives are proposed. The entire parking area is accessible from N 15<sup>th</sup> Street. Sheet C-004 shows the proposed striping plan and direction of flow arrows with two-way traffic to and from N 15<sup>th</sup> Street. The drive aisles and parking area shall be paved as required by the City. The required wheel stops are shown on Sheet C-004 as being four inches high and located three feet back from the front of the parking stall. A storm drainage plan has been provided as part of this application submittal package showing how the site will drain to ensure ponding does not occur. No lighting is proposed other than exterior lighting fixtures placed on the building and low-level landscape lighting in the landscaping areas. No monument, billboard, or pillar/post signage for advertising is proposed as part of this application. The site layout does not contain any grade separation that requires grade separation protection.

*17.80.080 Off-street loading spaces.*

**Response:** The proposed veterinary clinic is only 4,500 square feet in area which is less than the 10,000-square foot requirement triggering at least one off-street loading space on the site; therefore, no off-street loading spaces are required nor are any being provided as part of this project.



#### 17.84 Access, Egress, and Circulation

**Response:** All access to and from the site will be via a new commercial approach from N 15<sup>th</sup> Street, proposed as a full approach at 30 feet wide. A two-way, 24-foot-wide drive aisle will extend from the approach for about 100 feet to the east where it will then turn into a 24-foot-wide north-south drive aisle for future development. The new approach is approximately centered along the site's west property line or N 15<sup>th</sup> Street frontage.

#### 17.88 Signs

**Response:** No signs are proposed, nor are any included as part of this application. Should signs for the site be desired, such approval will be sought at a separate time and under separate applications and permits.

#### 17.92 Mixed Solid Waste and Recyclables Storage in New Multi-Unit Residential and Nonresidential Buildings

**Response:** The applicant has selected the "minimum standards" method to demonstrate compliance with Chapter 17.92. The minimum storage area requirement is based on the size and general use category of the new building. The new building is 4,500 square feet and the predominant use of the building is "other". 17.92.050(5)(b)(v) specifies four square feet of storage area per 1,000 square feet of gross floor area in addition to the minimum requirement of 10 square feet of storage area. This gives a total requirement as follows:

Minimum requirement 10 square feet

Additional requirement  $4,500 \text{ divided by } 1,000 = 4.5 \text{ multiplied by } 4 = 18 \text{ square feet}$

**Total Requirement: 10 plus 18 = 28 square feet**

Individual waste baskets will be utilized inside the building to collect solid waste and recyclables. The individual waste baskets will be discarded into the 240-square-foot outdoor waste and recyclable enclosure area located adjacent to the south side of the drive aisle towards its east end. The chosen location is in the parking area, within 52 feet of the main entrance, and visible from the main entrance. The enclosure area will contain both solid waste and recycling dumpsters. The chosen location provides easy access for the collection vehicles as its adjacent to the drive aisle and within 65 feet of the approach from N 15<sup>th</sup> Street with a turnaround at the end of the drive aisle for exiting the site in a forward motion. The area will be enclosed by a 6-foot-tall solid wood fence and gate, and the size of the area at 240 square feet exceeds the 28-square-foot requirement.

#### 17.100 Conditional Use

##### 17.100.020 Administration and approval process

- (1) *The applicant of a conditional use proposal shall be the recorded owner of the property or an agent authorized in writing by the owner.*

**Response:** The applicant is Dr. Frank Robison. The property is owned by others as indicated in the submitted deeds. The submitted application bears the signatures of both the applicant and the property owners.

- (2) *A preapplication conference with city staff is required.*

**Response:** The required pre-application conference was held on August 3, 2018.



- (3) *Due to possible changes in state statutes, or regional or local policy, information given by staff to the applicant during the preapplication conference is valid for no more than six months:*

**Response:** This application is being submitted on November 2, 2018, which is prior to the six-month deadline of February 3, 2019.

- (4) *The director shall mail notice of any conditional use proposal to the persons who are entitled to notice in accordance with SHMC 17.24.130*

**Response:** The applicant acknowledges the director shall mail notice of this conditional use proposal to entitled persons in accordance with the Code.

*17.100.030 Expiration of approval – Standards for extension of time*

**Response:** The applicant intends to begin construction of the new veterinary clinic building immediately upon receipt of necessary land use and permit approvals. Construction will be completed in one phase with a goal of having final occupancy by May 31, 2019.

*17.100.035 Phased development or existing development*

**Response:** Development necessary for, and construction of, the new veterinary clinic building will take place in one phase.

*17.100.040 Approval standards and conditions*

- (1) *The planning commission shall approve, approve with conditions, or deny...*  
 (a) *The site size and dimensions provide adequate area for the needs of the proposed use;*

**Response:** The site at 0.71 acres is large enough to accommodate the proposed 4,500-square-foot building, as well as provide on-site parking, screened trash enclosure, appropriate access from N 15<sup>th</sup> Avenue, required landscaping, and still have room left for additional future development and parking and drive aisles necessary for such future development. The building meets setback requirements, and the site meets lot size, width, and depth requirements of the HBD zone.

- (b) *The characteristics of the site are suitable for the proposed use considering size, shape, location, topography, and natural features;*

**Response:** The proposed veterinary clinic only needs to be a single-story building and doesn't need to be any larger than the 4,500-square-foot structure proposed. The site is oddly-shaped because of the curvature of Columbia Boulevard, which is the south property line of the site. Even with this odd shape, the site is large enough at 0.71 acres to provide the one required approach from N 15<sup>th</sup> Street, required landscaping, street trees, on-site parking, screened trash enclosure, drive aisles, the veterinary clinic, and have area left for future development. The site does not contain any natural features, nor is it steeply-sloped, both of which would hinder development. The downward-sloping of the site results in fill being added prior to construction, but the addition of fill is not severe enough that it makes the site unsuitable for the veterinary clinic and additional future buildings. Additionally, in consideration of the type of foundation needed to best accommodate the site's soils and topography, the applicant will be constructing a basement foundation for



the veterinary clinic as this type of foundation is more commensurate with the soils and topography of the site. The basement foundation will provide a crawl space area large enough for personal storage of veterinary clinic items.

*(c) All required public facilities have adequate capacity to serve the proposal;*

**Response:** There are existing water lines surrounding the site with capacity to service the proposed veterinary clinic. A new water meter will be installed on the west side of the building with connection to the water main in N 15<sup>th</sup> Street. There is an existing 6-inch sanitary sewer line running north-south in the middle of the site. This existing line has capacity to serve the clinic and future development on the site. A 14-foot-wide sanitary sewer easement will be recorded around the existing sanitary sewer line as part of this project. Various storm drain inlets, catch basins, and pipes exist on and around the site. The project will install a storm detention chamber underneath the drive aisle which will detain water for discharge at pre-development rates to the existing storm system in N 15<sup>th</sup> Street. No upsizing or extending of existing pipes is necessary for this project.

*(d) The applicable requirements of the zoning district are met except as modified by this chapter;*

**Response:** The site is in the HBD zoning district. A complete discussion on the project's compliance with the HBD requirements is given at the beginning of this narrative.

*(e) The supplementary requirements set forth in Chapter 17.88 SHMC, Signs; and Chapter 17.96 SHMC, Site Development Review, if applicable, are met; and*

**Response:** No signage is proposed as part of this application. All information required for a Site Development Review is also required for a Conditional Use Review and has been included in this application submittal package.

*(f) The use will comply with the applicable policies of the comprehensive plan.*

**Response:** The Code provides the specifics, details, and enforcement measures for realization of the policies and goals in the comprehensive plan. By complying with the Code, then, the project complies with the comprehensive plan. This narrative, along with the submitted plan set and other documents included with the application submittal package, show the projects compliance with the Code and therefore it's compliance with applicable policies of the comprehensive plan.

*(2) An enlargement or alteration of an existing conditional use shall be subject to the development review provisions set forth in Chapter 17.96 SHMC.*

**Response:** The site is not developed, and this application does not involve any enlargement or alteration of existing conditional uses because there aren't any existing uses on the site.

*(3) The planning commission may impose conditions on its approval of a conditional use, which it finds are necessary to ensure the use is compatible with other use in the vicinity. These conditions may include, but are not limited to, the following:*

**Response:** The applicant acknowledges the planning commission may impose conditions on its approval of this conditional use.



*17.100.070 Application submission requirements*

- (1) *All applications shall be made on forms provided by the director and shall be accompanied by:*  
 (a) *Copies and necessary data or narrative...*

**Response:** This document is the project narrative. Copies have been made and included with the application submittal, along with copies of the signed application, civil plan set, and building elevations and floor plan.

- (b) *The required fee*

**Response:** The applicant has included a check to the City for the required fee for this conditional use permit application.

- (2) *The required information may be combined and does not have to be placed on separate maps*

**Response:** All required information is contained in the attached plan set submitted as part of this application.

- (3) *The conditional use plan, data, and narrative shall include the following:*  
 (a) *Existing site conditions*

**Response:** Sheet C-003 shows the existing site conditions.

- (b) *A site plan*

**Response:** Sheet C-004 is the site plan for the proposed project.

- (c) *A grading plan*

**Response:** Sheet C-005 is the preliminary grading plan.

- (d) *A landscape plan*

**Response:** Sheets L-001 and L-002 comprise the landscape plan for the veterinary clinic project.

- (e) *Architectural elevations of all structures*

**Response:** Elevations of the north (rear), south (front), east (side), and west (side) portions of the building have been prepared by the architect and included in this submittal package on Sheet D-2801-A-05. Only one structure is proposed. The roof plan is Sheet D-2801-A-04. The floor plan is Sheet D-2801-A-02.

- (f) *A sign plan*

**Response:** No signage is proposed at this time, so no sign plan is necessary or included in this application.

- (g) *A copy of all existing and proposed restrictions or covenants*

**Response:** The site does not have any existing restrictions or covenants; none are proposed as part of this project.



*17.100.080 Site conditions*

*The site analysis drawings shall include:*

*(1) A vicinity map showing streets and access points, pedestrian...*

**Response:** A vicinity map has been provided on Sheet C-001 of the submitted plan set.

*(2) The site size and its dimensions;*

**Response:** The size of the site and its dimensions are shown on C-004 of the submitted plan set.

*(3) Contour lines at two-foot intervals...*

**Response:** Sheet C-003 of the submitted plan set shows the site's contour lines.

*(4) The general location of drainage patterns;*

**Response:** Sheet C-005 has flow arrows showing the general drainage pattern of the site as inward.

*(5) The general location of natural hazard areas including:*

**Response:** The site does not contain any natural hazard area, and this has been noted on Sheet C-003.

*(6) The general location of natural resource areas as shown on the...*

**Response:** The site does not contain any natural resource areas, and this has been noted on Sheet C-003.

*(7) The general location of site features including:*

**Response:** All existing site features are shown on Sheet C-003 of the submitted plan set.

*(8) The location of existing structures on the site and proposed use of those structures; and*

**Response:** A review of Sheet C-003 shows the site does not contain any existing structures.

*(9) The location and type of noise sources on the site or on adjoining property such as traffic ways, mechanical equipment, or noise-producing land uses.*

**Response:** This project for a veterinary clinic does not include any noise-producing uses other than standard noises associated with customers entering and exiting the site and normal business operation noises associated with an office-type business. The site is adjoined by streets on all sides, so sounds associated with everyday vehicular traffic flow occur now and will continue to occur after the site has been developed. The project does not include any mechanical equipment, other than a standard heating, cooling, and ventilating system normally associated with an office-type building. Surrounding uses have the same standard residential or office-type heating, cooling, and ventilation systems. The applicant is not aware of any noise sources adjoining the property or associated with the proposed use other than those mentioned above and those normally associated with residential and neighborhood commercial uses. Treatment and care of the dogs will take place inside the fully-enclosed structure. No kennel/boarding programs are proposed as part of this use.



#### 17.100.090 The site plan

**Response:** Sheet C-004 is the site plan for the proposed project. This sheet shows the location, dimensions, and size of the proposed building, along with its proposed doors. The sidewalks on the south and west portions of the building providing access to the public way of N 15<sup>th</sup> Street are shown as well as the 24-foot-wide drive aisle, on-site parking spaces, trash enclosure, and landscaped areas. Dimensions of the site's tax lots are shown along with labeling of adjacent streets and their centerlines and right-of-way dimensions. The zoning of the site is indicated on Sheet C-004 along with the size of the site, the number of parking spaces, and the amount of impervious and pervious area proposed for this project.

#### 17.100.100 Grading plan

**Response:** The required grading plan is Sheet C-005 of the submitted plan set. Additional details and specifications will be provided as part of the final civil drawings once conditional use permit approval has been received.

#### 17.100.110 Architectural drawings

*The conditional use plan proposal shall include:*

- (1) *The square footage of all structures proposed for use on site; and*
- (2) *Preliminary elevation drawings of each structure.*

**Response:** Only one 4,500-square-foot building is proposed for this application. The floor plan (Sheet D-2801-A-02), crawl space plan (Sheet D-2801-A-03), roof plan (Sheet D-2801-A-04), and elevations (Sheet D-2801-A-05) for the one proposed building have been prepared by Lower Columbia Engineering and are included in the submittal package.

#### 17.100.120 Landscape plan

*(1) The conditional use plan proposal shall include:*

- (a) *The general location of fences, buffers, and screenings;*

**Response:** Other than the trash enclosure, no fences, buffers, or screens are required or proposed for the project. The required trash enclosure is shown on Sheet C-004 consisting of a 6-foot-tall solid wood fence and gate.

- (b) *The general location of play areas and common open spaces;*

**Response:** This development is not a residential development and does not require play areas or common open spaces. Sheet L-001 shows the required 10-percent open space and the types of landscaping proposed in that open space.

- c) *The general location of existing and proposed plant materials; and*

**Response:** Sheet C-003 shows the location of existing vegetation on the site. Sheet L-001 shows the location of proposed plantings for this project, and planting details are given on Sheet L-002.

- (d) *Location of underground sprinkler heads where applicable.*



**Response:** The contractor shall provide irrigation through design-build by an automatic underground system capable of providing adequate water to plantings throughout the year. This has been so noted on Sheet L-001.

*(2) The landscape plan shall include a narrative which addresses:*

- (a) Soil conditions; and*
- (b) Erosion control measures that will be used.*

**Response:** Soil conditions are noted in the Geotechnical Engineering Report included as part of this application submittal. Areas not developed at this time will be hydroseeded with a native seed blend mix to limit soil disturbance as shown on Sheet L-001.

#### *17.100.130 Sign drawings*

**Response:** No requests for signage are included in this application.

#### *17.100.150 Additional requirements for conditional use types*

*(1) A conditional use proposal shall comply with the standards of the zoning district in which it is located...*

**Response:** A full discussion was given previously in this narrative detailing how the project complies with the HBD zone.

*(2) A conditional use permit shall not grant variances to the regulations...*

**Response:** This conditional use permit is not requesting any variances.

*(3) The additional dimensional requirements and approval standards for conditional use are as follows:*

**Response:** The proposed use as a veterinary clinic is not one of the uses listed under 17.100.150(3); this section is not applicable to this application.

#### **17.132 Tree Removal**

**Response:** Sheet C-003 of the submitted plan set shows the location of existing trees on the site. The trees in the west portion of the site in the way of the new building, parking area, trash enclosure, and drive aisle will have to be removed as part of site development. The trees in the southwest right-of-way area will be retained and protected as shown on Sheet L-001. Since the site does not contain any sensitive land area, no tree removal permits are required as per 17.132.030(1) of the Code.

#### **17.152 Street and Utility Improvement Standards**

**Response:** The site fronts streets which are fully-improved. Excepting the planting of required street trees, no street frontage improvements are required for this project. A curb cut will have to be made in N 15<sup>th</sup> Street for the new approach; details of the curb cut will be included in the final civil drawings to be submitted after conditional land use permit approval has been received.

A preliminary utility plan for the veterinary clinic is shown on Sheet C-006. Storm water will be detained in a proposed storm detention chamber and discharged to the west at the pre-development rate. A proposed



water meter with a 1-inch connection will be placed on the west side of the building connecting with the water main line in N 15<sup>th</sup> Street. Sewer for the new building will connect with the existing sewer main on the east side of the building. A proposed 14-foot-wide sanitary sewer easement will be recorded around the existing sewer main as part of this project.

**17.156 Traffic Impact Analysis (TIA)**

**Response:** A Traffic Impact Analysis (TIA) is not required for this project.



# Geotechnical Engineering Report

Columbia Veterinary Clinic  
Columbia Boulevard and N 15th Avenue  
St. Helens, Oregon

Prepared for:

Dr. Frank Robinson, DVM  
Columbia Veterinary Clinic  
33555 E Columbia Avenue  
Scappoose, Oregon

September 5, 2018  
PBS Project 74004.002



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September 5, 2018  
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Prepared by:

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## **1 INTRODUCTION**

### **1.1 General**

This report presents results of PBS Engineering and Environmental Inc. (PBS) geotechnical engineering services for the proposed veterinary facility located at Columbia Boulevard and N 15th Avenue in St. Helens, Oregon (site). The general site location is shown on the Vicinity Map, Figure 1. The locations of PBS' explorations in relation to existing site features are shown on the Site Plan, Figure 2.

### **1.2 Purpose and Scope**

The purpose of PBS' services was to develop geotechnical design and construction recommendations in support of the planned single-story wood-framed structure, parking areas, and associated drive lanes. This was accomplished by performing the following scope of services.

#### **1.2.1 Literature and Records Review**

PBS reviewed various published geologic maps of the area for information regarding geologic conditions and hazards at or near the site.

#### **1.2.2 Subsurface Explorations**

PBS excavated four test pits within the proposed development property to depths of up to 9.5 feet below the existing ground surface (bgs). The test pits were logged and representative soil samples collected by a member of the PBS geotechnical engineering staff. Interpreted test pit logs are included as Figures A1 through A4 in Appendix A, Field Explorations.

#### **1.2.3 Field Infiltration Testing**

One cased-hole, falling-head field infiltration test was completed in test pit TP-2 within the proposed development at a depth of 4 feet bgs. Infiltration testing was monitored by PBS geotechnical engineering staff.

#### **1.2.4 Soils Testing**

Soil samples were returned to our laboratory and classified in general accordance with the Unified Soil Classification System (ASTM D2487) and/or the Visual-Manual Procedure (ASTM D2488). Laboratory tests included natural moisture contents, grain-size analyses, and Atterberg limits. Laboratory test results are included in the exploration logs in Appendix A, Field Explorations; and in Appendix B, Laboratory Testing.

#### **1.2.5 Geotechnical Engineering Analysis**

Data collected during the subsurface exploration, literature research, and testing were used to develop site-specific geotechnical design parameters and construction recommendations.

#### **1.2.6 Report Preparation**

This Geotechnical Engineering Report summarizes the results of our explorations, testing, and analyses, including information relating to the following:

- Field exploration logs and site plan showing approximate exploration locations
- Laboratory test results
- Infiltration test results
- Groundwater levels and considerations
- Shallow foundation recommendations:
  - Minimum embedment
  - Allowable bearing pressure



- Estimated settlement
  - Sliding coefficient
- Earthwork and grading, cut, and fill recommendations:
  - Structural fill materials and preparation
  - Utility trench excavation and backfill requirements
  - Slab and pavement subgrade preparation
  - Wet weather considerations
- Seismic design criteria in accordance with the 2014 Oregon Structural Specialty Code (OSSC)
- Slab-on-grade design recommendations
- Asphalt concrete (AC) pavement section recommendations

### 1.3 Project Understanding

PBS understands development plans are currently in the conceptual stages; however, construction of the proposed veterinary clinic will likely include a single-story wood-framed structure, vehicle and bicycle parking areas, stormwater facility, trash enclosure, landscaping, and associated drive lanes.

## 2 SITE CONDITIONS

### 2.1 Surface Description

The undeveloped site is roughly trapezoidal, with its north, east, and west sides meeting at roughly 90-degree angles and its southern border dictated by Columbia Boulevard. It is bordered to the west by N 15th Street, to the north by St. Helens Street, to the east by N 14th Street, and to the south by Columbia Boulevard. The site is currently a vacant vegetated lot; the lot is entirely vegetated, and the northwest quadrant of the lot is soft and wet/saturated. Based on available topographic data, the site is a local low point in the area, ranging in elevation between 100 to 105 feet above mean sea level (amsl), compared to the surrounding streets that are at roughly 110 feet amsl (WGS84 EGM96 Geoid). In general, the site is 5 to 10 feet below the surrounding streets that border the site on all sides.

### 2.2 Geologic Setting

The site is located within the Portland basin, a tectonic depression within the physiographic province of the Puget-Willamette lowland that separates the Cascade Range from the Coast Range, and extends from the Puget Sound to Eugene, Oregon (Yeats et al., 1996). The Portland basin is situated along the Cascadia Subduction Zone (CSZ) where oceanic rocks of the Juan de Fuca Plate are subducting beneath the North American Plate, resulting in deformation and uplift of the Coast Range and volcanism in the Cascade Range.

Published geologic maps of the area (Evarts, 2004) indicate the site is underlain by the Sentinel Bluffs member of the Grande Ronde Basalt formation of the Miocene Columbia River Basalt Group. In general, the formation is primarily tholeiitic basaltic andesite and in outcrops typically exhibit entablature jointing patterns and vesicular flow tops. Mineralogical assemblages of the Grande Ronde Basalt Sequences are generally intergranular and contain lathlike plagioclase, granular clinopyroxene, with lesser amounts of olivine and orthopyroxene micro phenocrysts. Based on cross sections in the area, we anticipate this basaltic andesite of Sentinel Bluffs member, and older flows from the Grande Ronde formation, are present to depths greater than 100 feet below the site. Fine-grained Pleistocene cataclysmic flood deposits along with Quaternary alluvium are also mapped in the area and may mantle bedrock near the site.

### 2.3 Subsurface Conditions

The site was explored by excavating four test pits, designated TP-1 through TP-4, to depths of 4.5 to 9.5 feet bgs. All four test pits were terminated due to refusal in dense gravel and cobbles or bedrock. The excavation



was performed by Dan Fischer Excavating Inc., of Forest Grove, Oregon, using a Case 580 backhoe and a 24-inch toothed bucket.

PBS has summarized the subsurface units as follows:

- FILL:** Variable fill consisting of silt, sand, and gravel was encountered in test pits TP-2 and TP-4 on the eastern side of the property to depths of 1 to 3 feet bgs. In general, these materials were loose to medium dense.
- ORGANIC SILT:** Dark brown organic silt was encountered in test pit TP-1 from the surface to 2.5 feet bgs, in TP-3 from the surface to 2 feet bgs, and beneath the fill in TP-4 from 3 to 3.5 feet bgs. In general, this material was soft, moist, exhibited low plasticity, and contained fine roots and other fine organic materials.
- LEAN CLAY WITH GRAVEL to SANDY LEAN CLAY WITH GRAVEL:** Lean clay and lean clay containing varying amounts of gravel were encountered in all test pits at the site. The clay with gravel in TP-2 and TP-4 was generally stiff, moist, brown to orange-brown, exhibited low to medium plasticity, and contained subangular gravel up to 2 inches in diameter. It was encountered in TP-2 from 3.5 to 5 feet bgs and in TP-4 between 1 to 3.5 feet bgs.
- In test pits TP-1 and TP-3 the lean clay with gravel was soft to medium stiff, moist to wet, light gray to blue gray, exhibited low to medium plasticity, and contained subangular gravels up to 4 inches in diameter. The lean clay with gravel was encountered in TP-1 between 2.5 to 5.5 feet bgs and in TP-3 between 2 feet bgs to a termination depth of 5.5 feet bgs.
- FAT CLAY:** High plasticity (fat) clay was encountered in TP-2 between 5 to 5.5 feet bgs. In general, it was stiff, moist, gray with orange mottling, and exhibited medium to high plasticity.
- CLAYEY GRAVEL:** Clayey gravel with cobbles was encountered at all four test pit locations. In TP-1 the gravel was medium dense, moist to wet, contained subangular gravel and cobbles up to 7 inches in diameter, and the lean clay matrix exhibited low plasticity. This material was encountered between 5.5 feet bgs and the termination depth of 9.5 feet bgs. In test pits TP-2 and TP-3 it was medium dense, moist, gray-orange to brown, contained subangular gravel and cobbles up to 5 inches in diameter, and the lean clay matrix exhibited low to medium plasticity. This material was encountered in TP-2 between 5.5 feet bgs and the termination depth of 6.5 feet bgs and in TP-4 between 3.5 feet bgs and the termination depth of 4.5 feet bgs.

## 2.4 Groundwater

Groundwater was encountered during our explorations in TP-1 and TP-3 at approximately 2 to 2.5 feet bgs. Based on the presence of low permeability soils at the site and its elevation below the surrounding streets, this may represent perched groundwater. Based on a review of regional estimated depth to groundwater in the Portland area (USGS), we anticipate that regional static groundwater is present at a depth of greater than 40 feet bgs. The regional groundwater map incorporates a level of uncertainty based on known well locations and correlated groundwater interpretations between known points. The uncertainty in this location and depth is described as "Moderate." Please note that groundwater levels can fluctuate during the year depending on climate, irrigation season, extended periods of precipitation, drought, and other factors.



**2.5 Infiltration Testing**

PBS completed a cased-hole falling head infiltration test in TP-2 at a depth of 4 feet bgs within the test pit. The infiltration test was conducted within a 6-inch inside diameter PVC pipe. The pipe was filled with water to achieve a minimum 1-foot-high column of water. After a period of saturation, the height of the water column in the pipe was then measured initially and at regular, timed intervals. Results of our field infiltration testing are presented in Table 1.

**Table 1. Infiltration Test Results**

| Test Location | Depth (feet bgs) | Field Measured Infiltration Rate (in/hr) | Soil Classification |
|---------------|------------------|--|---------------------|
| TP-2          | 4                | 0  | Lean CLAY (CL)      |

Based on the soil types encountered at the site, infiltration of stormwater on site is not likely feasible.

**3 CONCLUSIONS AND RECOMMENDATIONS****3.1 Geotechnical Design Considerations**

The subsurface conditions on the eastern portion of the site consist of 1 to 3 feet of undocumented fill underlain by lean clay to clayey gravel. The western portion of the site includes organic soil from the surface to approximately 3 feet bgs underlain by clayey gravel. Based on our observations and analyses, conventional foundation support on shallow spread footings is feasible for the proposed new building provided the organic silt and undocumented fill is removed and replaced with compacted structural fill. Excavation with conventional equipment is feasible at the site.

The grading and final development plans for the project had not been completed when this report was prepared. Once completed, PBS should be engaged to review the project plans and update our recommendations as needed. PBS currently understands it will be necessary to import fill to raise the site to near the elevation of the surrounding streets. The organic soils and undocumented fill currently present at the site should be removed prior to placing structural fill.

**3.2 Shallow Foundations**

Shallow spread footings bearing on native clayey gravel or structural fill underlain by clayey gravel may be used to support loads associated with the proposed development, provided the recommendations in this report are followed. Footings should not be supported on undocumented fill or organic soils.

**3.2.1 Minimum Footing Widths / Design Bearing Pressure**

Continuous wall and isolated spread footings should be at least 18 and 24 inches wide, respectively. Footings should be sized using a maximum allowable bearing pressure of 2,500 pounds per square foot (psf). This is a net bearing pressure and the weight of the footing and overlying backfill can be disregarded in calculating footing sizes. The recommended allowable bearing pressure applies to the total of dead plus long-term live loads. Allowable bearing pressures may be increased by one-third for seismic and wind loads.

Footings will settle in response to column and wall loads. Based on our evaluation of the subsurface conditions and our analysis, we estimate post-construction settlement will be less than 1 inch for the column and perimeter foundation loads. Differential settlement will be on the order of one-half of the total settlement.



**3.2.2 Footing Embedment Depths**

PBS recommends that all footings be founded a minimum of 18 inches below the lowest adjacent grade. The footings should be founded below an imaginary line projecting upward at a 1H:1V (horizontal to vertical) slope from the base of any adjacent, parallel utility trenches or deeper excavations.

**3.2.3 Footing Preparation**

Excavations for footings should be carefully prepared to a neat and undisturbed state. A representative from PBS should confirm suitable bearing conditions and evaluate all exposed footing subgrades. Observations should also confirm that loose or soft materials have been removed from new footing excavations and concrete slab-on-grade areas. Localized deepening of footing excavations may be required to penetrate loose, wet, or deleterious materials.

PBS recommends a layer of compacted, crushed rock be placed over the footing subgrades to help protect them from disturbance due to foot traffic and the elements. Placement of this rock is the prerogative of the contractor; regardless, the footing subgrade should be in a dense or stiff condition prior to pouring concrete. Based on our experience, approximately 4 inches of compacted crushed rock will be suitable beneath the footings.

**3.2.4 Lateral Resistance**

Lateral loads can be resisted by passive earth pressure on the sides of footings and grade beams, and by friction at the base of the footings. A passive earth pressure of 250 pounds per cubic foot (pcf) may be used for footings confined by native soils and new structural fills. The allowable passive pressure has been reduced by a factor of two to account for the large amount of deformation required to mobilize full passive resistance. Adjacent floor slabs, pavements, or the upper 12-inch depth of adjacent unpaved areas should not be considered when calculating passive resistance. For footings supported on native soils or new structural fills, use a coefficient of friction equal to 0.35 when calculating resistance to sliding. These values do not include a factor of safety (FS).

**3.3 Floor Slabs**

Satisfactory subgrade support for building floor slabs can be obtained from the native clayey gravel or structural fill underlain by clayey gravel subgrade prepared in accordance with our recommendations presented in the Site Preparation, Wet/Freezing Weather and Wet Soil Conditions, and Select Granular Fill sections of this report. A minimum 6-inch-thick layer of imported granular material should be placed and compacted over the prepared subgrade. Imported granular material should be composed of crushed rock or crushed gravel that is relatively well graded between coarse and fine, contains no deleterious materials, has a maximum particle size of 1 inch, and has less than 5 percent by dry weight passing the US Standard No. 200 Sieve.

Floor slabs supported on a structural fill subgrade and base course prepared in accordance with the preceding recommendations may be designed using a modulus of subgrade reaction (k) of 150 pounds per cubic inch (pci).

**3.4 Seismic Design Considerations****3.4.1 Code-Based Seismic Design Parameters**

The current seismic design criteria for this project are based on the 2014 Oregon Structural Specialty Code (OSSC). Based on our explorations and experience in the vicinity of the site, Site Class D is appropriate for use in design. The seismic design criteria, in accordance with the 2014 OSSC, are summarized in Table 2.



**Table 2. 2014 OSSC Seismic Design Parameters**

| Parameter   | Short Period              | 1 Second                  |
|---|---------------------------|---------------------------|
| Maximum Credible Earthquake Spectral Acceleration | $S_s = 0.93 \text{ g}$    | $S_1 = 0.42 \text{ g}$    |
| Site Class  | D                         |                           |
| Site Coefficient                                  | $F_a = 1.13$              | $F_v = 1.58$              |
| Adjusted Spectral Acceleration                    | $S_{MS} = 1.05 \text{ g}$ | $S_{M1} = 0.66 \text{ g}$ |
| Design Spectral Response Acceleration Parameters  | $S_{DS} = 0.70 \text{ g}$ | $S_{D1} = 0.44 \text{ g}$ |

g = Acceleration due to gravity

**3.5 Ground Moisture****3.5.1 General**

The perimeter ground surface and hard-scape should be sloped to drain away from all structures and away from adjacent slopes. Gutters should be tight-lined to a suitable discharge and maintained as free-flowing. All crawl spaces should be adequately ventilated and sloped to drain to a suitable, exterior discharge.

**3.5.2 Perimeter Footing Drains**

Due to the relatively low permeability of site soils and the potential for shallow perched groundwater at the site, we recommend perimeter foundation drains be installed around all proposed structures if finished grades are below the surrounding streets.

The foundation subdrainage system should include a minimum 4-inch diameter perforated pipe in a drain rock envelope. A non-woven geotextile filter fabric, such as Mirafi 140N or equivalent, should be used to completely wrap the drain rock envelope, separating it from the native soil and footing backfill materials. The invert of the perimeter drain lines should be placed approximately at the bottom of footing elevation. Also, the subdrainage system should be sealed at the ground surface. The perforated subdrainage pipe should be laid to drain by gravity into a non-perforated solid pipe and finally connected to the site drainage stem at a suitable location. Water from downspouts and surface water should be independently collected and routed to a storm sewer or other positive outlet. This water must not be allowed to enter the bearing soils.

**3.5.3 Vapor Flow Retarder**

A continuous, impervious barrier must be installed over the ground surface in the crawl space and under slabs of all structures if finished grades are below the surrounding streets. Barriers should be installed per the manufacturer's recommendations.

**3.6 Pavement Design**

The provided pavement recommendations were developed using the American Association of State Highway and Transportation Officials (AASHTO) design methods and references the associated Oregon Department of Transportation (ODOT) specifications for construction. Our evaluation considered a maximum of two garbage/delivery trucks per day for a 20-year design life.

The minimum recommended pavement section thicknesses are provided in Table 3. Depending on weather conditions at the time of construction, a thicker aggregate base course section could be required to support construction traffic during preparation and placement of the pavement section.



**Table 3. Minimum AC Pavement Sections**

| <b>Traffic Loading</b>       | <b>AC (inches)</b> | <b>Base Course (inches)</b> | <b>Subgrade</b>                             |
|------------------------------|--------------------|-----------------------------|---|
| Pull-in Car Parking Only     | 2.5                | 6                           | Firm subgrade as verified by PBS personnel* |
| Drive Lanes and Access Roads | 3                  | 9                           |   |

\* Subgrade must pass proofroll

The asphalt cement binder should be selected following ODOT SS 00744.11 – Asphalt Cement and Additives. The AC should consist of ½-inch hot mix asphalt concrete (HMAC) with a maximum lift thickness of 3 inches. The AC should conform to ODOT SS 00744.13 and 00744.14 and be compacted to 91 percent of the maximum theoretical density (Rice value) of the mix, as determined in accordance with ASTM D2041.

Heavy construction traffic on new pavements or partial pavement sections (such as base course over the prepared subgrade) will likely exceed the design loads and could potentially damage or shorten the pavement life; therefore, we recommend construction traffic not be allowed on new pavements, or that the contractor take appropriate precautions to protect the subgrade and pavement during construction.

If construction traffic is to be allowed on newly constructed road sections, an allowance for this additional traffic will need to be made in the design pavement section.

## **4 CONSTRUCTION RECOMMENDATIONS**

### **4.1 Site Preparation**

Construction of the proposed structure will involve clearing and grubbing of the existing vegetation and removal of soft organic soil and undocumented fill where encountered. Demolition should include removal of existing utilities, etc., throughout the proposed new development. Underground utility lines or other abandoned structural elements should also be removed. The voids resulting from removal of foundations or loose soil in utility lines should be backfilled with compacted structural fill. The base of these excavations should be excavated to firm native subgrade before filling, with sides sloped at a minimum of 1H:1V to allow for uniform compaction. Materials generated during demolition should be transported off site or stockpiled in areas designated by the owner's representative.

#### **4.1.1 Proofrolling/Subgrade Verification**

Following site preparation and prior to placing aggregate base over shallow foundation, floor slab, and pavement subgrades, the exposed subgrade should be evaluated either by proofrolling or another method of subgrade verification. The subgrade should be proofrolled with a fully loaded dump truck or similar heavy, rubber-tire construction equipment to identify unsuitable areas. If evaluation of the subgrades occurs during wet conditions, or if proofrolling the subgrades will result in disturbance, they should be evaluated by PBS using a steel foundation probe. We recommend that PBS be retained to observe the proofrolling and perform the subgrade verifications. Unsuitable areas identified during the field evaluation should be compacted to a firm condition or be excavated and replaced with structural fill.

#### **4.1.2 Wet/Freezing Weather and Wet Soil Conditions**

Due to the presence of fine-grained clay in the near-surface materials at the site, construction equipment may have difficulty operating on the near-surface soils when the moisture content of the surface soil is more than a few percentage points above the optimum moisture required for compaction. Soils disturbed during site



preparation activities, or unsuitable areas identified during proofrolling or probing, should be removed and replaced with compacted structural fill.

Site earthwork and subgrade preparation should not be completed during freezing conditions, except for mass excavation to the subgrade design elevations.

Protection of the subgrade is the responsibility of the contractor. Construction of granular haul roads to the project site entrance may help reduce further damage to the pavement and disturbance of site soils. The actual thickness of haul roads and staging areas should be based on the contractors' approach to site development, and the amount and type of construction traffic. The imported granular material should be placed in one lift over the prepared undisturbed subgrade and compacted using a smooth-drum, non-vibratory roller. A geotextile fabric should be used to separate the subgrade from the imported granular material in areas of repeated construction traffic. The geotextile should meet the specifications of ODOT SS Section 02320.10 and SS 02320.20, Table 02320-1 for soil separation. The geotextile should be installed in conformance with ODOT SS 00350.00 – Geosynthetic Installation.

#### **4.1.3 Dry Weather Conditions**

Clay soils should be covered within 4 hours of exposure by a minimum of 4 inches of crushed rock or plastic sheeting during the dry season. Exposure of these materials should be coordinated with the geotechnical engineer so that the subgrade suitability can be evaluated prior to being covered.

#### **4.2 Excavation**

The near-surface soils at the site can be excavated with conventional earthwork equipment. Sloughing and caving should be anticipated. All excavations should be made in accordance with applicable Occupational Safety and Health Administration (OSHA) and state regulations. The contractor is solely responsible for adherence to the OSHA requirements. Trench cuts should stand relatively vertical to a depth of approximately 4 feet bgs, provided no groundwater seepage is present in the trench walls. Open excavation techniques may be used provided the excavation is configured in accordance with the OSHA requirements, groundwater seepage is not present, and with the understanding that some sloughing may occur. Trenches/excavations should be flattened if sloughing occurs or seepage is present. Use of a trench shield or other approved temporary shoring is recommended if vertical walls are desired for cuts deeper than 4 feet bgs. If dewatering is used, we recommend that the type and design of the dewatering system be the responsibility of the contractor, who is in the best position to choose systems that fit the overall plan of operation. Larger excavation equipment may necessary if deeper utilities extend into the gravel and cobbles at the site.

#### **4.3 Structural Fill**

The extent of site grading is currently unknown; however, PBS estimates that cuts will be limited to depths necessary to remove organic soil and undocumented fill and fills will be on the order 5 to 8 feet to raise the grades within the proposed site. Structural fill should be placed over subgrade that has been prepared in conformance with the Site Preparation and Wet/Freezing Weather and Wet Soil Conditions sections of this report. Structural fill material should consist of relatively well-graded soil, or an approved rock product that is free of organic material and debris, and contains particles not greater than 3 inches nominal dimension.

The suitability of soil for use as compacted structural fill will depend on the gradation and moisture content of the soil when it is placed. As the amount of fines (material finer than the US Standard No. 200 Sieve) increases, soil becomes increasingly sensitive to small changes in moisture content and compaction becomes more difficult to achieve. Soils containing more than about 5 percent fines cannot consistently be compacted to a



dense, non-yielding condition when the water content is significantly greater (or significantly less) than optimum.

If fill and excavated material will be placed on slopes steeper than 5H:1V, these must be keyed/benched into the existing slopes and installed in horizontal lifts. Vertical steps between benches should be approximately 2 feet.

#### **4.3.1 On-Site Soil**

On-site soils encountered in our explorations consist primarily of clay and soils containing clay, which may be difficult to use as structural fill, except during extended periods of dry weather. Even with construction during the dry summer grading season, drying soils to near the optimum moisture content for compaction could take several days of frequent aeration. Subsequently, reusing on-site soils as structural fill is not recommended.

#### **4.3.2 Borrow Material**

Borrow material for general structural fill construction should meet the requirements set forth in ODOT SS 00330.12 – Borrow Material. When used as structural fill, borrow material should be placed in lifts with a maximum uncompacted thickness of approximately 8 inches and compacted to not less than 92 percent of the maximum dry density, as determined by ASTM D1557.

#### **4.3.3 Select Granular Fill**

Selected granular backfill used during periods of wet weather for structural fill construction should meet the specifications provided in ODOT SS 00330.14 – Selected Granular Backfill. The imported granular material should be uniformly moisture conditioned to within about 2 percent of the optimum moisture content and compacted in relatively thin lifts using suitable mechanical compaction equipment. Selected granular backfill should be placed in lifts with a maximum uncompacted thickness of 8 to 12 inches and be compacted to not less than 95 percent of the maximum dry density, as determined by ASTM D1557.

#### **4.3.4 Crushed Aggregate Base**

Crushed aggregate base course below floor slabs, spread footings, and asphalt concrete pavements should be clean crushed rock or crushed gravel that contains no deleterious materials and meets the specifications provided in ODOT SS 02630.10 – Dense-Graded Aggregate, and has less than 5 percent by dry weight passing the US Standard No. 200 Sieve. The crushed aggregate base course should be placed in lifts with a maximum uncompacted thickness of 8 to 12 inches and be compacted to at least 95 percent of the maximum dry density, as determined by ASTM D1557.

#### **4.3.5 Utility Trench Backfill**

Pipe bedding placed to uniformly support the barrel of pipe should meet specifications provided in ODOT SS 00405.12 – Pipe Zone Bedding. The pipe zone that extends from the top of the bedding to at least 8 inches above utility lines should consist of material prescribed by ODOT SS 00405.13 – Pipe Zone Material. The pipe zone material should be compacted to at least 90 percent of the maximum dry density, as determined by ASTM D1557, or as required by the pipe manufacturer.

Under pavements, paths, slabs, or beneath building pads, the remainder of the trench backfill should consist of well-graded granular material with less than 10 percent by dry weight passing the US Standard No. 200 Sieve, and should meet standards prescribed by ODOT SS 00405.14 – Trench Backfill, Class B or D. This material should be compacted to at least 92 percent of the maximum dry density, as determined by ASTM D1557 or as required by the pipe manufacturer. The upper 2 feet of the trench backfill should be compacted to at least 95



percent of the maximum dry density, as determined by ASTM D1557. Controlled low-strength material (CLSM), ODOT SS 00405.14 – Trench Backfill, Class E, can be used as an alternative.

Outside of structural improvement areas (e.g., pavements, sidewalks, or building pads), trench material placed above the pipe zone may consist of general structural fill materials that are free of organics and meet ODOT SS 00405.14 – Trench Backfill, Class A. This general trench backfill should be compacted to at least 90 percent of the maximum dry density, as determined by ASTM D1557, or as required by the pipe manufacturer or local jurisdictions.

#### **4.3.6 Stabilization Material**

Stabilization rock should consist of pit or quarry run rock that is well-graded, angular, crushed rock consisting of 4- or 6-inch-minus material with less than 5 percent passing the US Standard No. 4 Sieve. The material should be free of organic matter and other deleterious material. ODOT SS 00330.16 – Stone Embankment Material can be used as a general specification for this material with the stipulation of limiting the maximum size to 6 inches.

### **5 ADDITIONAL SERVICES AND CONSTRUCTION OBSERVATIONS**

In most cases, other services beyond completion of a final geotechnical engineering report are necessary or desirable to complete the project. Occasionally, conditions or circumstances arise that require additional work that was not anticipated when the geotechnical report was written. PBS offers a range of environmental, geological, geotechnical, and construction services to suit the varying needs of our clients.

PBS should be retained to review the plans and specifications for this project before they are finalized. Such a review allows us to verify that our recommendations and concerns have been adequately addressed in the design.

Satisfactory earthwork performance depends on the quality of construction. Sufficient observation of the contractor's activities is a key part of determining that the work is completed in accordance with the construction drawings and specifications. We recommend that PBS be retained to observe general excavation, stripping, fill placement, footing subgrades, and/or pile installation. Subsurface conditions observed during construction should be compared with those encountered during the subsurface explorations. Recognition of changed conditions requires experience; therefore, qualified personnel should visit the site with sufficient frequency to detect whether subsurface conditions change significantly from those anticipated.

### **6 LIMITATIONS**

This report has been prepared for the exclusive use of the addressee, and their architects and engineers, for aiding in the design and construction of the proposed development and is not to be relied upon by other parties. It is not to be photographed, photocopied, or similarly reproduced, in total or in part, without express written consent of the client and PBS. It is the addressee's responsibility to provide this report to the appropriate design professionals, building officials, and contractors to ensure correct implementation of the recommendations.

The opinions, comments, and conclusions presented in this report are based upon information derived from our literature review, field explorations, laboratory testing, and engineering analyses. It is possible that soil, rock, or groundwater conditions could vary between or beyond the points explored. If soil, rock, or groundwater conditions are encountered during construction that differ from those described herein, the client is responsible for ensuring that PBS is notified immediately so that we may reevaluate the recommendations of this report.



Unanticipated fill, soil and rock conditions, and seasonal soil moisture and groundwater variations are commonly encountered and cannot be fully determined by merely taking soil samples or completing explorations such as test pits. Such variations may result in changes to our recommendations and may require additional funds for expenses to attain a properly constructed project; therefore, we recommend a contingency fund to accommodate such potential extra costs.

The scope of work for this subsurface exploration and geotechnical report did not include environmental assessments or evaluations regarding the presence or absence of wetlands or hazardous substances in the soil, surface water, or groundwater at this site.

If there is a substantial lapse of time between the submission of this report and the start of work at the site, if conditions have changed due to natural causes or construction operations at or adjacent to the site, or if the basic project scheme is significantly modified from that assumed, this report should be reviewed to determine the applicability of the conclusions and recommendations presented herein. Land use, site conditions (both on and off site), or other factors may change over time and could materially affect our findings; therefore, this report should not be relied upon after three years from its issue, or in the event that the site conditions change.



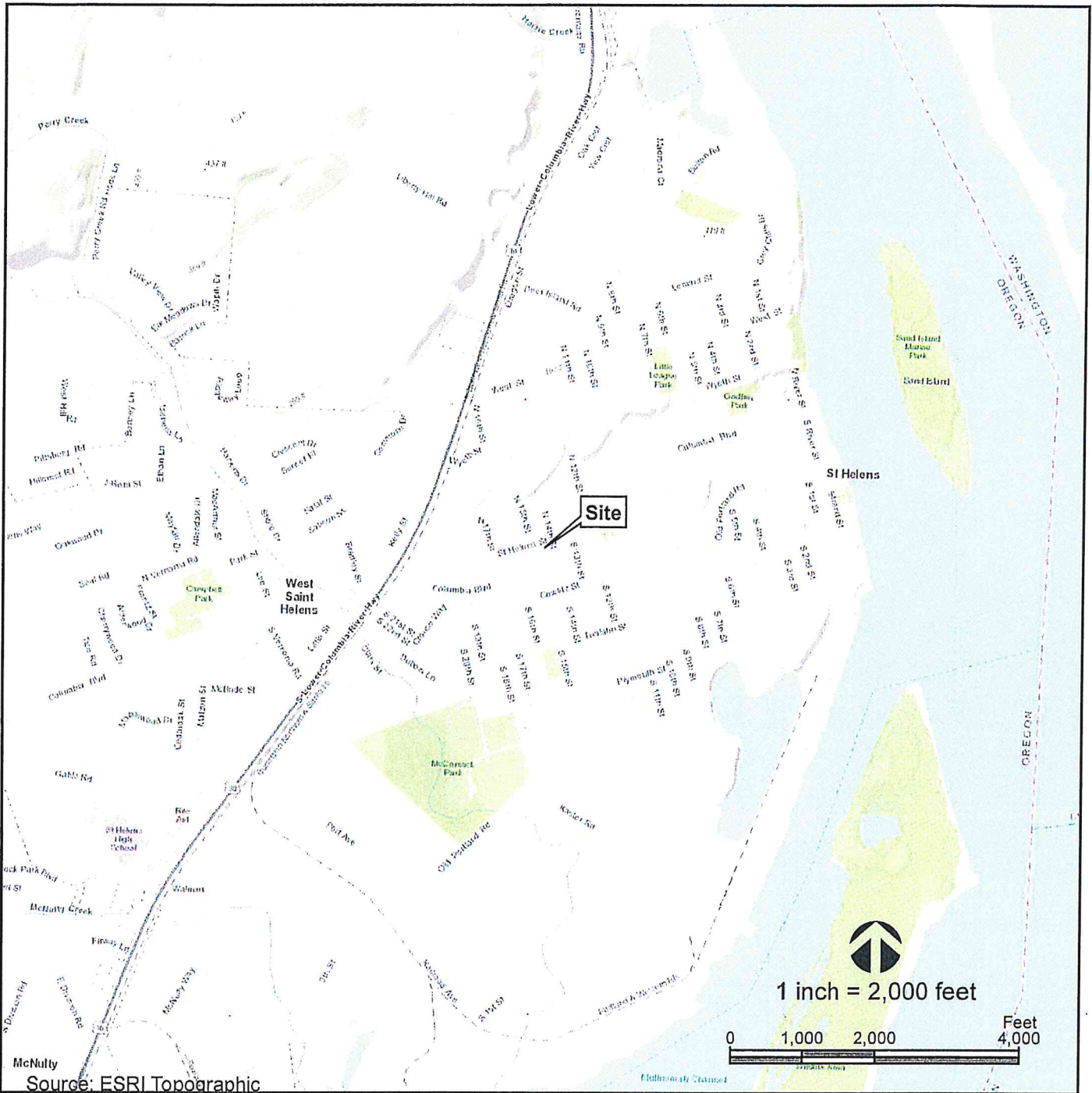
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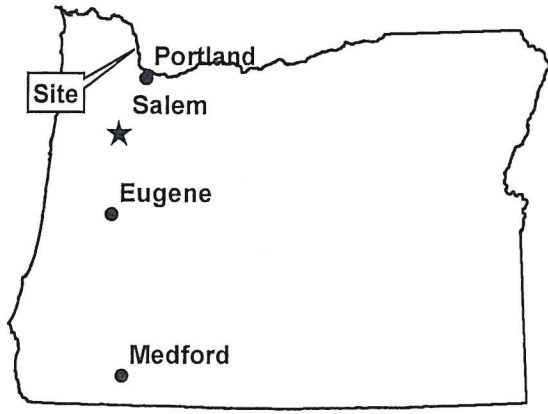


## Figures





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# VICINITY MAP

## COLUMBIA VETERINARY CLINIC ST. HELENS, OREGON

DATE: SEP 2018 · PROJECT: 74004.002



FIGURE

1





**EXPLANATION**

- TP-1 - Approximate test pit
- TP / IT-2 - Approximate test pit and infiltration test location
- Approximate site boundary

SOURCES: Google Earth 20187



1 inch = 50 feet



**SITE PLAN**

**COLUMBIA VETERINARY CLINIC  
ST. HELENS, OREGON**

DATE: SEP 2018 - PROJECT: 74004.002

FIGURE

**2**





# Appendix A

## Field Explorations



## Appendix A: Field Explorations

### A1 GENERAL

PBS explored subsurface conditions at the project site by excavating four test pits to depths of up to 9.5 feet bgs on August 7, 2018. The approximate locations of the explorations are shown on Figure 2, Site Plan. The procedures used to advance the test pits, collect samples, and other field techniques are described in detail in the following paragraphs. Unless otherwise noted, all soil sampling and classification procedures followed engineering practices in general accordance with relevant ASTM procedures. "General accordance" means that certain local drilling/excavation and descriptive practices and methodologies have been followed.

### A2 TEST PITS

#### A2.1 Excavation

Test pits were excavated using a Case 580 backhoe equipped with a 24-inch-wide, toothed bucket provided and operated by Dan J. Fisher Excavating, Inc., of Forest Grove, Oregon. The test pits were observed by a member of the PBS geotechnical staff, who maintained a detailed log of the subsurface conditions and materials encountered during the course of the work.

#### A2.2 Sampling

Representative disturbed samples were taken at selected depths in the test pits. The disturbed soil samples were examined by a member of the PBS geotechnical staff and sealed in plastic bags for further examination.

#### A2.3 Test Pit Logs

The test pit logs show the various types of materials that were encountered in the excavations and the depths where the materials and/or characteristics of these materials changed, although the changes may be gradual. Where material types and descriptions changed between samples, the contacts were interpreted. The types of samples taken during excavation, along with their sample identification number, are shown to the right of the classification of materials. The natural water (moisture) contents are shown farther to the right. Measured seepage levels, if observed, are noted in the column to the right.

### A3 MATERIAL DESCRIPTION

Initially, samples were classified visually in the field. Consistency, color, relative moisture, degree of plasticity, and other distinguishing characteristics of the soil samples were noted. Afterward, the samples were reexamined in the PBS laboratory, various standard classification tests were conducted, and the field classifications were modified where necessary. The terminology used in the soil classifications and other modifiers are defined in Table A-1, Terminology Used to Describe Soil.





**Table A-1**  
**Terminology Used to Describe Soil**  
1 of 2

## Soil Descriptions

Soils exist in mixtures with varying proportions of components. The predominant soil, i.e., greater than 50 percent based on total dry weight, is the primary soil type and is capitalized in our log descriptions (SAND, GRAVEL, SILT, or CLAY). Smaller percentages of other constituents in the soil mixture are indicated by use of modifier words in general accordance with the ASTM D2488-06 Visual-Manual Procedure. "General Accordance" means that certain local and common descriptive practices may have been followed. In accordance with ASTM D2488-06, group symbols (such as GP or CH) are applied on the portion of soil passing the 3-inch (75mm) sieve based on visual examination. The following describes the use of soil names and modifying terms used to describe fine- and coarse-grained soils.

### Fine-Grained Soils (50% or greater fines passing 0.075 mm, No. 200 sieve)

The primary soil type, i.e., SILT or CLAY is designated through visual-manual procedures to evaluate soil toughness, dilatency, dry strength, and plasticity. The following outlines the terminology used to describe fine-grained soils, and varies from ASTM D2488 terminology in the use of some common terms.

| Primary soil NAME, Symbols, and Adjectives |                           |                                   | Plasticity Description | Plasticity Index (PI) |
|--|---------------------------|-----------------------------------|------------------------|-----------------------|
| <b>SILT (ML &amp; MH)</b>                  | <b>CLAY (CL &amp; CH)</b> | <b>ORGANIC SOIL (OL &amp; OH)</b> |                        |                       |
| SILT                                       |                           | Organic SILT                      | Non-plastic            | 0 – 3                 |
| SILT                                       |                           | Organic SILT                      | Low plasticity         | 4 – 10                |
| SILT/Elastic SILT                          | Lean CLAY                 | Organic SILT/ Organic CLAY        | Medium Plasticity      | 10 – 20               |
| Elastic SILT                               | Lean/Fat CLAY             | Organic CLAY                      | High Plasticity        | 20 – 40               |
| Elastic SILT                               | Fat CLAY                  | Organic CLAY                      | Very Plastic           | >40                   |

Modifying terms describing secondary constituents, estimated to 5 percent increments, are applied as follows:

| Description        | % Composition          |                                |
|--------------------|------------------------|--------------------------------|
| <b>With Sand</b>   | % Sand $\geq$ % Gravel | 15% to 25% plus No. 200        |
| <b>With Gravel</b> | % Sand < % Gravel      |                                |
| <b>Sandy</b>       | % Sand $\geq$ % Gravel | $\leq$ 30% to 50% plus No. 200 |
| <b>Gravelly</b>    | % Sand < % Gravel      |                                |

**Borderline Symbols**, for example CH/MH, are used when soils are not distinctly in one category or when variable soil units contain more than one soil type. **Dual Symbols**, for example CL-ML, are used when two symbols are required in accordance with ASTM D2488.

**Soil Consistency** terms are applied to fine-grained, plastic soils (i.e.,  $PI \geq 7$ ). Descriptive terms are based on direct measure or correlation to the Standard Penetration Test N-value as determined by ASTM D1586-84, as follows. SILT soils with low to non-plastic behavior (i.e.,  $PI < 7$ ) may be classified using relative density.

| Consistency Term    | SPT N-value | Unconfined Compressive Strength |              |
|---------------------|-------------|---------------------------------|--------------|
|                     |             | tsf                             | kPa          |
| <b>Very soft</b>    | Less than 2 | Less than 0.25                  | Less than 24 |
| <b>Soft</b>         | 2 – 4       | 0.25 – 0.5                      | 24 – 48      |
| <b>Medium stiff</b> | 5 – 8       | 0.5 – 1.0                       | 48 – 96      |
| <b>Stiff</b>        | 9 – 15      | 1.0 – 2.0                       | 96 – 192     |
| <b>Very stiff</b>   | 16 – 30     | 2.0 – 4.0                       | 192 – 383    |
| <b>Hard</b>         | Over 30     | Over 4.0                        | Over 383     |





**Table A-1**  
**Terminology Used to Describe Soil**  
2 of 2

## Soil Descriptions

### Coarse - Grained Soils (less than 50% fines)

Coarse-grained soil descriptions, i.e., SAND or GRAVEL, are based on the portion of materials passing a 3-inch (75mm) sieve. Coarse-grained soil group symbols are applied in accordance with ASTM D2488-06 based on the degree of grading, or distribution of grain sizes of the soil. For example, well-graded sand containing a wide range of grain sizes is designated SW; poorly graded gravel, GP, contains high percentages of only certain grain sizes. Terms applied to grain sizes follow.

| Material NAME                   | Particle Diameter |             |
|---------------------------------|-------------------|-------------|
|                                 | Inches            | Millimeters |
| <b>SAND (SW or SP)</b>          | 0.003 – 0.19      | 0.075 – 4.8 |
| <b>GRAVEL (GW or GP)</b>        | 0.19 – 3          | 4.8 – 75    |
| <b>Additional Constituents:</b> |                   |             |
| <b>Cobble</b>                   | 3 – 12            | 75 – 300    |
| <b>Boulder</b>                  | 12 – 120          | 300 – 3050  |

The primary soil type is capitalized, and the fines content in the soil are described as indicated by the following examples. Percentages are based on estimating amounts of fines, sand, and gravel to the nearest 5 percent. Other soil mixtures will have similar descriptive names.

#### Example: Coarse-Grained Soil Descriptions with Fines

| >5% to < 15% fines (Dual Symbols)   | ≥15% to < 50% fines |
|-------------------------------------|---------------------|
| Well graded GRAVEL with silt: GW-GM | Silty GRAVEL: GM    |
| Poorly graded SAND with clay: SP-SC | Silty SAND: SM      |

Additional descriptive terminology applied to coarse-grained soils follow.

#### Example: Coarse-Grained Soil Descriptions with Other Coarse-Grained Constituents

| Coarse-Grained Soil Containing Secondary Constituents |                                    |
|---|------------------------------------|
| <b>With sand or with gravel</b>                       | ≥ 15% sand or gravel               |
| <b>With cobbles; with boulders</b>                    | Any amount of cobbles or boulders. |

Cobble and boulder deposits may include a description of the matrix soils, as defined above.

**Relative Density** terms are applied to granular, non-plastic soils based on direct measure or correlation to the Standard Penetration Test N-value as determined by ASTM D1586-84.

| Relative Density Term | SPT N-value |
|-----------------------|-------------|
| <b>Very loose</b>     | 0 – 4       |
| <b>Loose</b>          | 5 – 10      |
| <b>Medium dense</b>   | 11 – 30     |
| <b>Dense</b>          | 31 – 50     |
| <b>Very dense</b>     | > 50        |





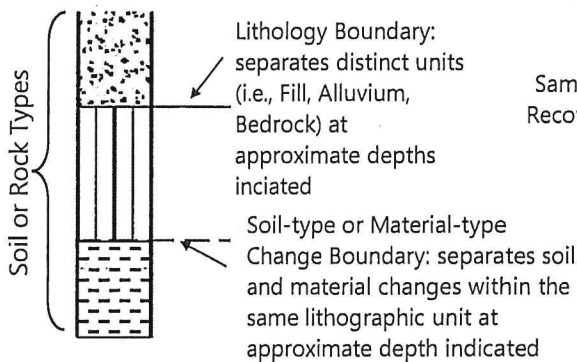
**Table A-2**  
**Key To Test Pit and Boring Log Symbols**

### SAMPLING DESCRIPTIONS

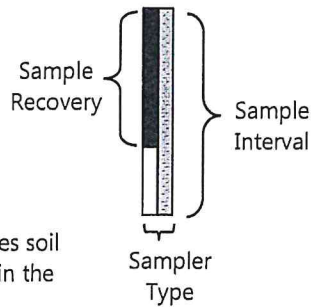
|   |   |   |   |             |                      |                                   |   |  |
|---|---|---|---|-------------|----------------------|-----------------------------------|---|--|
| SPT Drive Sampler<br>Standard Penetration Test<br>ASTM D 1586 | Shelby Tube Push Sampler<br>ASTM D 1587 | Specialized Drive Samplers<br>(Details Noted on Logs) | Specialized Drill or Push<br>Sampler (Details Noted on<br>Logs) | Grab Sample | Rock Coring Interval | Screen<br>(Water or Air Sampling) | Water Level During<br>Drilling/Excavation | Water Level After<br>Drilling/Excavation |
|   |   |   |   |             |                      |                                   |   |  |

### LOG GRAPHICS

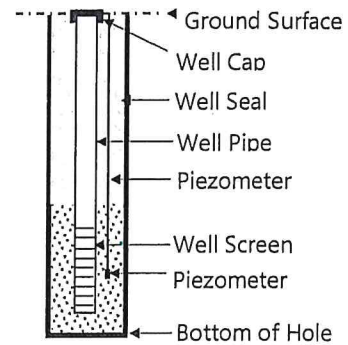
#### Soil and Rock



#### Sampling Symbols



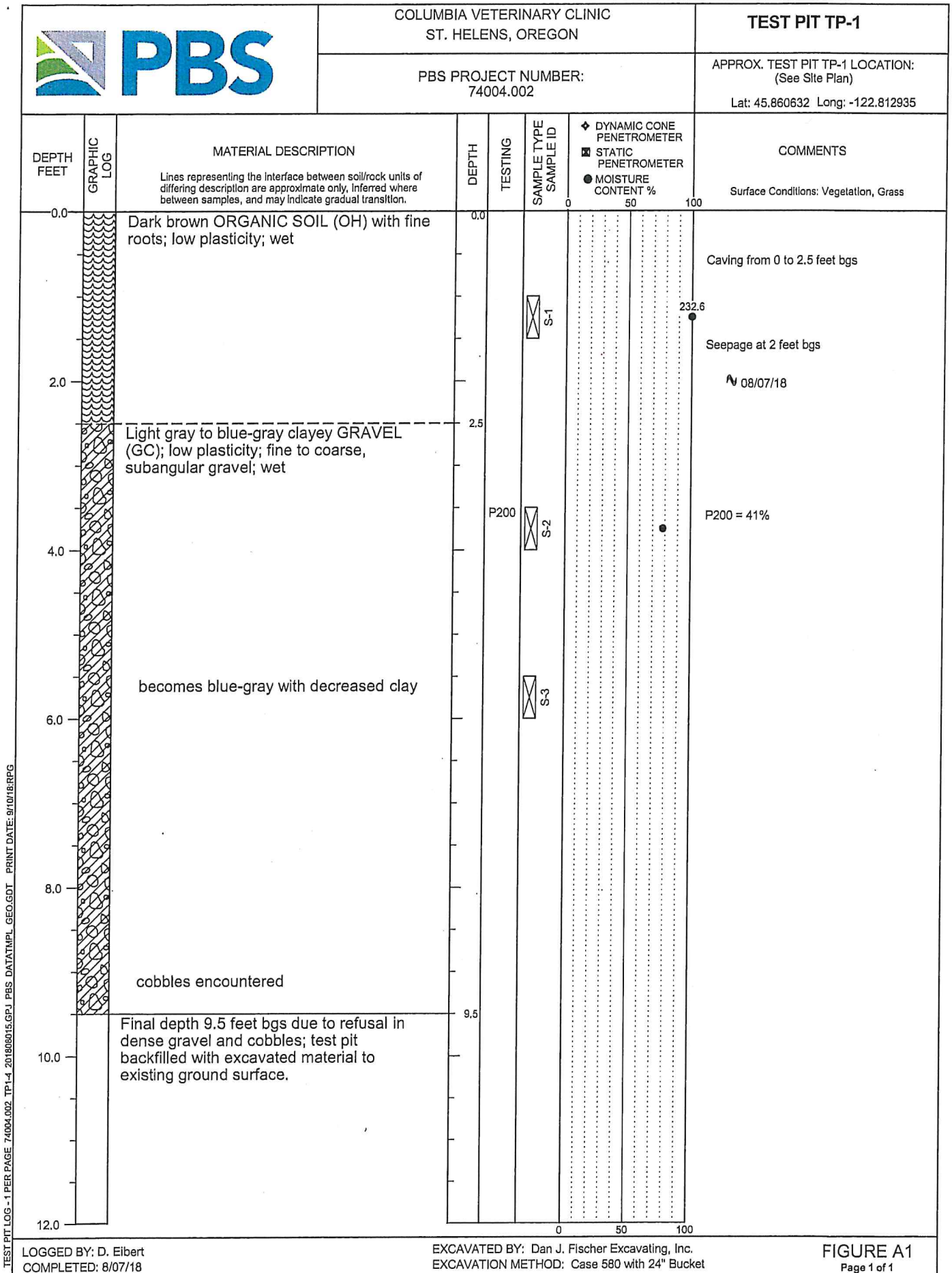
#### Instrumentation Detail



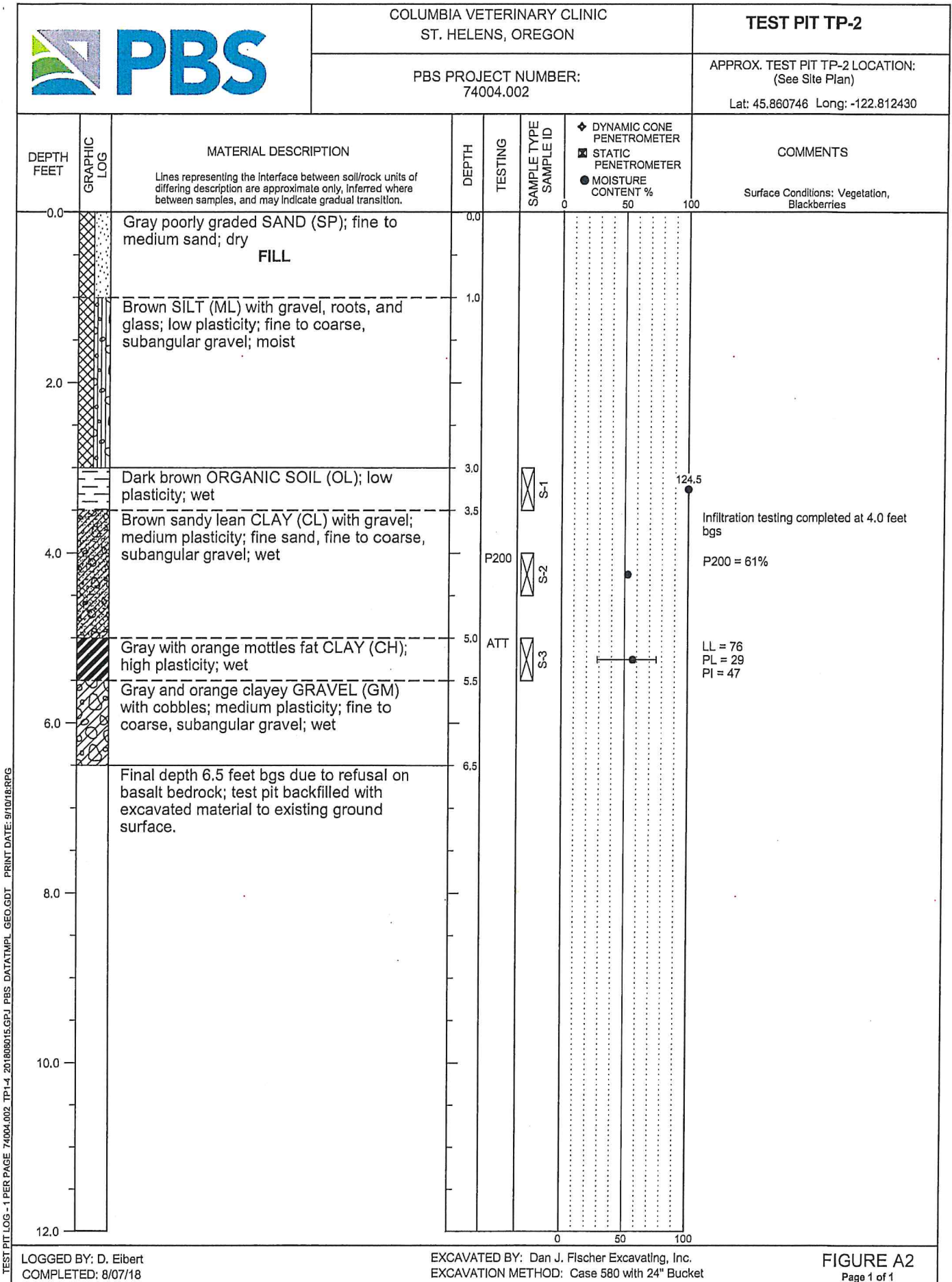
### Geotechnical Testing Acronym Explanations

|      |   |      |                          |
|------|---|------|--------------------------|
| PP   | Pocket Penetrometer                       | HYD  | Hydrometer Gradation     |
| TOR  | Torvane                                   | SIEV | Sieve Gradation          |
| DCP  | Dynamic Cone Penetrometer                 | DS   | Direct Shear             |
| ATT  | Atterberg Limits                          | DD   | Dry Density              |
| PL   | Plasticity Limit                          | CBR  | California Bearing Ratio |
| LL   | Liquid Limit                              | RES  | Resilient Modulus        |
| PI   | Plasticity Index                          | VS   | Vane Shear               |
| P200 | Percent Passing US Standard No. 200 Sieve | bgs  | Below ground surface     |
| OC   | Organic Content                           | MSL  | Mean Sea Level           |
| CON  | Consolidation                             | HCL  | Hydrochloric Acid        |
| UC   | Unconfined Compressive Strength           |      |                          |









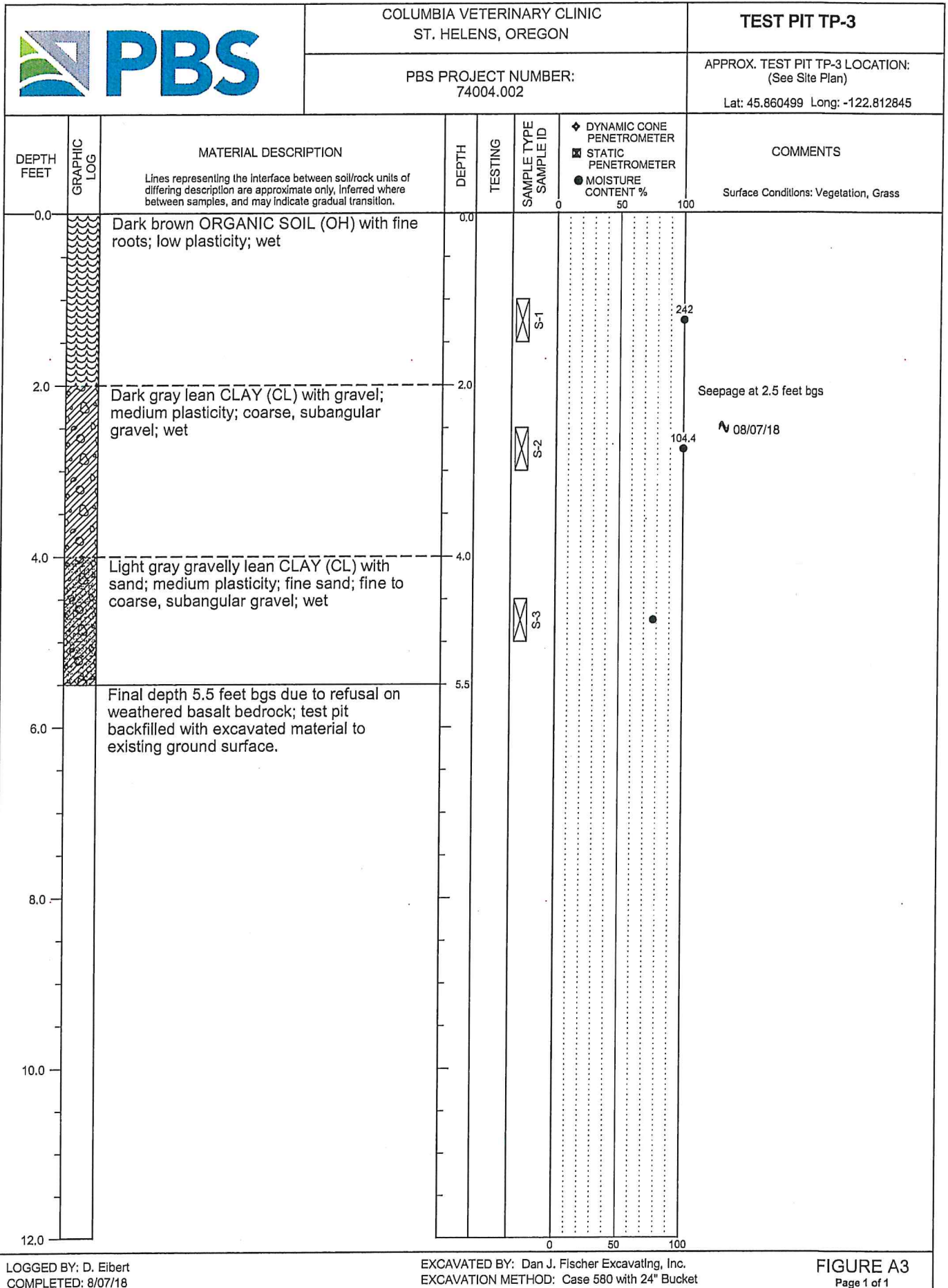
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COMPLETED: 8/07/18

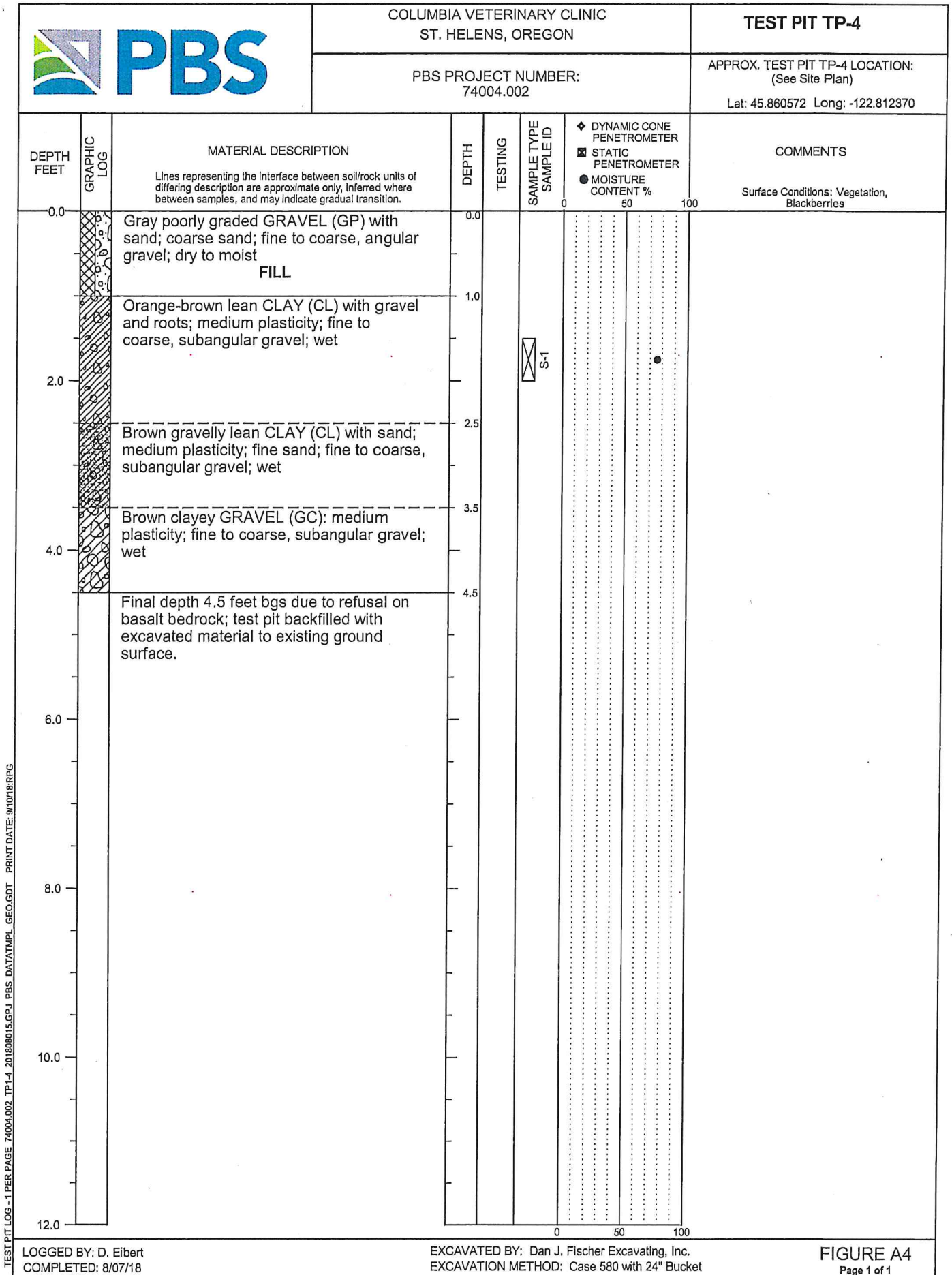
EXCAVATED BY: Dan J. Fischer Excavating, Inc.  
EXCAVATION METHOD: Case 580 with 24" Bucket

FIGURE A2  
Page 1 of 1









TEST PIT LOG - 1 PER PAGE 74004.002 TP-1-4 201808015.GPJ PBS DATATMPL GEO.GDT PRINT DATE: 9/10/18RPG

LOGGED BY: D. Eibert  
COMPLETED: 8/07/18

EXCAVATED BY: Dan J. Fischer Excavating, Inc.  
EXCAVATION METHOD: Case 580 with 24" Bucket

FIGURE A4  
Page 1 of 1



## **Appendix B**

### **Laboratory Testing**



## **Appendix B: Laboratory Testing**

### **B1 GENERAL**

Samples obtained during the field explorations were examined in the PBS laboratory. The physical characteristics of the samples were noted and field classifications were modified where necessary. During the course of examination, representative samples were selected for further testing. The testing program for the soil samples included standard classification tests, which yield certain index properties of the soils important to an evaluation of soil behavior. The testing procedures are described in the following paragraphs. Unless noted otherwise, all test procedures are in general accordance with applicable ASTM standards. "General accordance" means that certain local and common descriptive practices and methodologies have been followed.

### **B2 CLASSIFICATION TESTS**

#### **B2.1 Visual Classification**

The soils were classified in accordance with the Unified Soil Classification System with certain other terminology, such as the relative density or consistency of the soil deposits, in general accordance with engineering practice. In determining the soil type (that is, gravel, sand, silt, or clay) the term that best described the major portion of the sample is used. Modifying terminology to further describe the samples is defined in Table A-1, Terminology Used to Describe Soil, in Appendix A.

#### **B2.2 Moisture (Water) Contents**

Natural moisture content determinations were made on samples of the fine-grained soils (that is, silts, clays, and silty sands). The natural moisture content is defined as the ratio of the weight of water to dry weight of soil, expressed as a percentage. The results of the moisture content determinations are presented on the logs of the borings in Appendix A and on Figure B2, Summary of Laboratory Data, in Appendix B.

#### **B2.3 Atterberg Limits**

Atterberg limits were determined on select samples for the purpose of classifying soils into various groups for correlation. The results of the Atterberg limits test, which included liquid and plastic limits, are plotted on Figure B1, Atterberg Limits Test Results, and on the explorations logs in Appendix A where applicable.

#### **B2.4 Grain-Size Analyses (P200 Wash)**

Washed sieve analyses (P200) were completed on samples to determine the portion of soil samples passing the No. 200 Sieve (i.e., silt and clay). The results of the P200 test results are presented on the exploration logs in Appendix A and on Figure B2, Summary of Laboratory Data, in Appendix B.



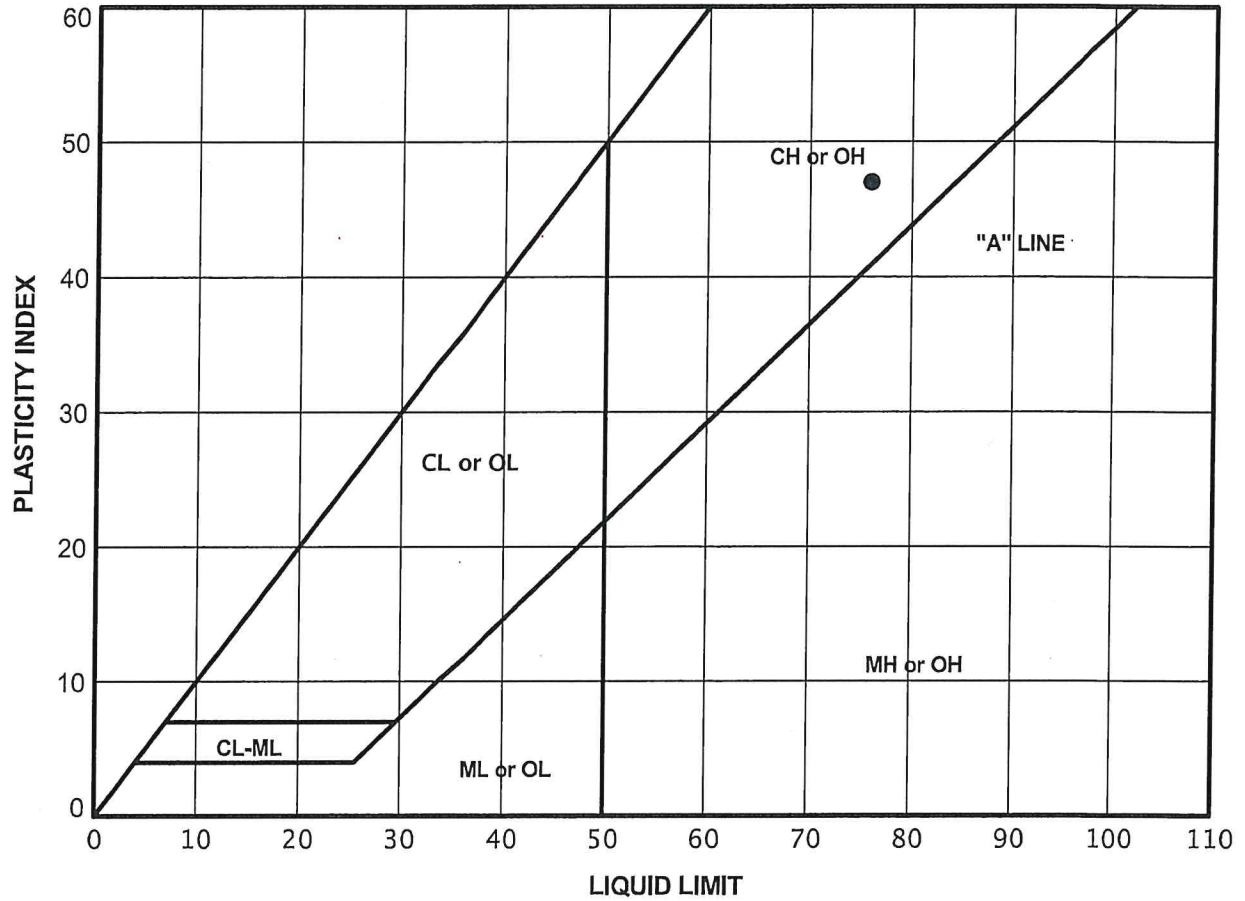


# ATTERBERG LIMITS TEST RESULTS

COLUMBIA VETERINARY CLINIC  
ST. HELENS, OREGON

PBS PROJECT NUMBER:  
74004.002


TEST METHOD: ASTM D4318



| KEY | EXPLORATION NUMBER | SAMPLE NUMBER | SAMPLE DEPTH (FEET) | NATURAL MOISTURE CONTENT (PERCENT) | PERCENT PASSING NO. 40 SIEVE (PERCENT) | LIQUID LIMIT | PLASTIC LIMIT | PLASTICITY INDEX |
|-----|--------------------|---------------|---------------------|------------------------------------|--|--------------|---------------|------------------|
| ●   | TP-2               | S-3           | 5.0                 | 56.6                               | NA                                     | 76           | 29            | 47               |
|     |                    |               |                     |                                    |  |              |               |                  |
|     |                    |               |                     |                                    |  |              |               |                  |
|     |                    |               |                     |                                    |  |              |               |                  |
|     |                    |               |                     |                                    |  |              |               |                  |
|     |                    |               |                     |                                    |  |              |               |                  |
|     |                    |               |                     |                                    |  |              |               |                  |

FIGURE B1



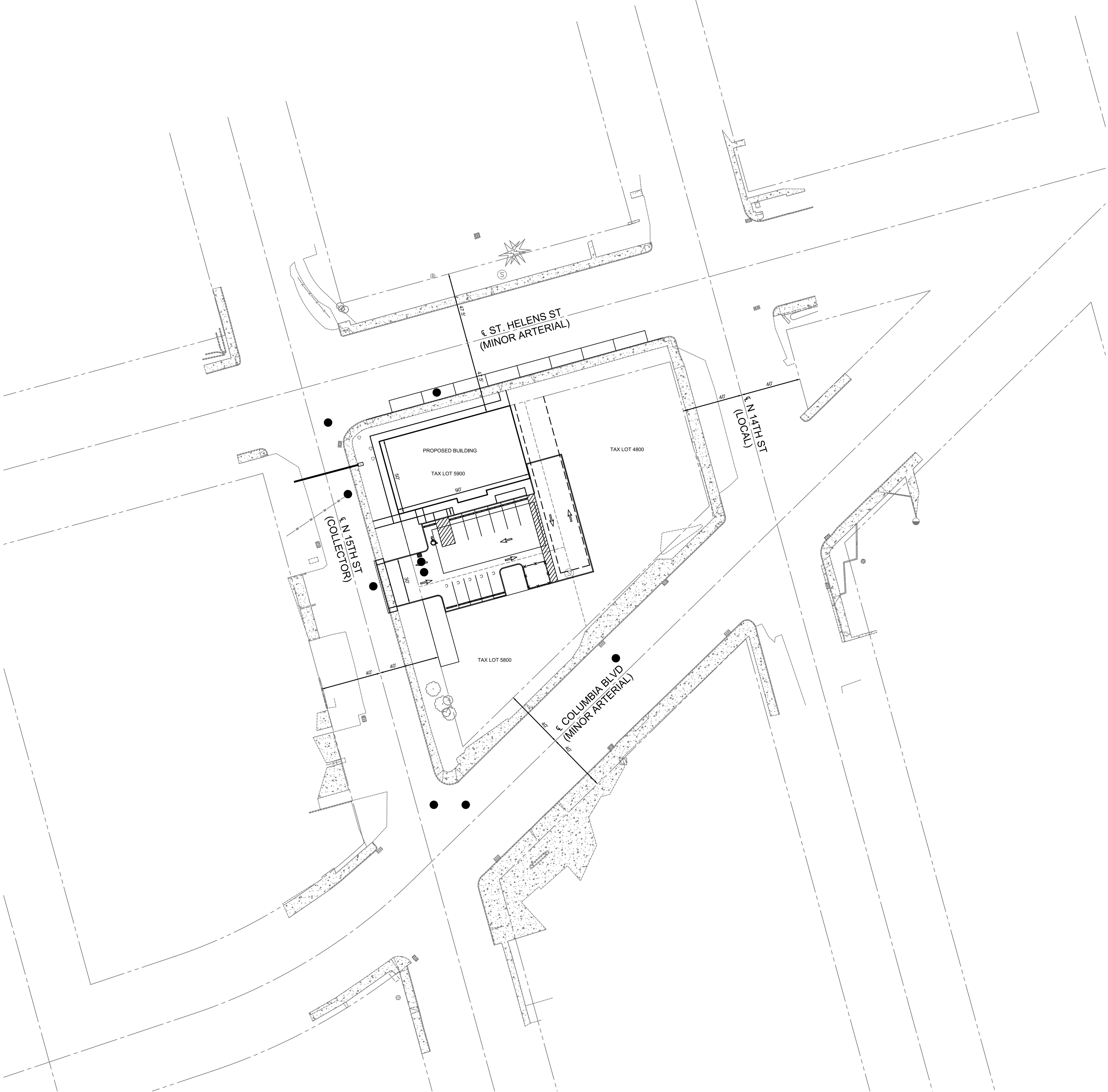
|  |                  |                           |                     | SUMMARY OF LABORATORY DATA                       |                         |                     |                   |                                  |                              |                               |                                  |
|---|------------------|---------------------------|---------------------|--|-------------------------|---------------------|-------------------|----------------------------------|------------------------------|-------------------------------|----------------------------------|
|   |                  |                           |                     | COLUMBIA VETERINARY CLINIC<br>ST. HELENS, OREGON |                         |                     |                   | PBS PROJECT NUMBER:<br>74004.002 |                              |                               |                                  |
| SAMPLE INFORMATION  |                  |                           |                     | MOISTURE<br>CONTENT<br>(PERCENT)                 | DRY<br>DENSITY<br>(PCF) | SIEVE               |                   |                                  | ATTERBERG LIMITS             |                               |                                  |
| EXPLORATION<br>NUMBER   | SAMPLE<br>NUMBER | SAMPLE<br>DEPTH<br>(FEET) | ELEVATION<br>(FEET) |  |                         | GRAVEL<br>(PERCENT) | SAND<br>(PERCENT) | P200<br>(PERCENT)                | LIQUID<br>LIMIT<br>(PERCENT) | PLASTIC<br>LIMIT<br>(PERCENT) | PLASTICITY<br>INDEX<br>(PERCENT) |
| TP-1  | S-1              | 1                         |                     | 232.6  |                         |                     |                   |                                  |                              |                               |                                  |
| TP-1  | S-2              | 3.5                       |                     | 78.1   |                         |                     |                   | 41                               |                              |                               |                                  |
| TP-2  | S-1              | 3                         |                     | 124.5  |                         |                     |                   |                                  |                              |                               |                                  |
| TP-2  | S-2              | 4                         |                     | 52.4   |                         |                     |                   | 61                               |                              |                               |                                  |
| TP-2  | S-3              | 5                         |                     | 56.6   |                         |                     |                   |                                  | 76                           | 29                            | 47                               |
| TP-3  | S-1              | 1                         |                     | 242.0  |                         |                     |                   |                                  |                              |                               |                                  |
| TP-3  | S-2              | 2.5                       |                     | 104.4  |                         |                     |                   |                                  |                              |                               |                                  |
| TP-3  | S-3              | 4.5                       |                     | 77.1   |                         |                     |                   |                                  |                              |                               |                                  |
| TP-4  | S-1              | 1.5                       |                     | 75.8   |                         |                     |                   |                                  |                              |                               |                                  |
|   |                  |                           |                     |  |                         |                     |                   |                                  |                              |                               |                                  |
|   |                  |                           |                     |  |                         |                     |                   |                                  |                              |                               |                                  |
|   |                  |                           |                     |  |                         |                     |                   |                                  |                              |                               |                                  |
|   |                  |                           |                     |  |                         |                     |                   |                                  |                              |                               |                                  |
|   |                  |                           |                     |  |                         |                     |                   |                                  |                              |                               |                                  |
|   |                  |                           |                     |  |                         |                     |                   |                                  |                              |                               |                                  |
|   |                  |                           |                     |  |                         |                     |                   |                                  |                              |                               |                                  |
|   |                  |                           |                     |  |                         |                     |                   |                                  |                              |                               |                                  |
|   |                  |                           |                     |  |                         |                     |                   |                                  |                              |                               |                                  |
|   |                  |                           |                     |  |                         |                     |                   |                                  |                              |                               |                                  |
|   |                  |                           |                     |  |                         |                     |                   |                                  |                              |                               |                                  |

**FIGURE B2**  
Page 1 of 1

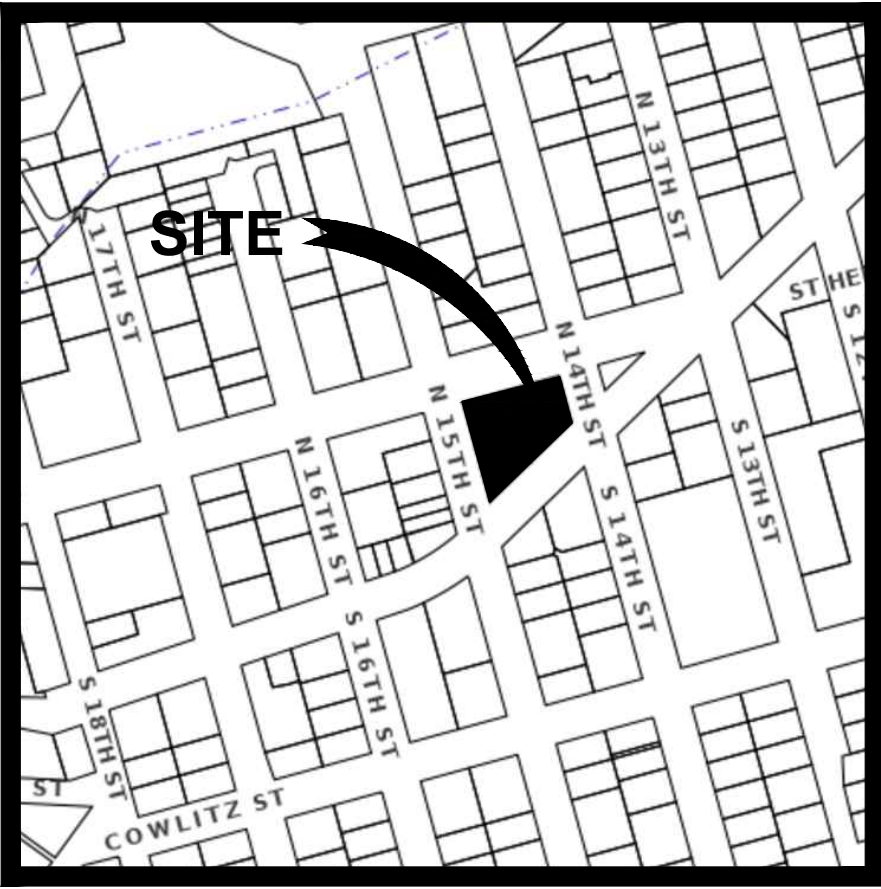


# COLUMBIA VET CLINIC

NE ¼ OF SECTION 4, T4N, R1E, W.M.  
TAX LOTS 5900, 5800, & 4800  
CITY OF ST HELENS, OR



Scale 1" = 40'  
0 20 40 80



VICINITY MAP  
1" = 1,000'

Contact Info:

Applicant:  
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33555 E. Columbia Avenue  
Scappoose, OR 97056  
2xxvet@gmail.com

Planner:  
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**Anne Marie Skinner, Project Planner**  
annemarie.skinner@pbsusa.com  
(503) 248-1939  
(866) 727-0140, fax

Engineer:  
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4412 SW Corbett Avenue  
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**Buck Smith, PE**  
buck.smith@pbsusa.com  
(503) 248-1939  
(866) 727-0140, fax

Surveyor:  
**PBS Engineering and Environmental**  
4412 SW Corbett Avenue  
Portland, OR 97239  
(503) 248-1939

**BENCHMARK:**  
1. THE VERTICAL DATUM FOR THIS SURVEY IS NAVD88.  
808269.30'  
7613185.42'  
ELEVATION=111.17'  
THE VERTICAL BENCHMARK IS A MAG NAIL SET IN ASPHALT LOCATED THE SOUTHEAST CORNER OF S 14TH STREET AND COLUMBIA BOULEVARD, 1.4' WEST OF THE FACE OF THE CURB RAMP, 10.6' SOUTHWEST OF A CATCH BASIN.  
\*ELEVATION WAS ESTABLISHED BY GPS OBSERVATIONS USING THE OREGON REAL-TIME GNSS NETWORK (ORGN) WITH 5 MINUTE OBSERVATIONS.

2. THE BASIS OF BEARINGS FOR THIS SURVEY IS BASED ON GPS OBSERVATIONS USING THE ORGN.  
HORIZONTAL DATUM: NAD 83\_2011  
STATE PLANE COORDINATES (OREGON NORTH ZONE 3601)

**PROPERTY DESCRIPTION:**  
MAP AND TAXLOT ID: 4N1W 4AC 5900, 5800, 4800  
LATITUDE: N 45°51'38"  
LONGITUDE: W 122°48'45"W

THIS DESIGN COMPLIES WITH ORS 92.044(7) IN THAT NO UTILITY INFRASTRUCTURE IS DESIGNED TO BE WITHIN 1-FOOT OF A SURVEY MONUMENT LOCATION SHOWN ON A SUBDIVISION OR PARTITION PLAT. NO DESIGN MODIFICATION OR FINAL FIELD LOCATION CHANGE SHALL BE PERMITTED IF IT WOULD CAUSE ANY UTILITY INFRASTRUCTURE TO BE PLACED WITHIN A PROHIBITED AREA.

| Sheet Index |          |                           |
|-------------|----------|---------------------------|
| Sheet No.   | Sheet ID | Description               |
| 1           | C-001    | Cover                     |
| 2           | C-002    | Legend and Abbreviation   |
| 3           | C-003    | Existing Conditions       |
| 4           | C-004    | Site Plan                 |
| 5           | C-005    | Grading & Erosion Control |
| 6           | C-006    | Utility Plan              |
| 7           | L-001    | Landscape Plan            |
| 8           | L-002    | Landscape Details         |

COVER FOR:

## COLUMBIA VET CLINIC

A SITE LOCATED IN ST HELENS, OREGON





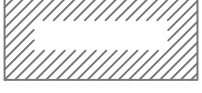



































|                            |
|----------------------------|
| DESIGNED:<br>HH            |
| CHECKED:<br>RBS            |
| 11/02/2018<br>74004.002    |
| SHEET ID<br><b>C-001</b>   |
| SHEET <b>1</b> OF <b>8</b> |


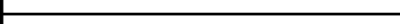
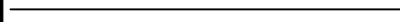















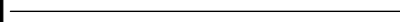

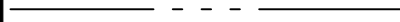




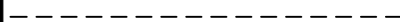
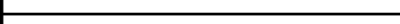
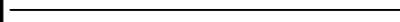


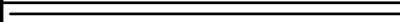



























































PBS Engineering and Environmental Inc.  
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Portland, OR 97239  
503.248.1939  
pbsusa.com





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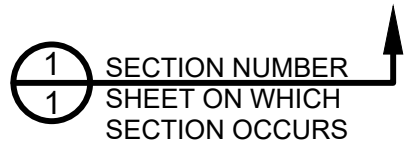
| Existing Linetype Legend  |   |
|---|---|
|  | - DENOTES CONCRETE SURFACE  |
|  | - DENOTES GRAVEL SURFACE  |
|  | - DENOTES EXISTING BUILDING AS NOTED  |
|  | - DENOTES 5' CONTOUR INTERVAL   |
|  | - DENOTES 1' CONTOUR INTERVAL   |
|  | - DENOTES FENCE LINE AS NOTED   |
|  | - DENOTES OVERHEAD WIRE   |
|  | - DENOTES STORM DRAINAGE LINE PER UTILITY LOCATE PAINT/VISUAL FIELD OBSERVATION |
|  | - DENOTES SANITARY SEWER LINE PER UTILITY LOCATE PAINT/VISUAL FIELD OBSERVATION |
|  | - DENOTES WATER LINE PER UTILITY LOCATE PAINT/VISUAL FIELD OBSERVATION          |
|  | - DENOTES STORM DRAINAGE CATCH BASIN  |
|  | - DENOTES DITCH INLET @ FLOW LINE   |
|  | - DENOTES ROOF DRAIN  |
|  | - DENOTES STORM DRAINAGE MANHOLE  |
|  | - DENOTES SANITARY SEWER MANHOLE  |
|  | - DENOTES SANITARY SEWER CLEANOUT   |
|  | - DENOTES WATER METER   |
|  | - DENOTES WATER VALVE   |
|  | - DENOTES WATER BLOW OFF VALVE  |
|  | - DENOTES WATER SPIGOT  |
|  | - DENOTES FIRE HYDRANT  |
|  | - DENOTES SPRINKLER VALVE   |
|  | - DENOTES POWER/ELECTRICAL VAULT  |
|  | - DENOTES POWER/ELECTRICAL TRANSFORMER  |
|  | - DENOTES POWER METER   |
|  | - DENOTES POWER POLE  |
|  | - DENOTES GUY WIRE/ANCHOR   |
|  | - DENOTES STREET LIGHT/LIGHT POLE   |
|  | - DENOTES GROUND LIGHT  |
|  | - DENOTES COMMUNICATIONS RISER AS NOTED   |
|  | - DENOTES COMMUNICATIONS VAULT  |
|  | - DENOTES UNKNOWN UTILITY CLEANOUT  |
|  | - DENOTES MAIL BOX  |
|  | - DENOTES SIGN  |
|  | - DENOTES BUSH/SHRUB  |
|  | - DENOTES CONIFEROUS TREE   |
|  | - DENOTES DECIDUOUS TREE  |
|  | - DENOTES DIRECTION OF DRAINAGE FLOW  |

| Proposed/Future Linetype Legend     |   |
|-------------------------------------|---|
| Proposed Sanitary Sewer Pipe        |  |
| Proposed Sanitary Lateral           |  |
| Proposed Sanitary Force Main        |  |
| Proposed Storm Under Drain          |  |
| Proposed Storm Rain Drain           |  |
| Proposed Storm Pipe                 |  |
| Proposed Water Lateral              |  |
| Proposed Water Pipe                 |  |
| Proposed Irrigation Pipe            |  |
| Proposed Irrigation Lateral         |  |
| Proposed Lot Line                   |  |
| Proposed Flow Line                  |  |
| Proposed Centerline                 |  |
| Proposed Right-of-way               |  |
| Proposed Sawcut Line                |  |
| Proposed Flow Line                  |  |
| Proposed Easement                   |  |
| Proposed Curb & Gutter              |  |
| Proposed End Of Pav't               |  |
| Proposed Sidewalk                   |  |
| Proposed Wall                       |  |
| Proposed Building                   |  |
| Proposed Setback                    |  |
| Proposed Property Line              |  |
| Proposed Cut Line                   |  |
| Proposed Score Line                 |  |
| Proposed Paint Stripe               |  |
| Proposed Fence                      |  |
| Proposed Wetland Buffer             |  |
| Proposed Wetland Perimeter          |  |
| Proposed Contour                    |  |
| Erosion Control Filter Fabric Fence |  |

| Symbol Legend                    |   |  |   |
|----------------------------------|---|--|---|
| Proposed Bollard                 |  | Proposed Irrigation Meter                              |  |
| Proposed Street Light            |  | Proposed Irrigation Backflow Device                    |  |
| Proposed Road Barrier            |  | Proposed Irrigation Valve                              |  |
| Proposed Road Sign               |  | Proposed Irrigation Bend Tee W/valve                   |  |
| Proposed Flow Arrow              |  | Proposed Irrigation Bend Tee W/tb                      |  |
| Proposed Catch Basins            |  | Proposed Water 22½" Bend W/tb                          |  |
| Proposed Area Drain              |  | Proposed Water 11¼" Bend W/tb                          |  |
| Proposed Curb Inlet              |  | Proposed Irrigation 45° Bend W/tb                      |  |
| Proposed Combination Curb Inlet  |  | Proposed Irrigation 90° Bend W/tb                      |  |
| Proposed Storm Reducer           |  | Proposed Irrigation Stand Pipe                         |  |
| Proposed Rain Drain              |  | Proposed Irrigation Bend X                             |  |
| Proposed Storm Cleanout          |  | Proposed Irrigation Temporary Blowoff                  |  |
| Proposed Storm Manhole           |  | Proposed Irrigation Standard Blowoff                   |  |
| Proposed Sedimentation Manhole   |  | Proposed Irrigation Reducer                            |  |
| Proposed Drywell                 |  | Proposed Irrigation Thrust Block                       |  |
| Proposed Sanitary Cap            |  | Proposed Inlet Protection Pillow                       |  |
| Proposed Sanitary Reducer        |  | Proposed Gravel Construction Entrance                  |  |
| Proposed Sanitary Cleanout       |  | Proposed Sedimentation Trap                            |  |
| Proposed Sanitary Manhole        |  | Erosion Control feature code & ID number (Puget Sound) |  |
| Proposed Fire Protection Vault   |  | BMP Type (Puget Sound)                                 |  |
| Proposed Water Meter             |  |  |   |
| Proposed Water Backflow Device   |  |  |   |
| Proposed Water Valve             |  |  |   |
| Proposed Water Bend Tee W/valve  |  |  |   |
| Proposed Water Bend Tee W/tb     |  |  |   |
| Proposed Water 22½" Bend W/tb    |  |  |   |
| Proposed Water 11¼" Bend W/tb    |  |  |   |
| Proposed Water 45° Bend W/tb     |  |  |   |
| Proposed Water 90° Bend W/tb     |  |  |   |
| Proposed Water Stand Pipe        |  |  |   |
| Proposed Water Bend X            |  |  |   |
| Proposed Water Temporary Blowoff |  |  |   |
| Proposed Water Standard Blowoff  |  |  |   |
| Proposed Water Reducer           |  |  |   |
| Proposed Water Thrust Block      |  |  |   |
| Proposed Fire Hydrant            |  |  |   |

| Hatching Legend   |                           |
|---|---------------------------|
|  | Proposed Asphalt Concrete |
|  | Proposed Cement Concrete  |

### REFERENCE SYMBOLS



| Abbreviation Legend       |       |                                 |          |
|---------------------------|-------|---------------------------------|----------|
| Acres                     | AC    | High Water Elevation            | HW       |
| Assembly                  | ASS'Y | Hydrant                         | HYD      |
| Avenue                    | AVE   | Invert Elevation                | IE       |
| Approved                  | APP'D | Intersection                    | INTX     |
| Butterfly                 | BF    | Invert                          | INV      |
| Boulevard                 | BLVD  | Length                          | L        |
| Benchmark                 | BM    | Lateral                         | LAT      |
| Blow Off                  | BO    | Left                            | LT       |
| Back Of Curb              | BOC   | Maximum                         | MAX      |
| Begin Vertical Curve      | BVC   | Manhole                         | MH       |
| Care Of                   | C/O   | Minimum                         | MIN      |
| Catch Basin               | CB    | Mechanical Joint                | MJ       |
| Cubic Feet                | CF    | Number                          | No. or # |
| Cast Iron                 | CI    | Overhead Electric               | OHE      |
| Cement                    | CEM   | Pavement                        | PAV'T    |
| Circle                    | CIR   | Point Of Curve                  | PC       |
| Centerline                | CL    | Power Pole                      | PP       |
| Corrugated Metal Pipe     | CMP   | Point Of Reverse Curve          | PRC      |
| Cleanout                  | CO    | Point Of Reverse Vertical Curve | PRVC     |
| Combination               | COMB  | Point Of Tangent                | PT       |
| Compaction                | COMP  | Point Of Vertical Intersection  | PVI      |
| Concrete                  | CONC  | Polyvinyl Chloride              | PVC      |
| Construction              | CONST | Place                           | PL       |
| Corrugated Polyethylene   | CPE   | Radius                          | R        |
| Concrete Sewer Pipe       | CSP   | Right Of Way                    | R/W      |
| Court                     | CT    | Return                          | RET      |
| Cubic Yard                | CY    | Right                           | RT       |
| Cement                    | CEM   | Sheet                           | SHT      |
| Depth                     | D     | Stainless Steel                 | SS       |
| Ductile Iron              | DI    | Steel                           | STL      |
| Diameter                  | DIA   | Sidewalk                        | S/W      |
| Ductile Iron Pipe         | DIP   | Street                          | ST       |
| Down Spout                | DS    | Station Centerline              | STA      |
| Edge Of Pavement          | EOP   | Standard                        | STD      |
| End Curb Return           | ER    | Sanitary                        | SAN      |
| Easement                  | ESMT  | Storm                           | STM      |
| Existing                  | EXTG  | Tangent                         | T        |
| Elevation                 | EL    | Thrust Block                    | TB       |
| Electric                  | ELEC  | Temporary Benchmark             | TBM      |
| End Vertical Curb         | EVC   | Top Of Curb                     | TC       |
| Finished Floor            | FF    | Telephone                       | TEL      |
| Finished Grade            | FG    | Temporary                       | TEMP     |
| Fire Hydrant              | FH    | Top Of Manhole                  | TOP      |
| Flange                    | FLG   | Typical                         | TYP      |
| Force Main                | FM    | Underground Electric            | UGE      |
| Foot / Feet               | FT    | Vertical Curve                  | VC       |
| Gas                       | G     | Vertical                        | VERT     |
| Galvanized Iron           | GI    | Water                           | WTR      |
| Ground                    | GRD   | With                            | W/       |
| Gate Valve                | GV    | Without                         | W/O      |
| High Density Polyethylene | HDPE  | Water Meter                     | WM       |
| Horizontal                | HORIZ | Yard                            | YD       |

LEGEND AND ABBREVIATION FOR:

**COLUMBIA VET CLINIC**

A SITE LOCATED IN ST HELENS, OREGON



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DATE  
11/02/2018

SHEET ID

**C-002**

SHEET **2** OF **8**

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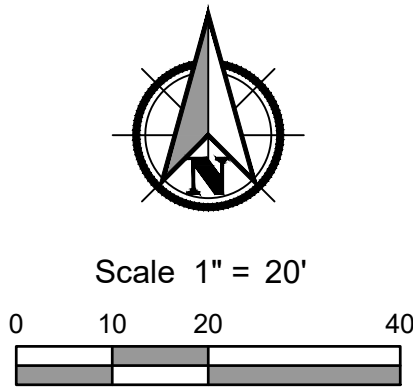


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NOTES:

1. THIS SITE DOES NOT CONTAIN ANY NATURAL RESOURCE AREAS.
2. THIS SITE DOES NOT CONTAIN ANY FLOODPLAIN AREAS, HAVE ANY SLOPES IN EXCESS OF 25%, OR CONTAIN ANY UNSTABLE GROUND.



Full Size Sheet Format Is 22x34; If Printed Size Is Not 22x34, Then This Sheet Format Has Been Modified & Indicated Drawing Scale Is Not Accurate.

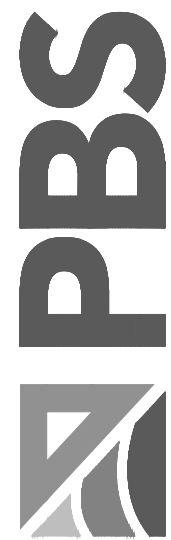
EXISTING CONDITIONS FOR:

**COLUMBIA VET CLINIC**  
A SITE LOCATED IN ST HELENS, OREGON



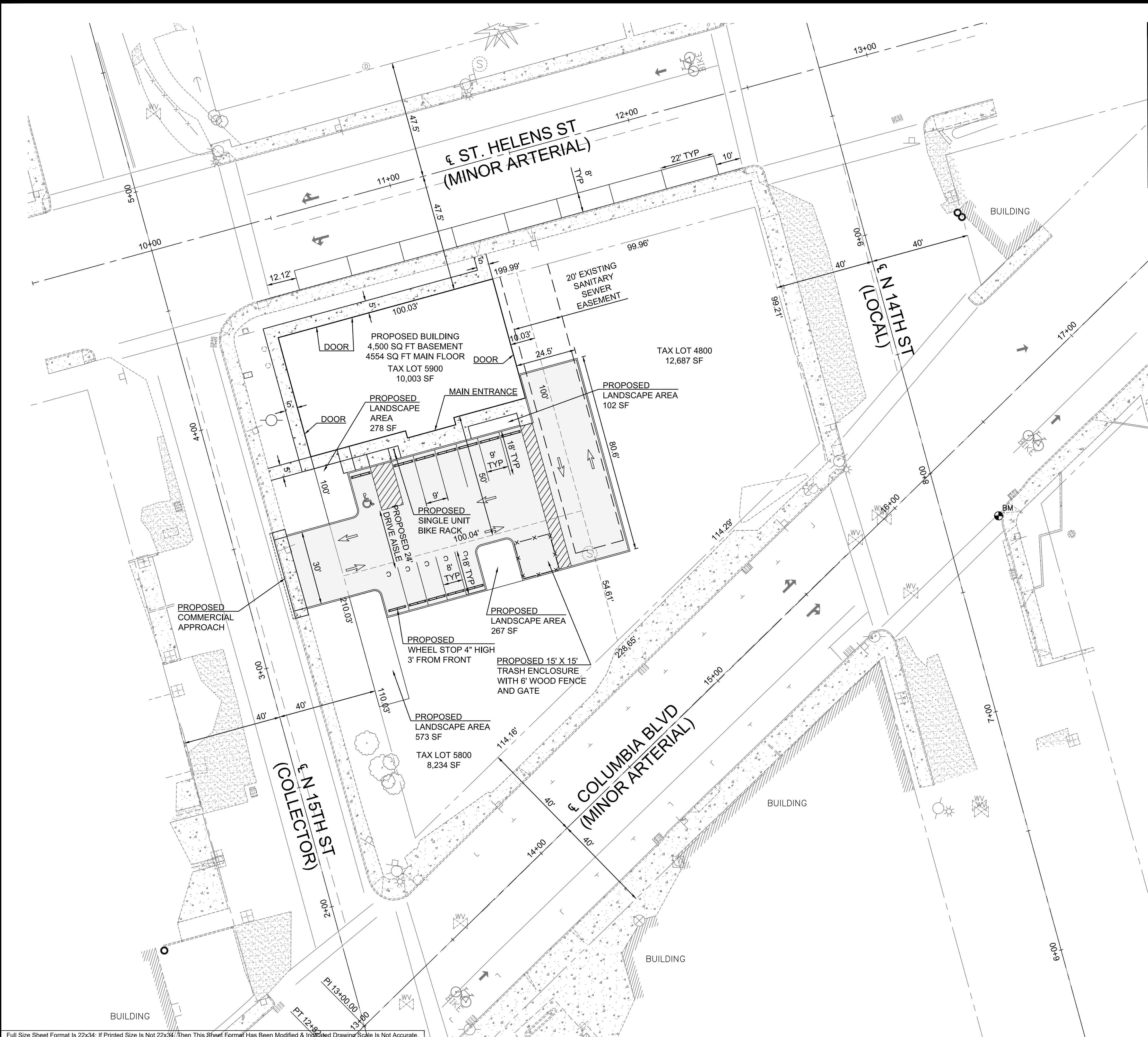
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|----------------------------|
| DESIGNED:<br>HH            |
| CHECKED:<br>RBS            |
| 11/02/2018<br>74004.002    |
| SHEET ID<br><b>C-003</b>   |
| SHEET <b>3</b> OF <b>8</b> |

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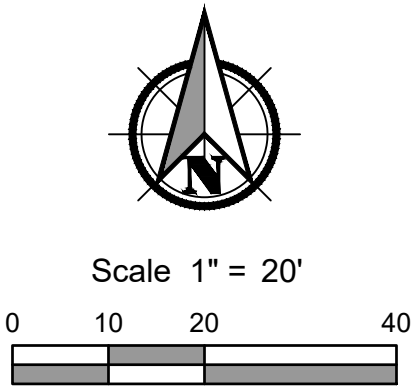




Filename: \\pbsenv\lanl\Projects\740007\74004\74004.002\Civil\CAD\Working\Sheets\74004.002-C004-SitePlan.dwg    Layout Tab: C004    User: Haley Hansen    CAD Plot Date/Time: 11/29/2018 10:49:32 AM



| Development Data:   |                          |                          |
|---|--------------------------|--------------------------|
|   | Existing                 | Proposed                 |
| Extents of Site:  | 30,924 S.F.<br>(0.71 AC) | 30,924 S.F.<br>(0.71 AC) |
| Site Impervious Area:<br>AC & Concrete  | 0 S.F.<br>(0 AC)         | 12200 S.F.<br>(0.28 AC)  |
| Site Pervious Area:<br>Landscape Area   | 12680 S.F.<br>(0.29 AC)  | 1220 S.F.<br>(0.03 AC)   |
| Provided Parking Stalls:<br>Standard Parking Stalls (9' X 18' - Typ.)<br>Compact Parking Stalls (8' X 18' - Typ.)<br>ADA Accessible Parking (9' X 18' - Typ.)<br>Street Parking (8' X 22' - Typ.) | N/A<br>N/A<br>N/A<br>N/A | 6<br>5<br>1<br>8         |



- NOTES:**
- THE SITE IS LOCATED IN THE HBD ZONE.
  - AREA NOT DEVELOPED AT THIS TIME IS INTENDED FOR FUTURE DEVELOPMENT AND WILL BE SEEDED WITH NATIVE SEED MIX UNTIL FUTURE DEVELOPMENT OCCURS.
  - FIRE LANE, NO PARKING, AND ADA PARKING SPACE SIGNAGE WILL BE DETAILED WITH THE FINAL CIVIL PLAN SET.

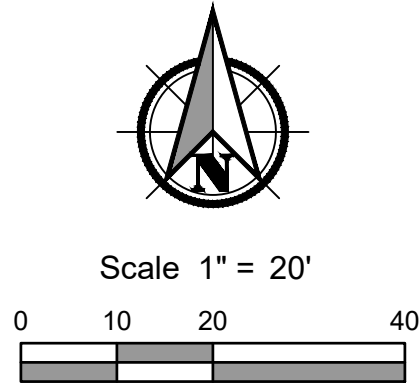
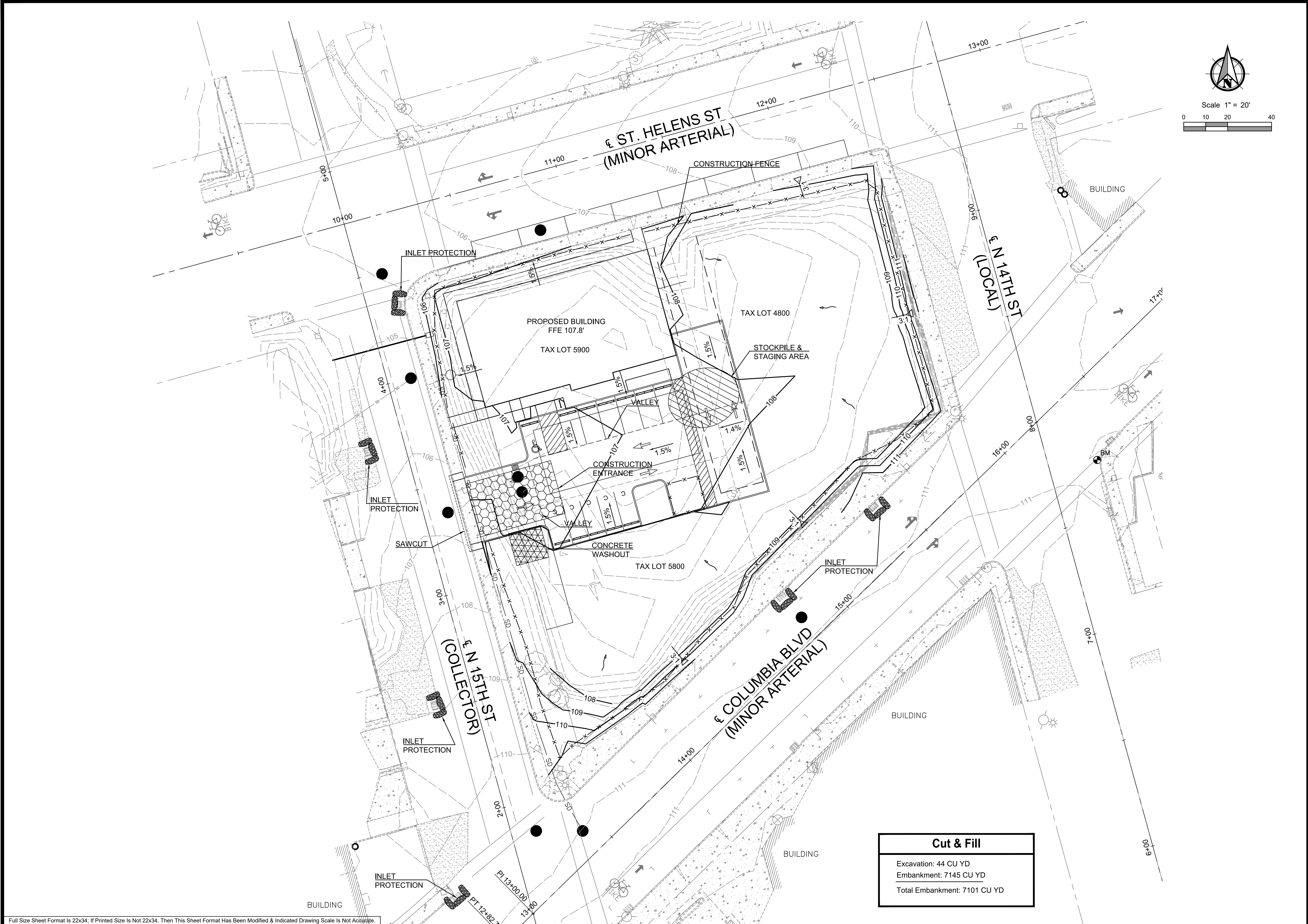
SITE PLAN FOR:  
**COLUMBIA VET CLINIC**  
A SITE LOCATED IN ST HELENS, OREGON



|                            |
|----------------------------|
| DESIGNED:<br>HH            |
| CHECKED:<br>RBS            |
| 11/02/2018<br>74004.002    |
| SHEET ID<br><b>C-004</b>   |
| SHEET <b>4</b> OF <b>8</b> |



Filename: \\pbsenv\lan\l\Projects\740007\74004\74004.002\Civil\CAD\WorkingSheets\74004.002-C005-Grading&ErosionControl.dwg    Layout: Tab: C005    User: Haley Hansen    CAD Plot Date/Time: 11/29/2018 10:51:48 AM



GRADING & EROSION CONTROL FOR:

# COLUMBIA VET CLINIC

A SITE LOCATED IN ST HELENS, OREGON



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SHEET ID

**C-005**

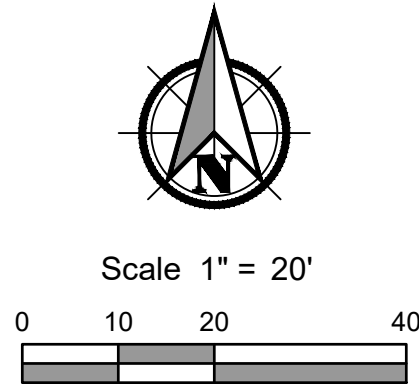
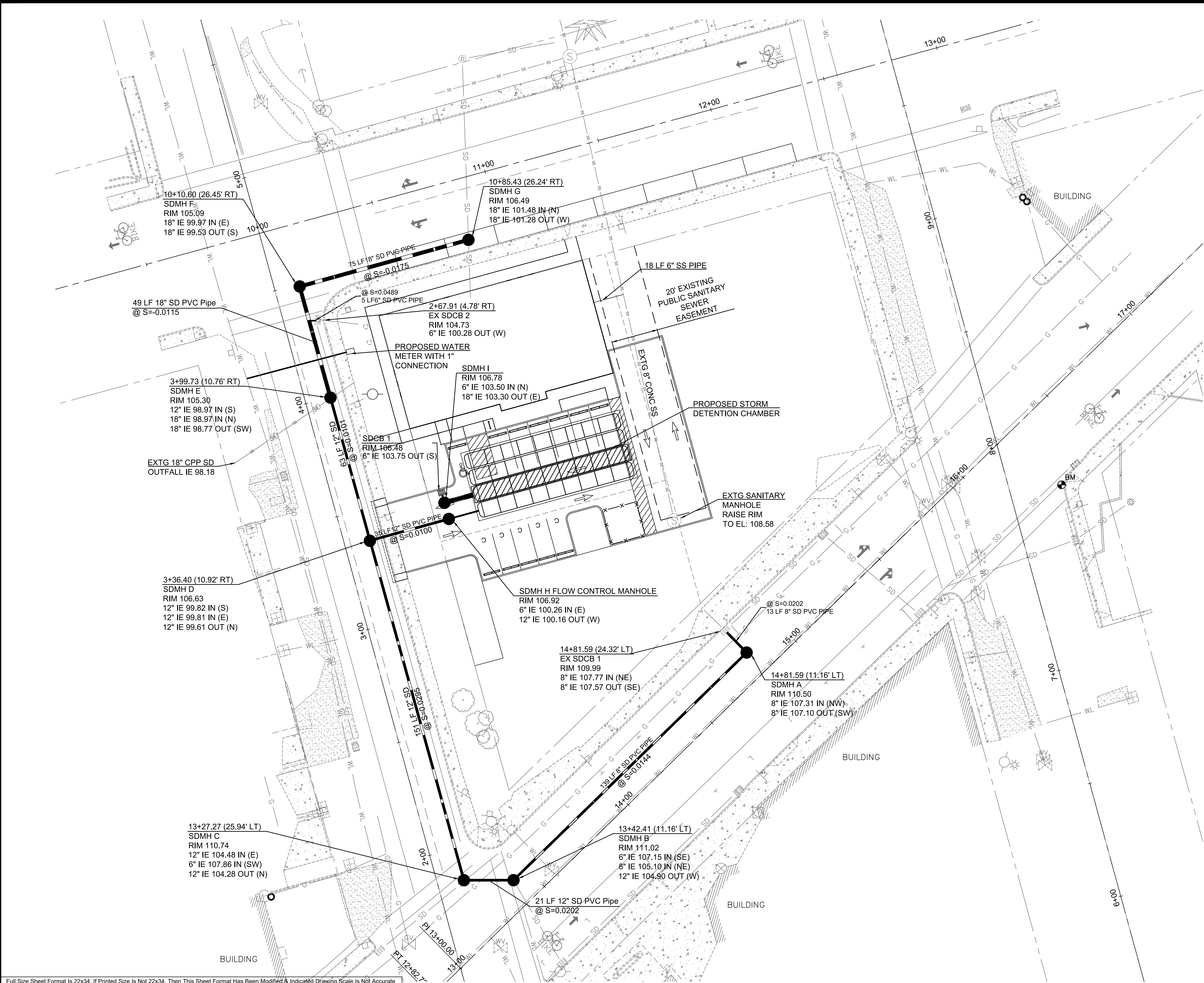
SHEET **5** OF **8**

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File Name: L:\Projects\740001\74004\74004.002\Civil\CAD\Working\Sheets\74004-002-C006-StormPlan.dwg Layout Tab: C006 User: Haley Hansen CAD Plot Date/Time: 11/29/2018 12:10:29 PM



UTILITY PLAN FOR:

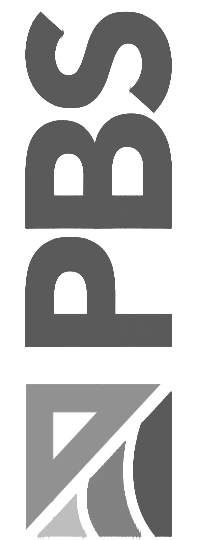
# COLUMBIA VET CLINIC

A SITE LOCATED IN ST HELENS, OREGON



|                            |
|----------------------------|
| DESIGNED:<br>HH            |
| CHECKED:<br>RBS            |
| 11/02/2018<br>74004.002    |
| SHEET ID<br><b>C-006</b>   |
| SHEET <b>6</b> OF <b>8</b> |

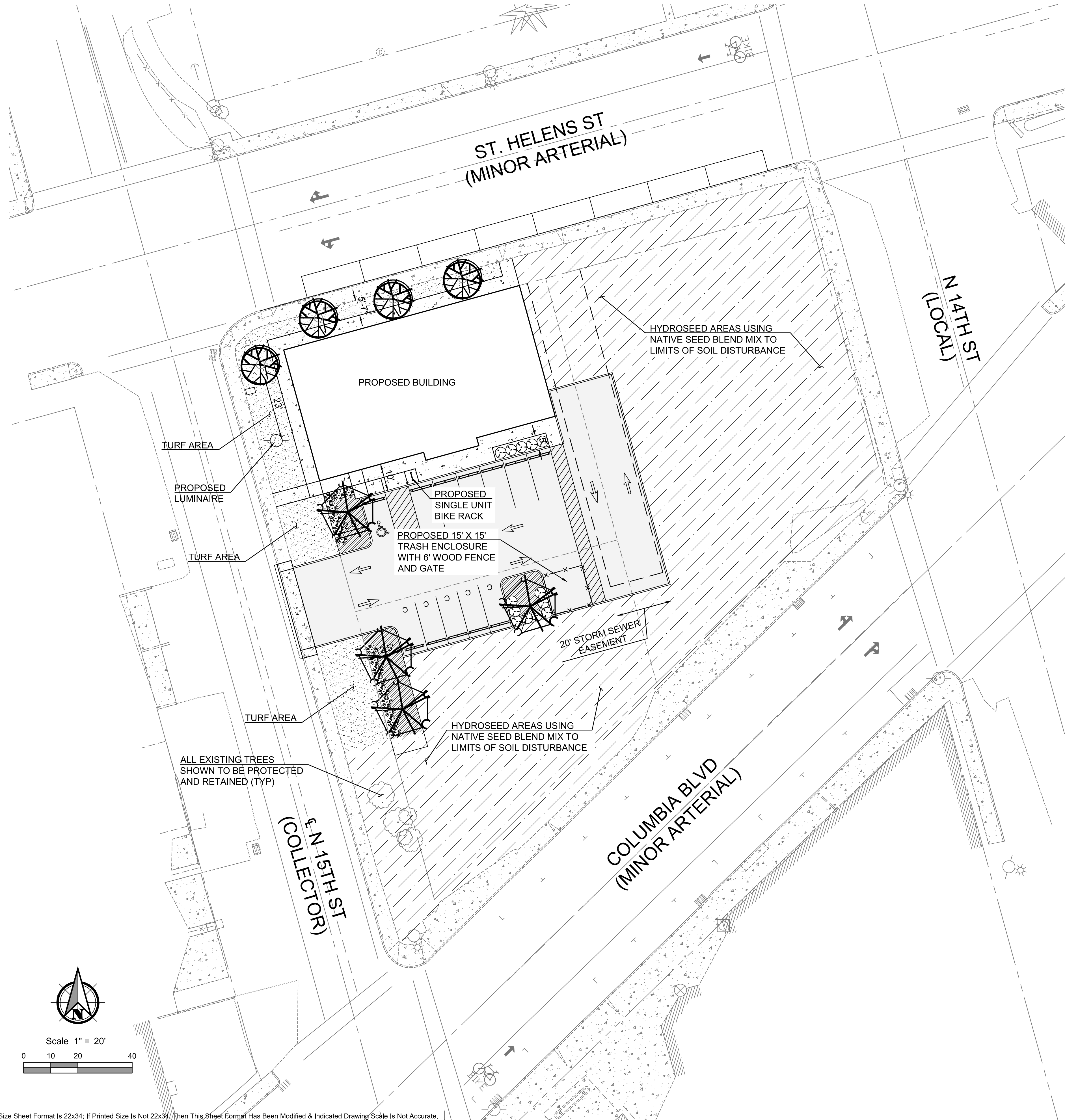
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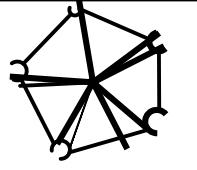



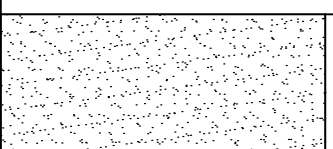
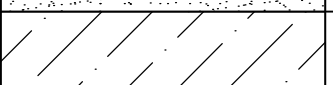




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Full Size Sheet Format Is 22x34; If Printed Size Is Not 22x34, Then This Sheet Format Has Been Modified & Indicated Drawing Scale Is Not Accurate.



| PLANT LIST  |                           |   |   |                  |          |
|---|---------------------------|---|---|------------------|----------|
| SYM   | QTY                       | NAME  | SIZE  | CONTAINER        | SPACING  |
| TREES   |                           |   |   |                  |          |
|  | 5                         | <i>Acer ginnala</i> "Flame"<br>Flame Amur Maple   | 2" Caliper                                    | B&B or 25 Gallon | As shown |
|  | 3                         | <i>Prunus cerasifera</i> 'Newport'<br>Newport Plum  | 2" Caliper                                    | B&B or 25 Gallon | As shown |
| SHRUBS  |                           |   |   |                  |          |
|  | 17                        | <i>Nandina domestica</i> 'Gulf Stream'<br>Gulf Stream Nandina   | 3 gallon<br>(24" height)                      | Container        | As shown |
|  | 13                        | <i>Viburnum opulus v.americanum</i> 'Compacta'<br>Dwarf American Cranberry Bush                                 | 3 gallon<br>(24" height)                      | Container        | As shown |
| GROUNDCOVERS  |                           |   |   |                  |          |
|  | 200                       | <i>Arctostaphylos uva-ursi</i><br>Kinnikinnick  | 4"  | Pot              | 24" O.C. |
| GRASSES   |                           |   |   |                  |          |
|  | 2500 SF                   | Commercial Grade Sod comprising of:<br>20% Creeping Red Fescue<br>20% Chewings Fescue<br>60% Perennial Ryegrass | Installed sod after soil preparation          |                  |          |
|  | 23,000 SF<br>(0.53 acres) | Native E/C Seed Mix as from Sunmark Seeds   | Hydroseeded (44LBS per acre, 1LB per 1000 SF) |                  |          |

**LANDSCAPE AREA CALCULATIONS:**  
1298 S.F. (3% PROPOSED)

**PLANTING NOTES:**

**OWNER'S RESPONSIBILITY FOR MAINTENANCE:**

After the completion of the construction contract, and the contractor's maintenance periods, the property owner and/or their landscape maintenance service shall maintain the site in a safe condition, including but not limited to the: trees, shrubs, groundcovers, grass, and irrigation system. Landscape plantings shall be maintained in a healthy condition throughout the year. Replace all plants that die with like varieties and match with size of adjacent plants. Maintenance may include but is not limited to: pruning, mowing, trimming, vegetation debris removal and other methods necessary to maintain safe pedestrian access, vehicular access, utility access, sight visibility, and to preserve public safety.

**INSTALLATION:**

- The contractor shall install the landscape according to these plans.
- A minimum of 12" depth of non-mechanically compacted soil shall be available for water absorption and root growth in planted areas.
- All pervious areas not seeded or sodded shall receive a 4" depth of bark mulch.
- Verify locations of all pertinent site improvements under other sections. If any part of this plan cannot be followed due to site conditions, contact the owner's authorized representative for instruction prior to commencing work.
- Exact locations of plant materials shall be reviewed by the owner's authorized representative in the field prior to installation. Owner's authorized representative reserves the right to adjust plants to exact location in the field.
- All plants shall be grown for this region or shall be adequately climatized.
- Do not make substitutions. If specified landscape material is not obtainable, submit proof of non-availability from at least five (5) sources to the Landscape Architect, together with the proposal for use of equivalent material for final approval.
- Contractor shall contact the Landscape Architect or owner's representative for plant material inspection prior to installation.
- Contractor shall repair or replace any existing landscape affected by construction to it's original condition. Contact Landscape Architect if any areas not originally landscaped, become landscape.

**CUT AND FILL AROUND EXISTING TREES:**

Existing trees may be used as street trees if no cutting or filling takes place within the drip-line of the tree unless an exception is made. An exception will be approved if:

- The ground within the dripline is altered merely for drainage purposes; and
- It can be shown that the cut or fill will not damage the roots and will not cause the tree to die.

**IRRIGATION:**

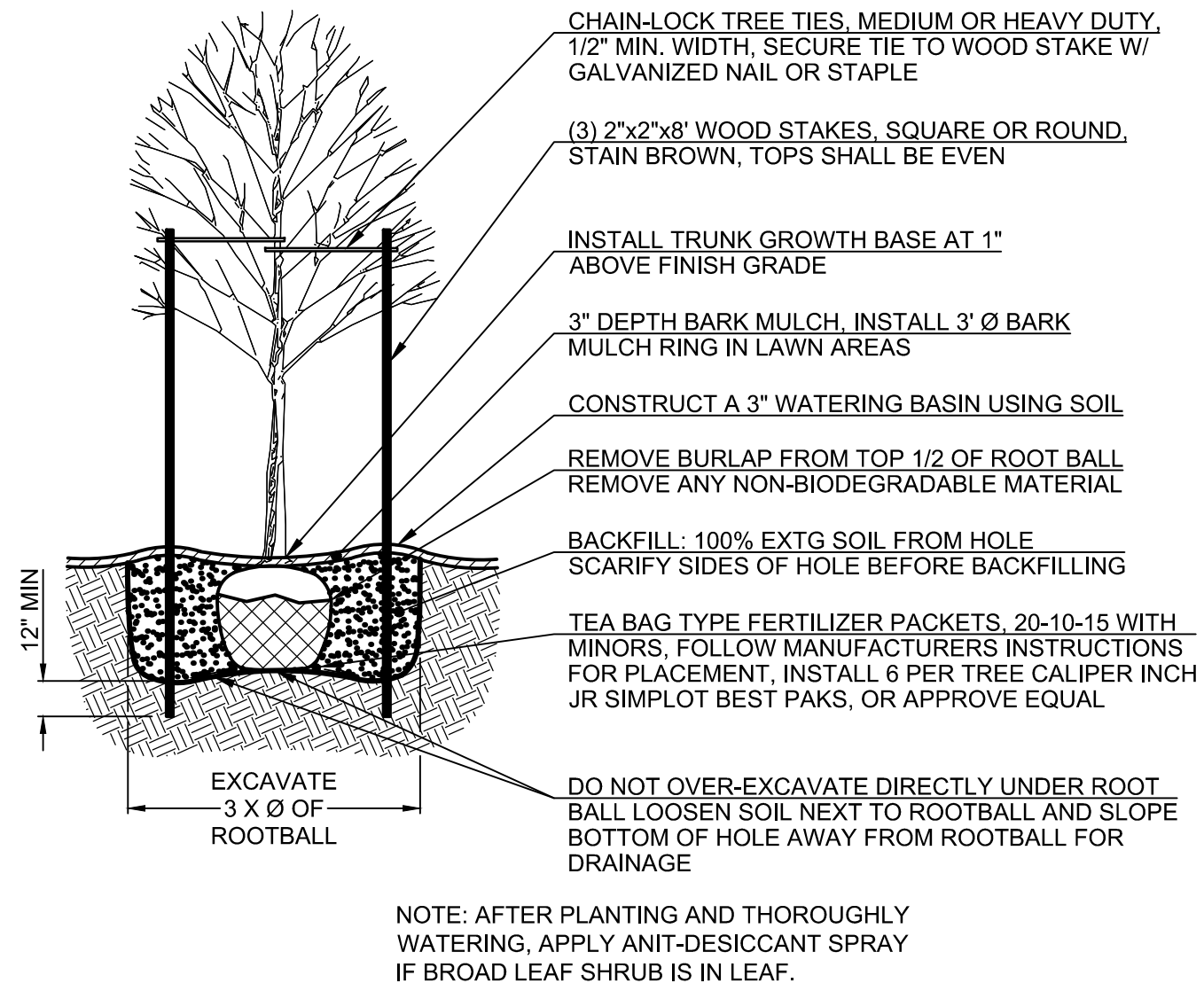
Contractor shall provide irrigation through design build by an automatic underground system capable of providing adequate water to planting throughout the year. Irrigation shall be coordinated with planting plan and site improvements and is generally designed with triple head to head coverage for lawns and minimum double head to head coverage for shrubs.

**GENERAL NOTES:**

- Refer to Civil Engineer's drawings for utility information; including storm drain, sewer, water, electrical, gas, telephone and cable.
- Refer to city and/or county standard plans and specifications where applicable.
- Contractor shall be responsible for any coordination with subcontractors as required to accomplish all construction operations. All piping, conduit, sleeves, etc., shall be set in place prior to installation of irrigation and planting construction items.
- Contractor shall be responsible to consult with city representative, appropriate agencies and plans, for the locations of all underground utilities, pipes and structures. Contractor shall take sole responsibility for all damages caused as a result of their work.
- Contractor shall not willfully proceed with construction as designed when it is obvious that obstructions, area discrepancies and/or grade difference exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the owner's authorized representative. The contractor shall assume full responsibility for all necessary revisions due to failure to give such notifications.

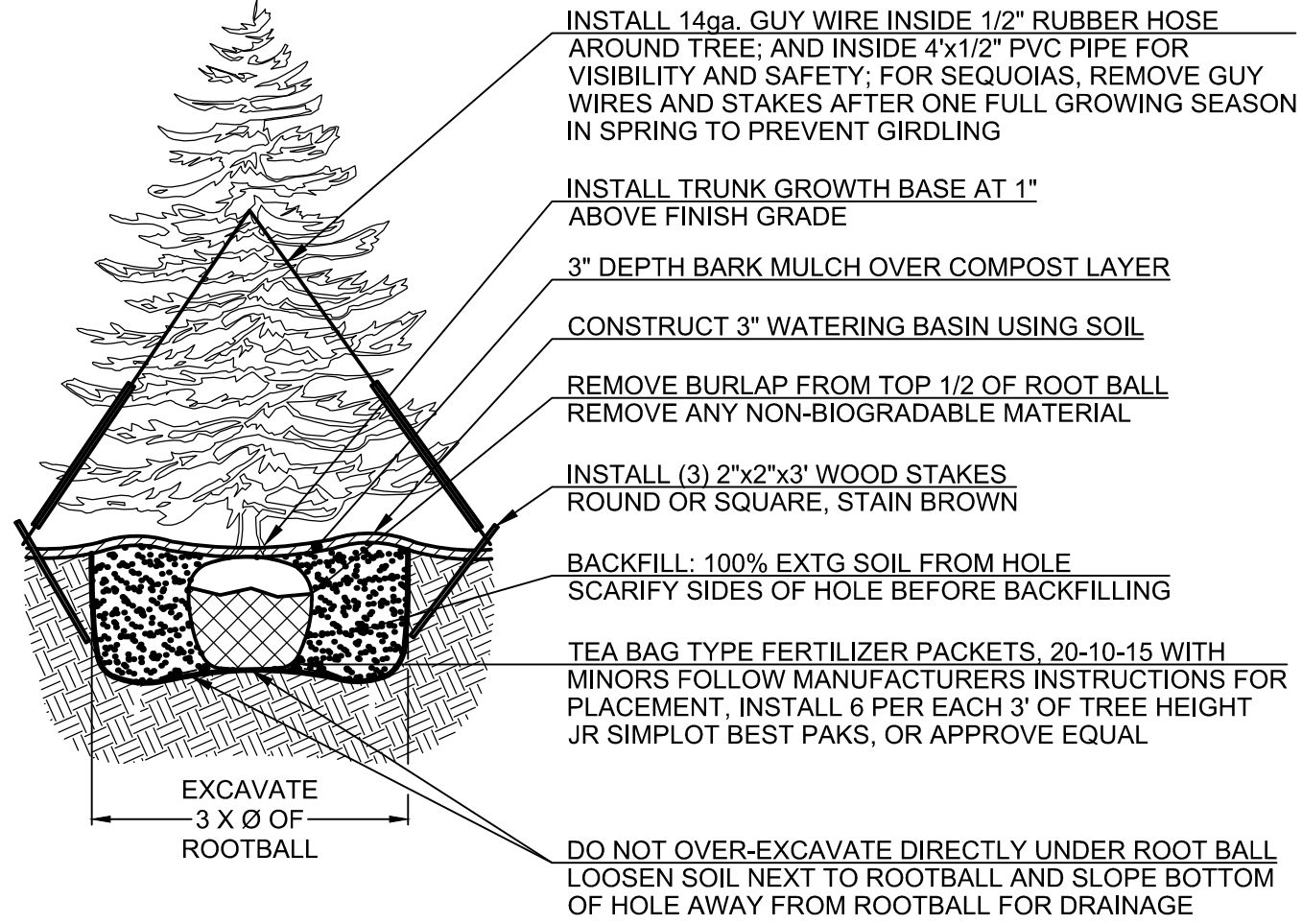


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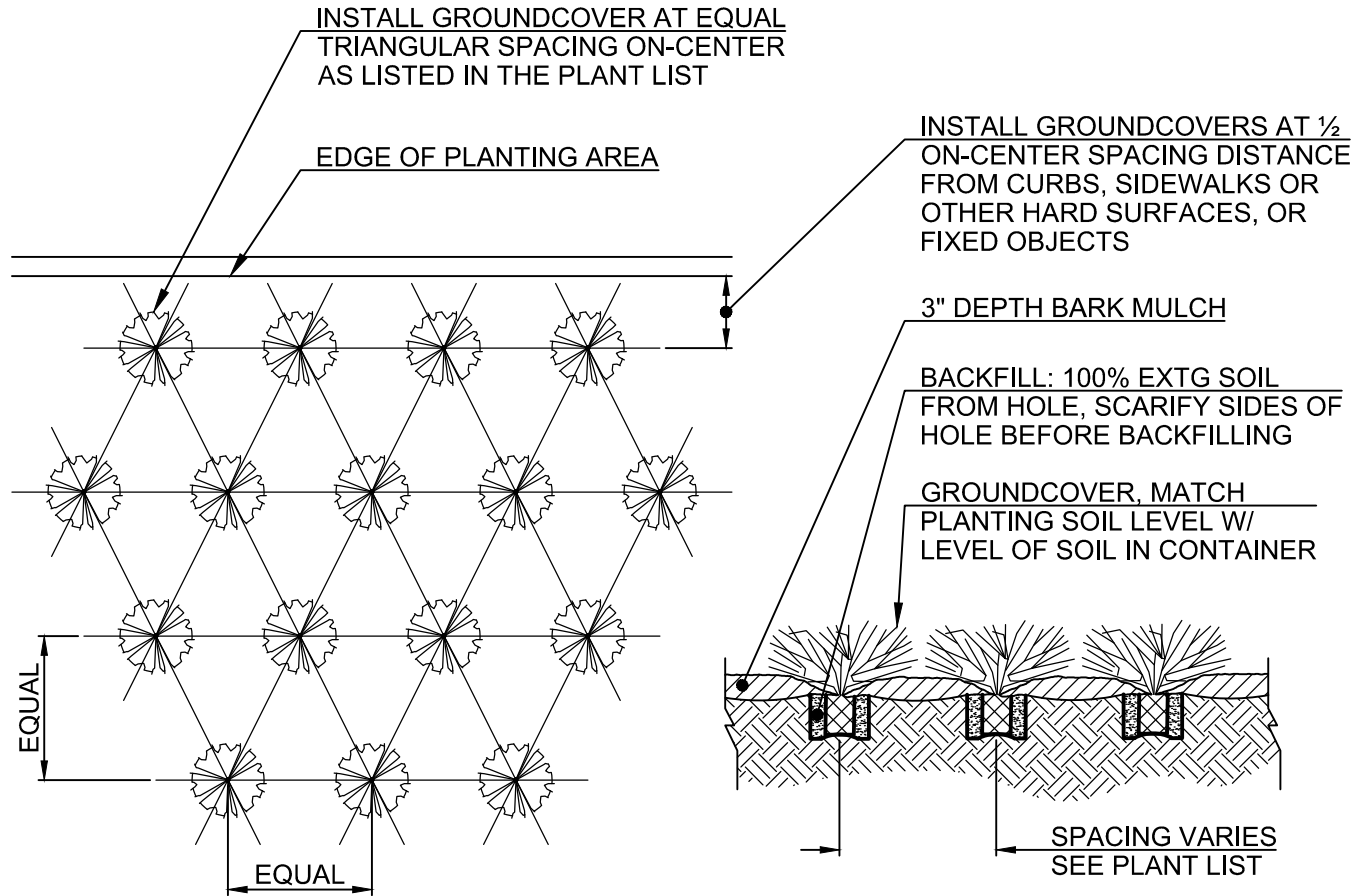
Broadleaf Tree Detail - Staked

NOT TO SCALE



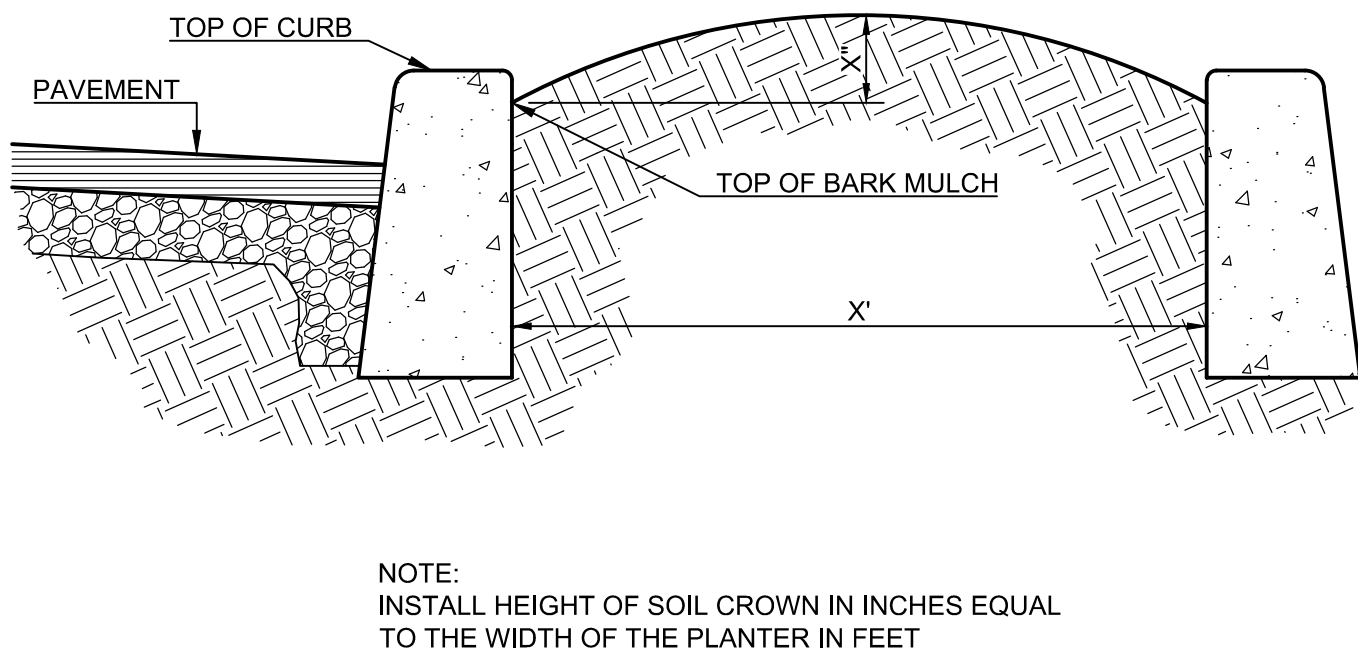
Coniferous Tree Detail - Staked

NOT TO SCALE



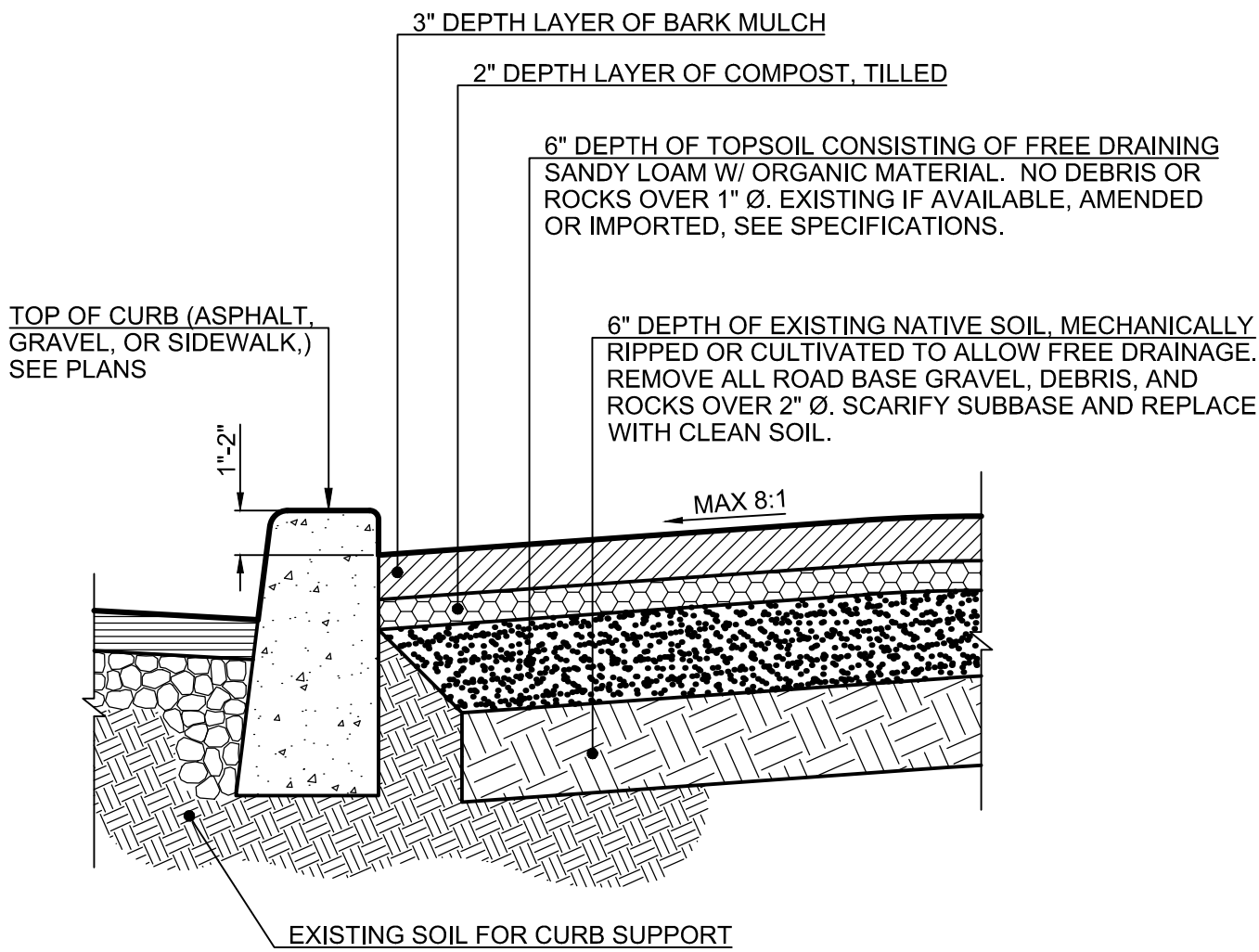
Groundcover Detail

NOT TO SCALE



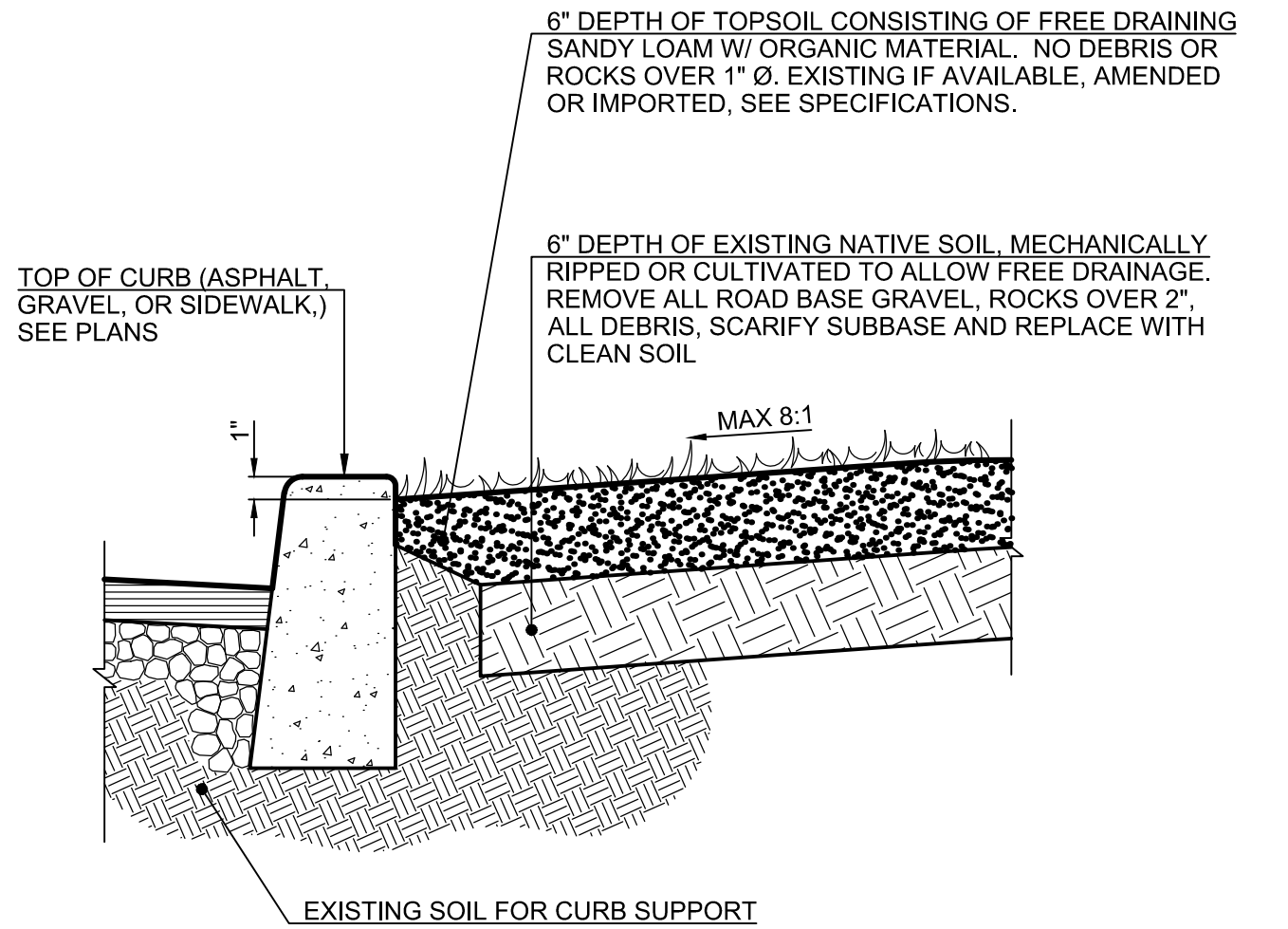
Planting Island Cross Section

NOT TO SCALE



Planting Area Soil Cross Section

NOT TO SCALE



Lawn Soil Cross Section

NOT TO SCALE

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LANDSCAPE DETAILS FOR:  
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A SITE LOCATED IN ST HELENS, OREGON



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74004.002

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**L-002**

SHEET **8** OF **8**



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EXISTING CONDITIONS FOR:  
**COLUMBIA VET CLINIC**  
A SITE LOCATED IN ST HELENS, OREGON



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11/02/2018  
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SHEET ID

**C-003**

SHEET 3 OF 8

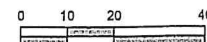
NOTES:

1. THIS SITE DOES NOT CONTAIN ANY NATURAL RESOURCE AREAS.
2. THIS SITE DOES NOT CONTAIN ANY FLOODPLAIN AREAS, HAVE ANY SLOPES IN EXCESS OF 25%, OR CONTAIN ANY UNSTABLE GROUND.

X DENOTES TREE TO BE REMOVED



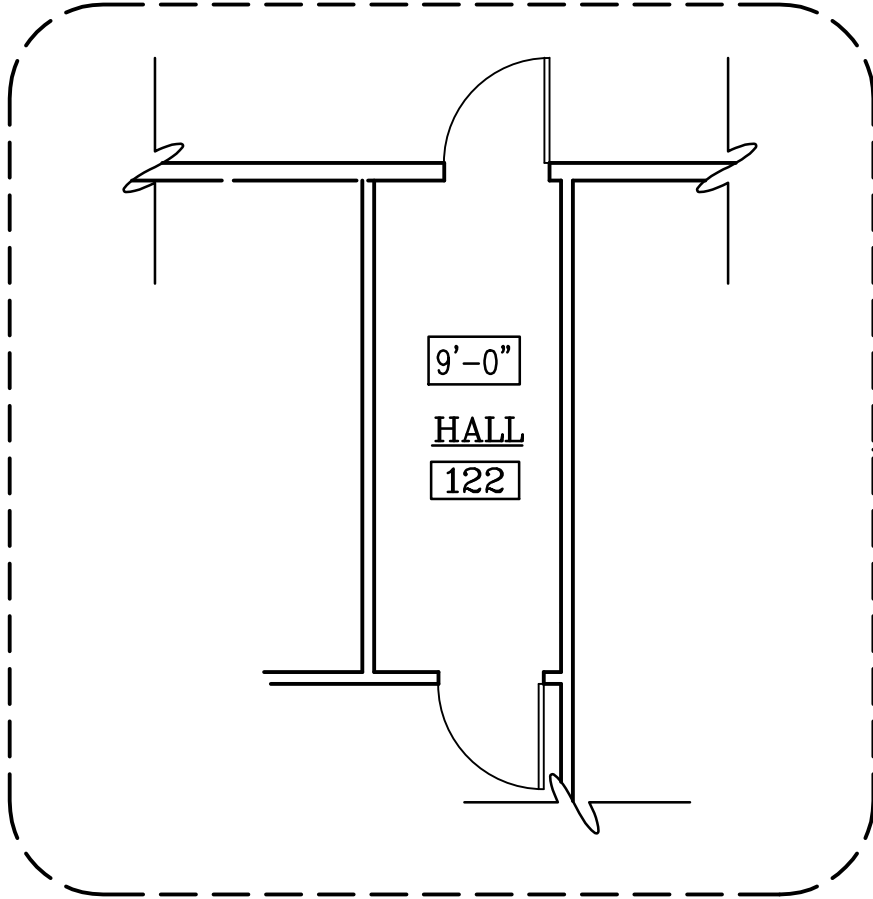
Scale 1" = 20'



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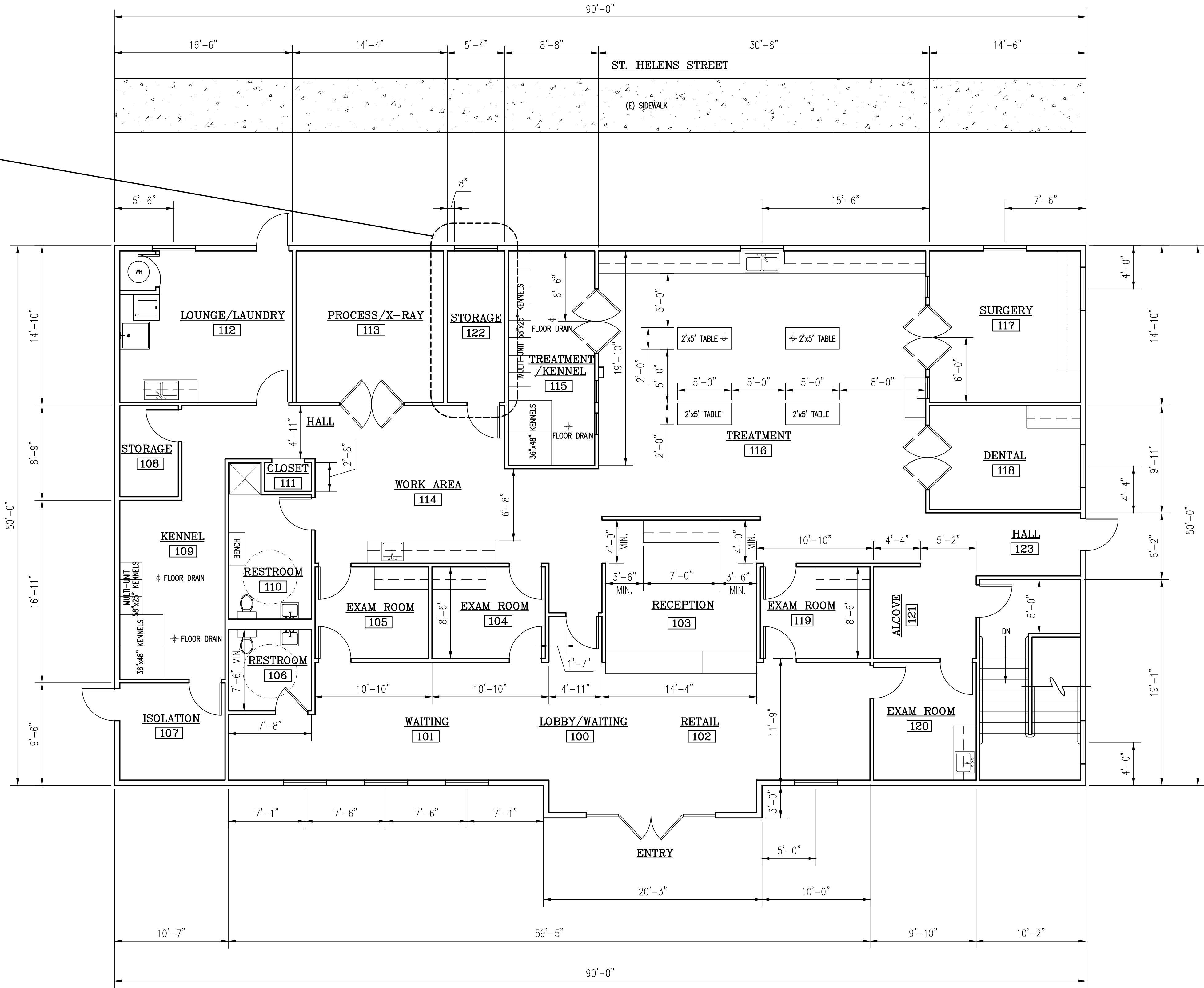


OPTION

SCALE: 3/16"=1'-0"

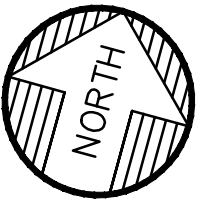
CODE SUMMARY

|                              |  |
|------------------------------|--|
| PROPERTY LOCATION:           | NE ¼ OF SECTION 4, T4N, R1E, W.M.<br>MAP AND TAX LOT ID: 4N1W 44C<br>TAX LOTS: 5900, 5800, AND 4800<br>LATITUDE: N 45° 51'38"<br>LONGITUDE: W 122° 48' 45" W<br>CITY OF ST. HELENS, OREGON |
| ZONE:                        | HOULTON BUSINESS DISTRICT (HBD)<br>DOWNTOWN OVERLAY<br>CONDITIONAL-USE APPROVAL IS REQUIRED  |
| CONSTRUCTION TYPE:           | VB NO FIRE SPRINKLER SYSTEM  |
| OCCUPANCY:                   | B – BUSINESS, SECTION 306.2  |
| BUILDING SQUARE FOOTAGE:     | 4,554 S.F. MAIN FLOOR<br>4,500 S.F. STORAGE  |
| NEAREST CROSS STREET:        | N. 15TH STREET   |
| ALLOWABLE AREA:              | PER TABLE 503 – TYPE VB = 9,000 S.F., ACTUAL = 4,804 S.F.<br>BASEMENT AREA NOT INCLUDED IN ALLOWABLE ARE PER PARAGRAPH 506.5.1   |
| EXTERIOR WALL:               | FIRE SEPARATION DISTANCE FOR VB – TABLE 602, 60' > 30' –<br>FIRE RESISTANCE FOR WALL IS = 0  |
| OCCUPANCY LOAD:              | TABLE 1004.1.2 –<br>BUSINESS – 100 4,554 / 100 = 46 OCCUPANTS<br>STORAGE – 500 4500 – 9 OCCUPANTS (BASEMENT)<br>TOTAL = 49   |
| ONE EXIT:                    | MAIN FLOOR – TABLE 1015.1 – MAXIMUM 49 OCCUPANTS   |
| REQUIRED WIDTH:              | 46 X .2 = 10" – 36" MINIMUM DOORS PROVIDED FOR EGRESS PASSAGE<br>32" CLEARANCE PROVIDED FOR EGRESS PASSAGE   |
| AUTOMATIC SPRINKLER:         | NOT REQUIRED (UNDER ALLOWABLE AREA)  |
| YARDS ON ALL SIDES:          | 60' ON ALL SIDES   |
| COMMON PATH OF TRAVEL:       | TABLE 1014.3 – 100' MAXIMUM  |
| EXIT ACCESS TRAVEL DISTANCE: | 200' MAXIMUM   |
| PARKING:                     | REQUIRED: 1/300 = 17 SPACES; ACTUAL ON-SITE = 10 SPACES AND<br>ON-STREET = 8 SPACES. IN EAST PAVED AREA THERE IS POTENTIAL<br>FOR 6 MORE SPACES  |

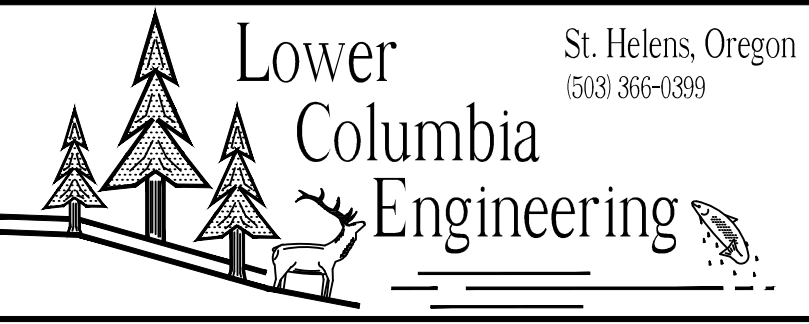


PROPOSED MAIN FLOOR PLAN

SCALE: 3/16"=1'-0"



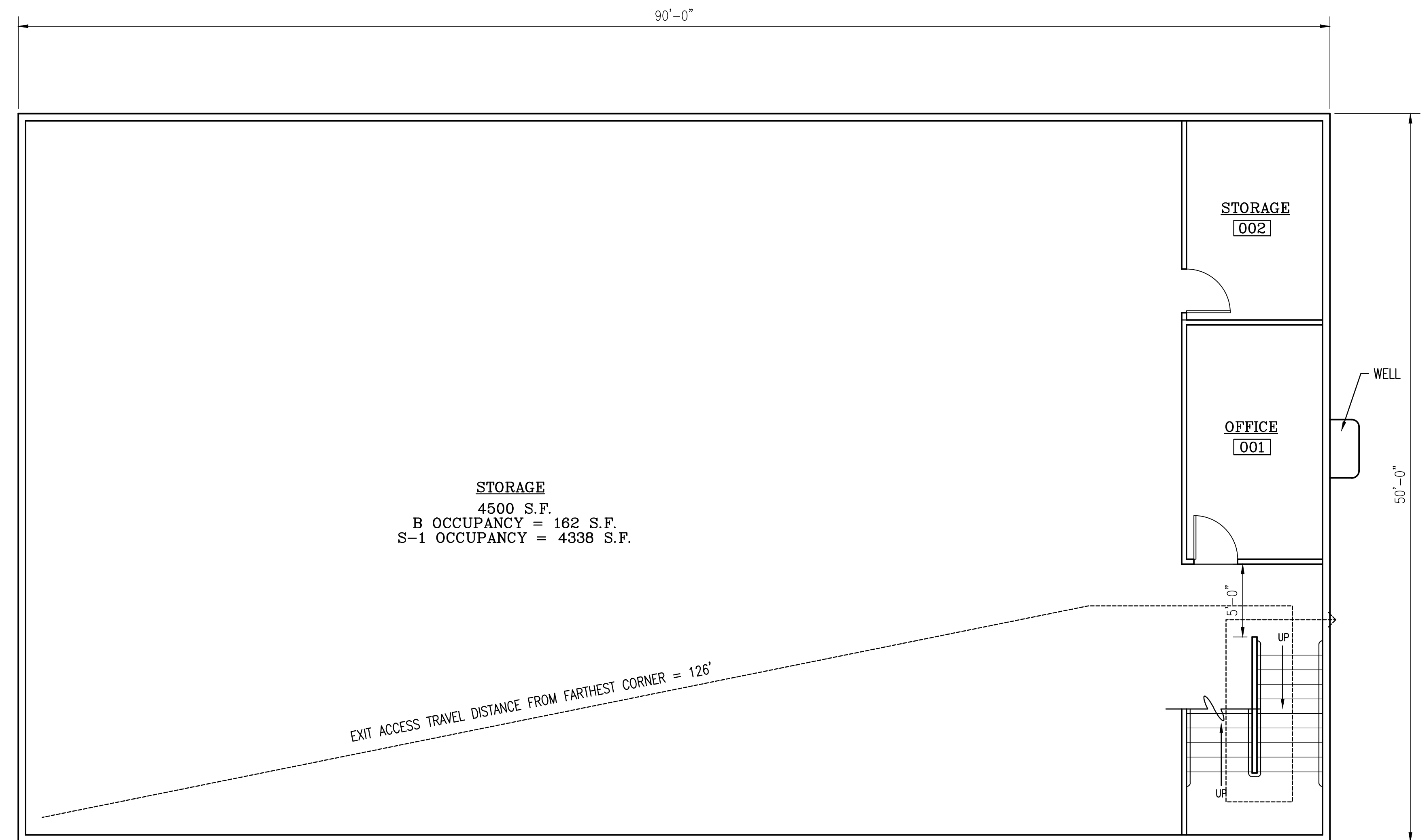
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| REV. | REVISION RECORD                     | DATE     | PROJ. NO. | 2801  | RICH BAILEY CONSTRUCTION             |
| A    | OWNER UPDATES                       | 11/13/18 | DWG. BY   | AR    | COLUMBIA VETERINARY CLINIC           |
| D    | OWNER COMMENTS / ADJUST FOR EASMENT | 11/28/18 | APPR. BY  |       | PROPOSED MAIN FLOOR PLAN & SCHEDULES |
|      |                                     |          | SCALE     | NOTED | DATE 10/25/18                        |
|      |                                     |          |           |       | DWG. NO. D-2801-A-02-D               |



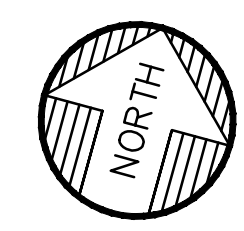
St. Helens, Oregon  
(503) 366-0399

DATE: 11/28/18  
PRELIMINARY  
NOT  
FOR CONSTRUCTION

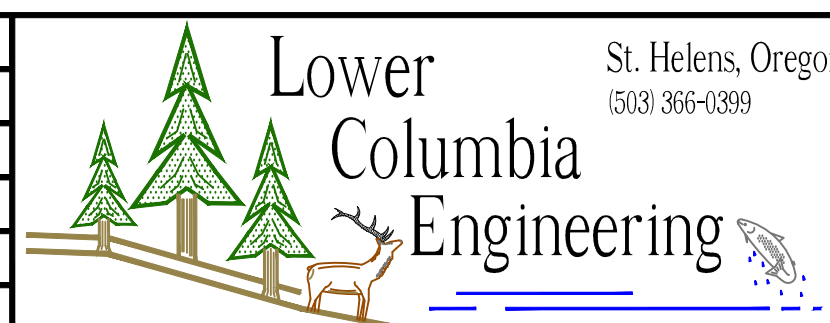




PROPOSED CRAWL SPACE FLOOR PLAN  
SCALE: 3/16"=1'-0"



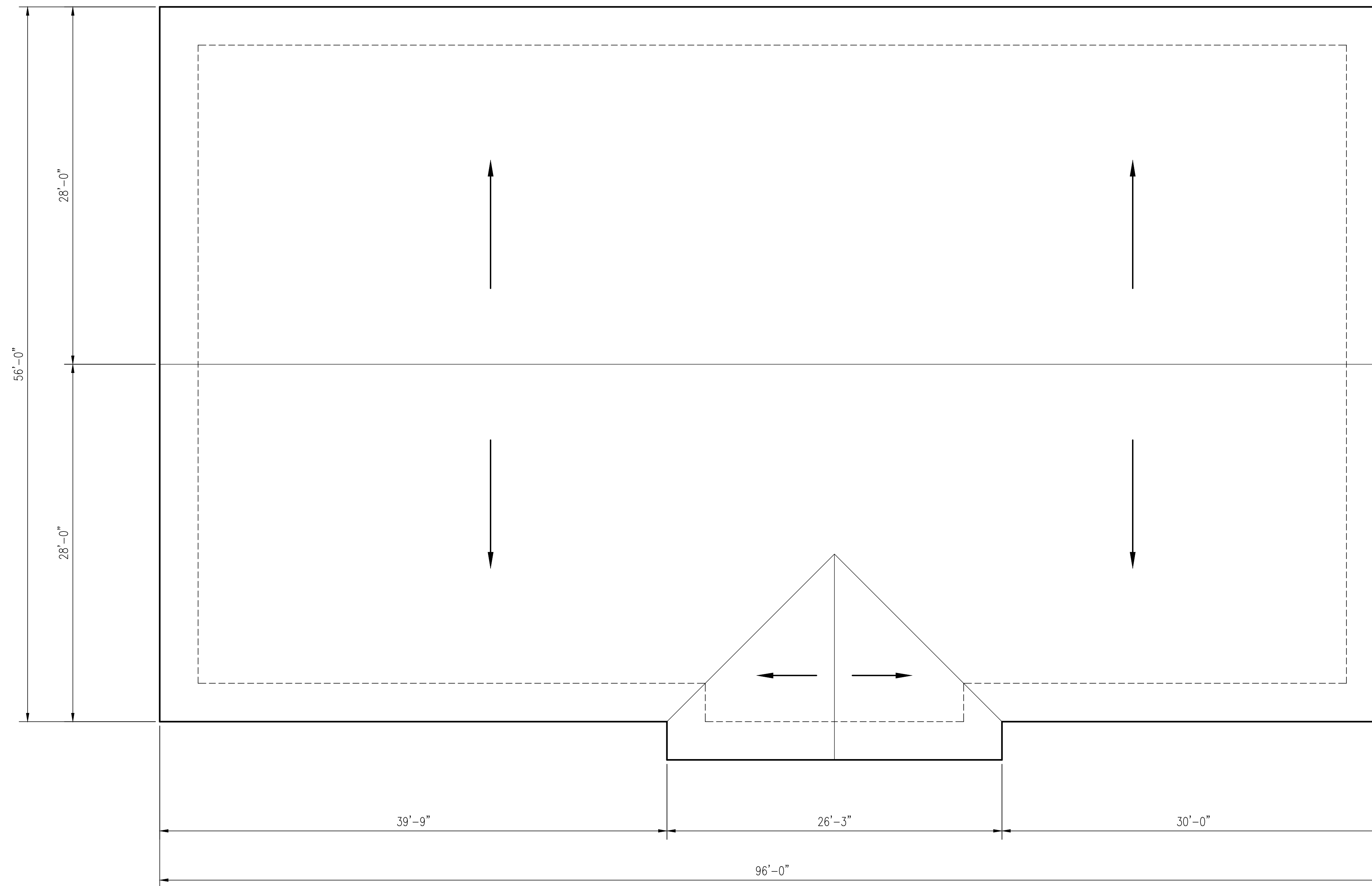
| REV. | REVISION RECORD    | DATE     |
|------|--------------------|----------|
| A    | OWNER UPDATES      | 11/13/18 |
| B    | OPTION B           |          |
| C    | OPTION C           |          |
| D    | PER CLIENT REQUEST | 11/28/18 |



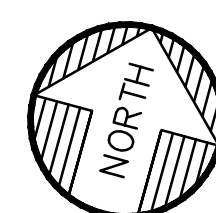
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|-----------|-------|--------------------------------------|
| PROJ. NO. | 2801  | RICH BAILEY CONSTRUCTION             |
| DWG. BY   | AR    | COLUMBIA VETERINARY CLINIC           |
| APPR. BY  |       | PROPOSED CRAWL SPACE & SCHEDULES     |
| SCALE     | NOTED | DATE 10/25/18 DWG. NO. D-2801-A-03-D |

DATE: 11/13/18  
PRELIMINARY  
NOT  
FOR CONSTRUCTION

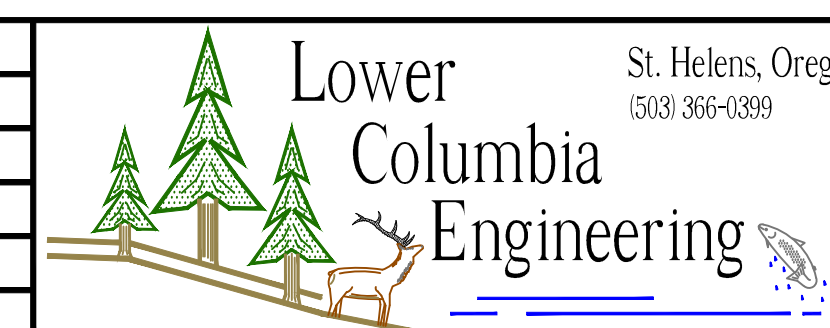




**PROPOSED MAIN FLOOR PLAN**  
SCALE: 3/16"=1'-0"



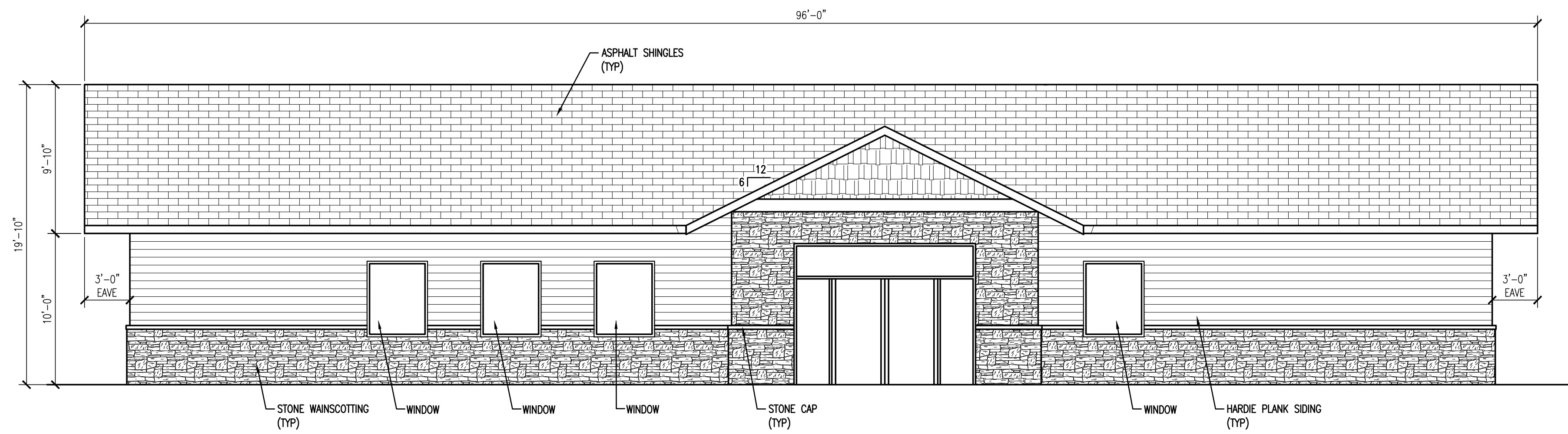
| REV. | REVISION RECORD | DATE |
|------|-----------------|------|
|      |                 |      |
|      |                 |      |
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|      |                 |      |
|      |                 |      |



|           |               |                            |
|-----------|---------------|----------------------------|
| PROJ. NO. | 2801          | RICH BAILEY CONSTRUCTION   |
| DWG. BY   | AR            | COLUMBIA VETERINARY CLINIC |
| APPR. BY  |               | PROPOSED ROOF PLAN         |
| SCALE     | NOTED         | DATE 10/25/18              |
| DWG. NO.  | D-2801-A-04-D |                            |

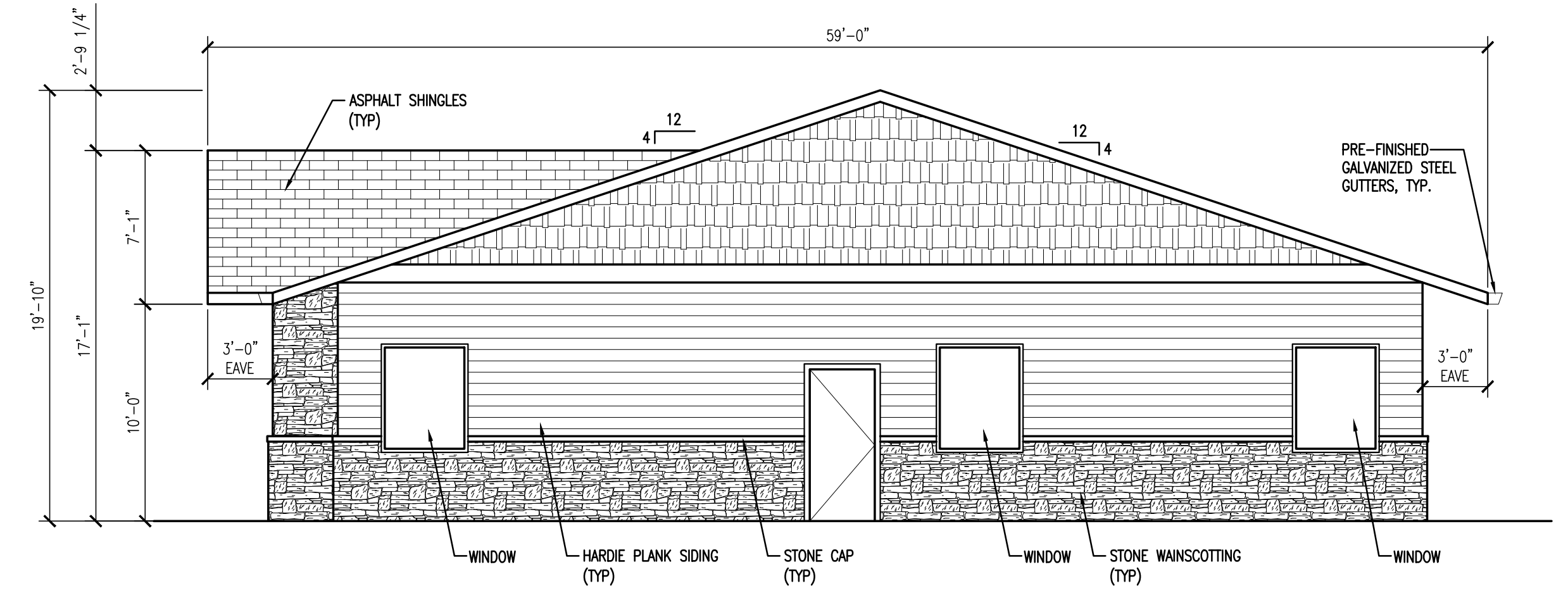
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NOT  
FOR CONSTRUCTION





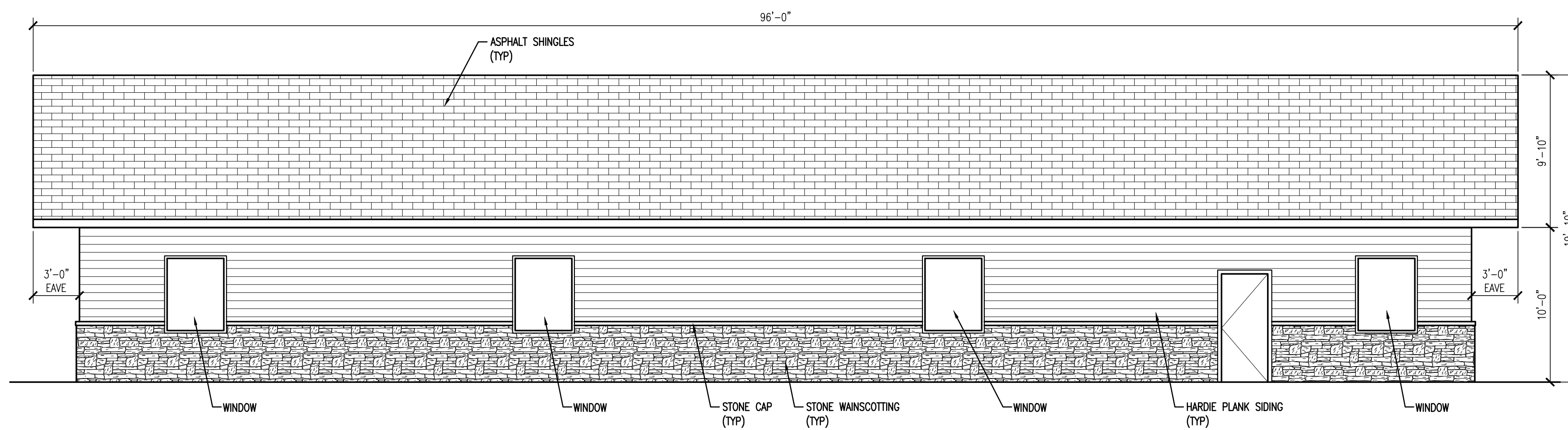
**SOUTH ELEVATION**

SCALE: 3/16"=1'-0"



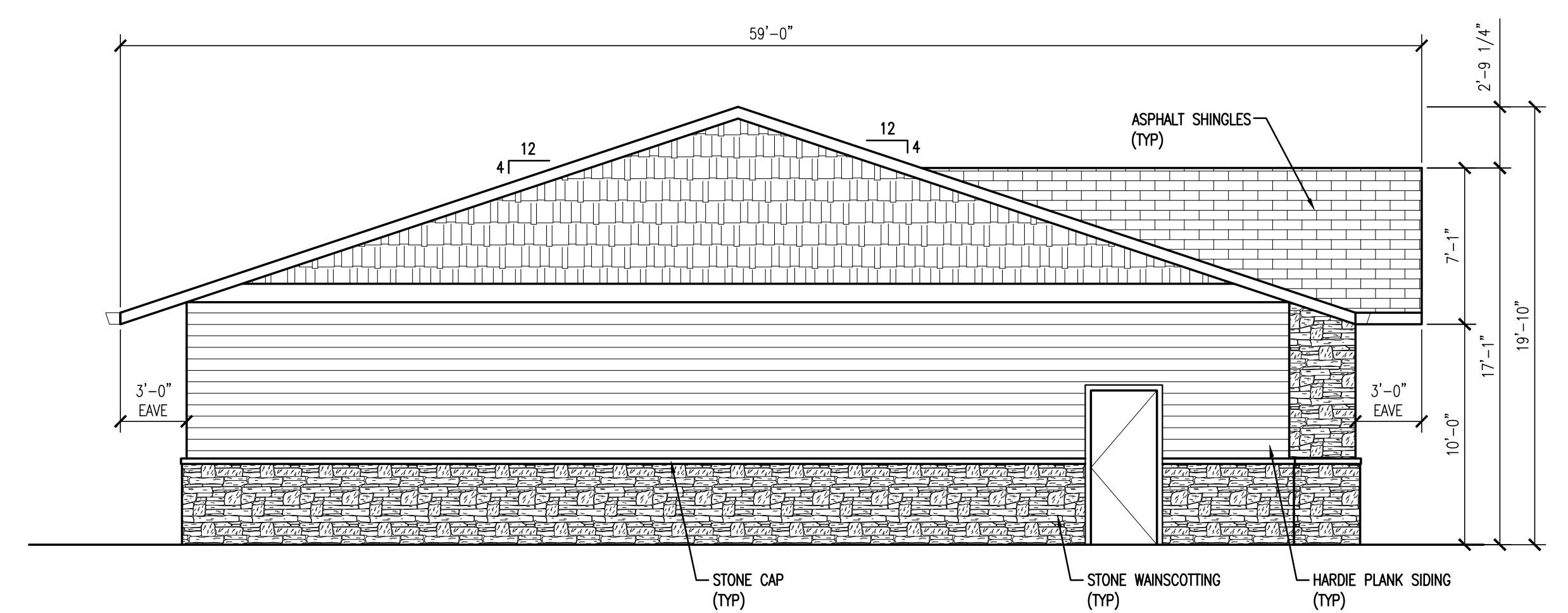
**EAST ELEVATION**

SCALE: 3/16"=1'-0"



**NORTH ELEVATION**

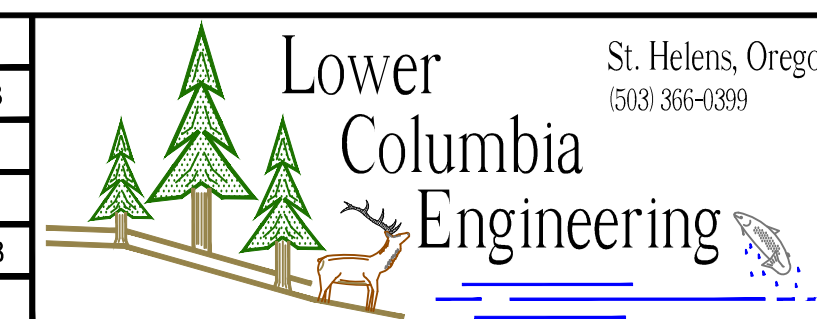
SCALE: 3/16"=1'-0"



**WEST ELEVATION**

SCALE: 3/16"=1'-0"

| REV. | REVISION RECORD    | DATE     |
|------|--------------------|----------|
| A    | OWNER UPDATES      | 11/13/18 |
| B    |                    |          |
| C    | OPTION C           |          |
| D    | PER CLIENT REQUEST | 11/28/18 |



|           |       |                                   |
|-----------|-------|-----------------------------------|
| PROJ. NO. | 2801  | RICH BAILEY CONSTRUCTION          |
| DWG. BY   | AR    | COLUMBIA VETERINARY CLINIC        |
| APPR. BY  |       | EXTERIOR ELEVATIONS AND SCHEDULES |
| SCALE     | NOTED | DATE 10/25/18                     |
| DWG. NO.  |       | D-2801-A-05-D                     |





# CITY OF ST. HELENS PLANNING DEPARTMENT

# MEMORANDUM

TO: Planning Commission  
 FROM: Jennifer Dimsho, Associate Planner  
 Jacob Graichen, AICP, City Planner  
 RE: Architectural Character Review for 50 Plaza Square Remodel  
 DATE: November 27, 2018

The City received a Building Permit (No. 14269-A) to remodel the exterior and interior of 50 Plaza Square. The applicant also intends on applying for a Sign Permit for a wall sign, a description of which is included in the application.

Per SHMC 17.32.072(7), permanent exterior architectural changes to buildings (that are not official recognized historic resources) shall comply with the ***Riverfront District's Architectural Design Guidelines***. The Historic Landmarks Commission shall make a recommendation to the approval authority as to whether the Commission believes the Building Permit and Sign Permit complies.

Please review your copy of the guidelines when looking at this proposal and be prepared to discuss. The guidelines can also be found on the City website on the Planning Departments historic preservation page: <https://www.ci.st-helens.or.us/planning/page/riverfront-district-architectural-design-guidelines>

**Attached to this memo are materials, including historic photos of the building and similar buildings, provided by the applicant. I expect a representative will be present to help answer any questions the Commission may have.**

**Here is an overview of the relevant design guidelines:**

**Building (front):** Restoring façade elements that have been covered or removed is strongly encouraged. The applicant has already removed the cedar awning/canopy, which was not original. The applicant is proposing to re-install the original transom windows. They are also proposing to re-install ground-floor display windows, similar to the historic descriptions of the building.

During rehabilitation of buildings, replace materials with similar material types to maintain the original appearance of the structure. The applicant is proposing to evaluate and restore the brick as necessary. Brick is a preferred, traditional material and the original façade should be maintained as much as possible. The original National Register of Historic Places nominations list from 1984 include a description of the "Bennett Building," which appears to have been designed by the same architect as the 50 Plaza Square building. The nomination suggests using the Bennett Building as an example to aid in restoration of 50 Plaza Square. The applicant is proposing to restore what was likely a tile façade below the storefront windows (also called a "kickplate") using a similar style tile as the Bennett Building.

The guidelines recommend not altering the original doors, but the existing doors to be removed are not original. The applicant is proposing a new double-wood door entry. Based on a conversation with the applicant, the double-wood door entry (unlike the plans show) *would* have a kickplate, but



only if these doors meet ADA rules. The guidelines suggest using kickplates at the base of entry doors, which is consistent with other storefronts in the area.

**Building (side):** The side of the building is actually two concrete walls, one of which was the wall of the former structure on the site (the “Dillard Building”). The applicant is proposing to restore the wall to match the small section of stucco on the front façade. It will be of a neutral color, which is preferred by the guidelines.

The applicant is proposing to install a new “picture window” on the existing concrete wall. The maximum size allowed by the structural engineer is 5’7” x 5’7”. The color of the window will match the front storefront windows. The guidelines focus on the design of the front façade storefront and transom windows for the most part. Although this side of the building never had a window (because of a former abutting structure), this new side window appears to meet the intent of the guidelines by matching the style of the window to the front provided this window is the same distance from the ground as the storefront windows and that the width-to-height ratio is the same. The window alterations proposed on the rear side of the building will not be visible at most angles.

**NOTE:** All window alterations must also meet Building Code requirements. A new window may be not be allowed on the side, given close proximity to the property line.

**Sign/Lighting:** Appropriate sign materials include painted or carved wood, carved wooden letters, epoxy letters, galvanized sheet metal, slate, marble, or sandstone, gold leaf, gilt, painted, stained or sandblasted glass, clear and colored acrylic, neon, or stained glass. The lighting should be external illumination, as opposed to internal.

The applicant is proposing plain gold letters in a simple, easy-to-read style with external enamel lighting.

### **Conclusion**

Staff feels the signage plan appears to meet the guidelines for new signage.

Staff feels the Building Permit meets the intent of the ***Riverfront District’s Architectural Design Guidelines*** by restoring the building as close to the original façade as possible provided that:

1. Front doors have kickplates if ADA standards can be met
2. Side window approximates the same width-to-height ratio of the individual storefront windows
3. Side window is the same distance from the ground as the storefront windows



# 50 Plaza Square, St. Helens, OR 97051

## Mission Statement

Through research and collaboration with the local historians, return the building façade to as close to the original storefront as possible.

To be a model for the revitalization and restoration of the  
“Historic Downtown” area.

## Goals

- Reinstall the “Mezzanine” windows above the lenth.
- Install 1920’s style storefront windows
- Install age appropriate style tile to the “Kick Plate” and entry.
- Install double wood doors to entry ( If we can comply with ADA Requirements). *Wooden doors have kickplate, (consistent with other storefronts).*
  - Evaluate and restore brick as necessary.
  - Restore stucco wall (adjacent to courthouse). \*
  - Add and eliminate windows on side and back (per plan). \*\*
- Install 1920’s style signage (Plain Gold Letters and enamel lights) per plan. All other branding would be reverse gold leaf style lettering applied to windows and door.

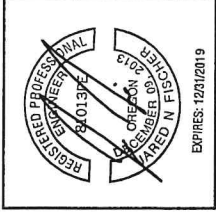
\* per applicant, stucco to be of a neutral color to match front

\*\* Per applicant, window to be maximum of 5'7" x 5'7".

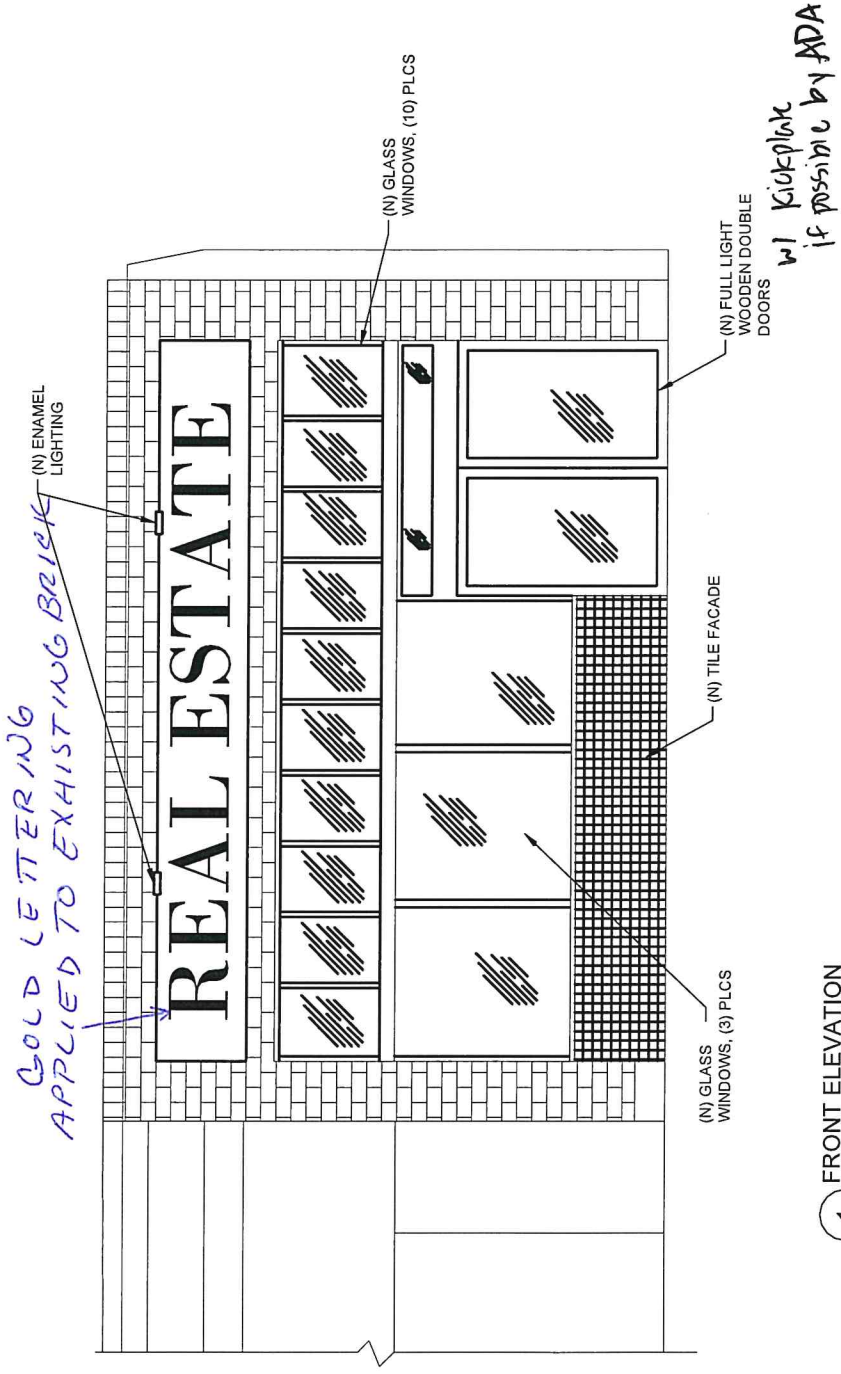
Color to match storefront windows.

window to be a "picture window".



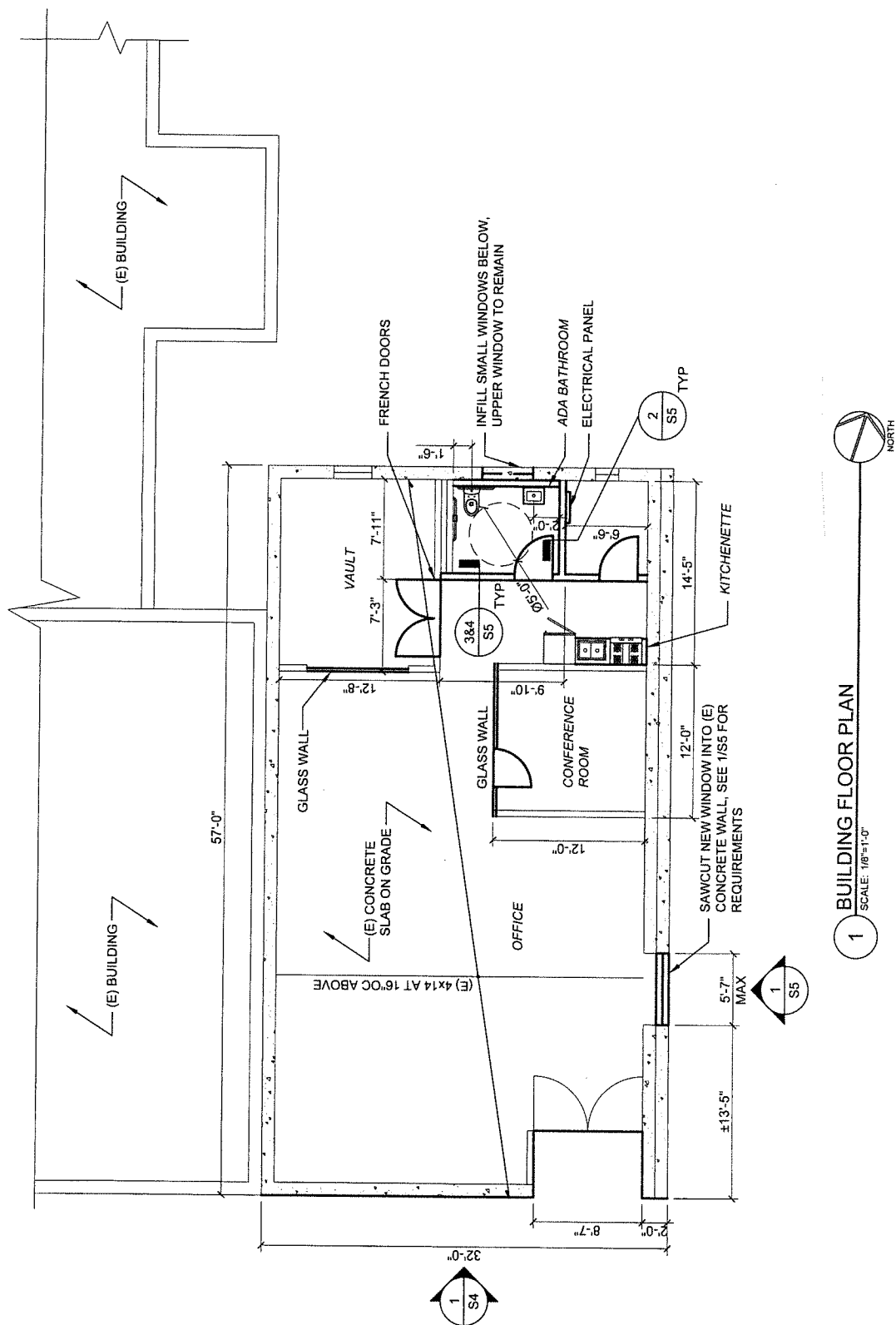


DATE SIGNED: 11/20/2018



BP#14269.A







United States Department of the Interior  
Heritage Conservation and Recreation Service

National Register of Historic Places  
Inventory—Nomination Form

For NCRS use only

received

date entered

Continuation sheet

Item number 7

Page 17

The Columbia County Bank is the oldest bank in the county, and from the standpoint of capital stock and resources is also the strongest in the county. The Columbia County Bank was founded by William M. Ross in the year 1905. It was started on a very small capital, but Mr. Ross saw the possibilities ahead and believed St Helens would grow and therefore the bank would grow. The first few years were a struggle and Mr. Ross had to do considerable insurance and other work to keep things going but business was increasing and the manner in which it was handled inspired the confidence of its depositors. During the panicky times when other banks paid out clearing house certificates, and husbanded their stock of gold and silver, it was not necessary for the bank here to pay out anything but cash." (St Helens Mist, Special Edition, Sept. 15, 1916)

William Ross, brother of Dr. Edwin Ross, located in Columbia County after having visited his brother in 1905. "Since locating here Mr. Ross has done much to put St Helens where it is. He has served as president of the Commercial Club, City Clerk, member of the City Council and other positions where he could be of benefit to the town. He is prominent in fraternal circles and has held important offices in the lodges." (ibid.) The bank failed during the Great Depression.

18 ADDRESS: 273 & 277 Strand  
CLASSIFICATION: Secondary Significant  
OWNER: Hazel Vagt, 167 S 1st, St Helens OR 97051  
ASSESSOR MAP: 41321 TAX LOT: 800  
PLAT: St. Helens LOT: Pt of 19 BLOCK: 11  
YEAR BUILT: 1929 STYLE: Commercial  
ALTERATIONS: Minor USE: Retail & Office

DESCRIPTION: The Bennett Building is a one story, rectangular shaped structure with a three-bay front. It has a flat roof with a parapet across its Strand facade. The front facade of the building is finished in red and dark brown glazed raked brick. The brick parapet is detailed with three recessed panels. The storefront windows at either side of the building are fixed with the two storefront entrances being provided in the central recessed bay. Above the storefront windows are mezzanine windows. A simple, classical cornice caps the mezzanine windows. The base of the storefront windows are detailed with honey brown and black glazed tiles.

Harry Bennett came to St Helens in September 1909 and opened a barber shop, confectionery and pool and card room on lower Strand. In 1929 J.E. Doughty designed this building for Bennett on upper Strand.



United States Department of the Interior  
Heritage Conservation and Recreation Service

National Register of Historic Places  
Inventory—Nomination Form

For HCERS use only

received

data entered

Continuation sheet

Item number 7

Page 11

10 ADDRESS: 50 Plaza

CLASSIFICATION: Secondary Significant

OWNER: Julius Spillman et al, 221 S.E. 55th Ave. Portland OR 97215

ASSESSOR MAP: 41321

TAX LOT: 1600

PLAT: St. Helens

LOT: Pt of 8 BLOCK: 11

YEAR BUILT: ca. 1928

STYLE: Commercial

ALTERATIONS: Moderate

USE: Commercial Service

DESCRIPTION: The structure is a one story rectangular shaped building with a one-bay front. The flat roof has a parapet wall along the front edge of the building which faces south on the Plaza. It is constructed of red and chocolate colored glazed brick with a raked pattern. The main panel on the parapet is slightly recessed and is constructed of red brick only. The cornice is detailed with vertical bricks and an ornamental tile cap. The store front windows of the building have been altered with aluminum sash and diagonal painted cedar tongue and groove siding below the windows. A fixed canopy also constructed of cedar siding extends across the front of the building. The common wall to the east has been covered over with tongue and groove beveled vertical siding in a pseudo-mansard shake roof. While the alterations are considered moderate, they appear to be reversible. The Bennett Building (No. 18) is similar in design and materials and appears to have been designed by the same person, Mr. Doughty. The Bennett Building, therefore, might be used as an aid in restoration.

11 ADDRESS: 236 &amp; 240 S. 1st Street

CLASSIFICATION: Non-Compatible Non-Contributing

OWNER: Rose Federici, 144 S. 14th, St Helens OR 97051

ASSESSOR MAP: 41321

TAX LOT: 1700

PLAT: St. Helens

LOT: Pt of 8 BLOCK: 11

YEAR BUILT: 1938

STYLE: Commercial

ALTERATIONS: Moderate-Extensive USE: Retail &amp; Service

DESCRIPTION: The structure is a one story rectangular building with a symmetrical two-bay front. It is constructed of poured concrete and originally had wood sash storefront windows. The building has been moderately to extensively altered. A pseudo-mansard overhang has been built along the front and side elevation of the building and the facade of 240 S. 1st St has been covered with roman brick and the windows and door have been changed to aluminum sash. If the building had not been altered in this fashion, it would have been classified as compatible non-contributing.



# 50 Plaza Square



# The Bennett Building





# 50 Plaza Square



1980's to Current

## 50 Plaza Square

Secondary Significance; Tax Lot 1600

- Built 1928; 1 story
- One-bay front with recessed entry
- Red and chocolate color brick
- Recessed panel of red brick on facade
- Cedar canopy and kickplate not original



1960's

1962 Saluting Progress & Growth St. Helens Sentinel Mist Supplement p. 31

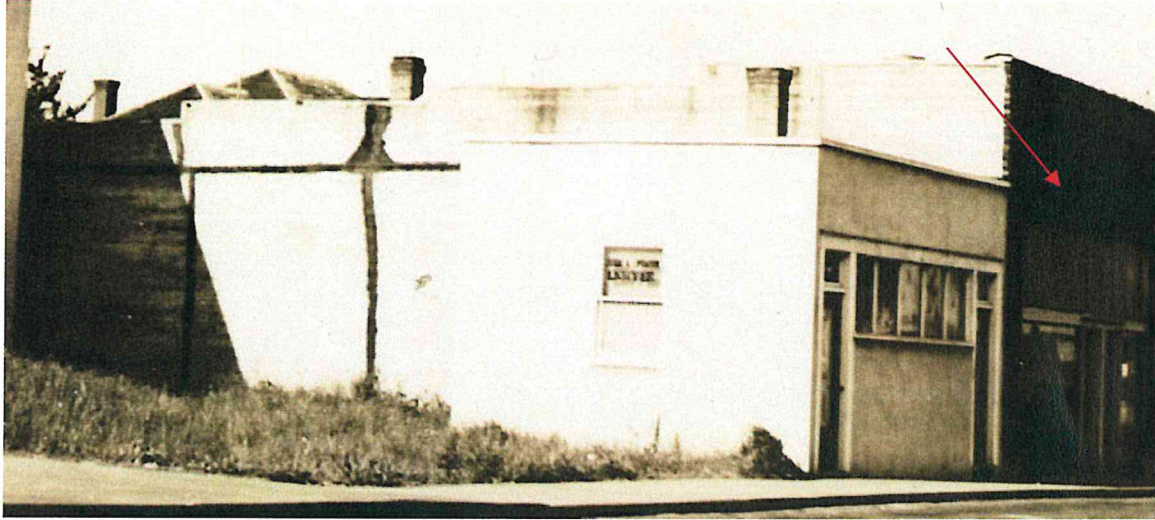


1950's

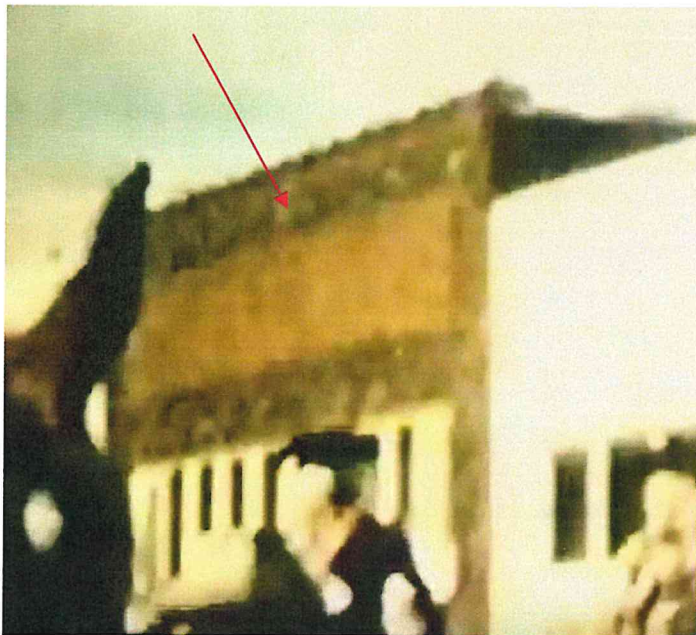
COLUMBIA COUNTY BRANCH TITLE and TRUST COMPANY  
50 Plaza, St. Helens, Oregon . . . . . Phone 10  
TITLE INSURANCE — ESCROWS



# 50 Plaza Square



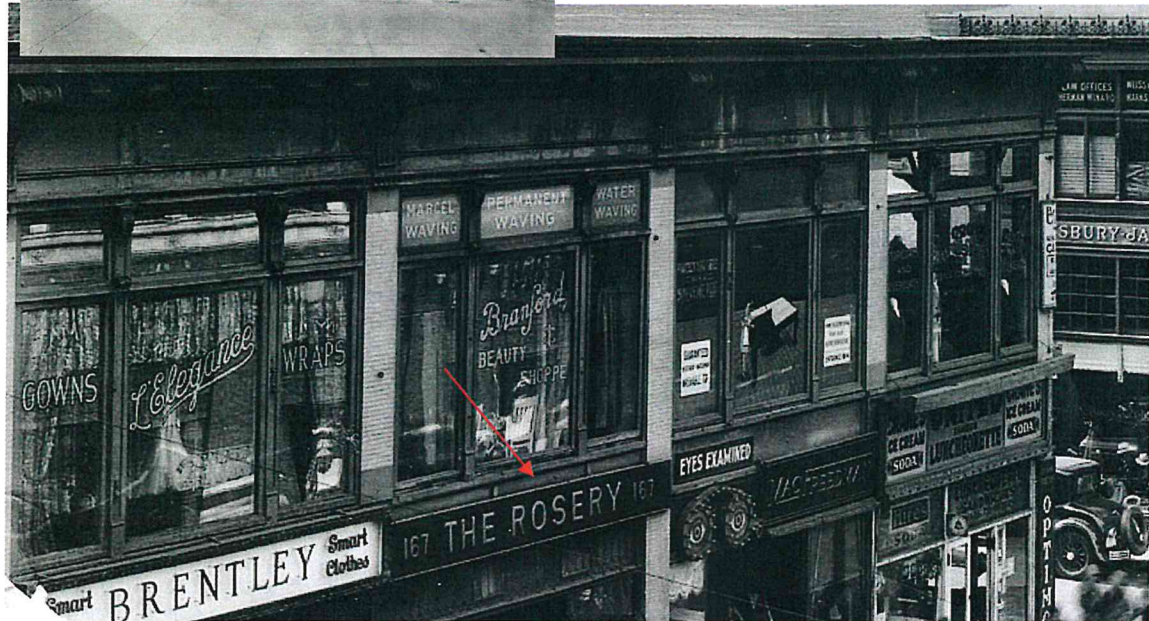
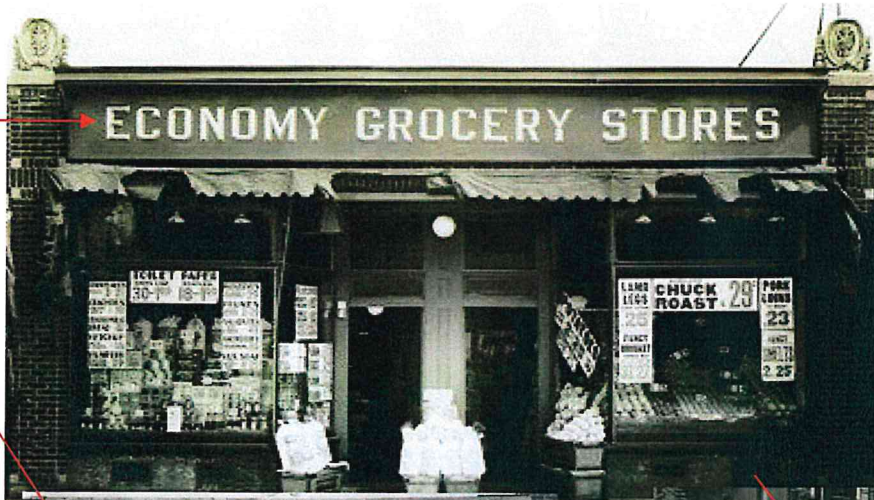
1938



Year Unknown



# 50 Plaza Square Signage Examples





# **CITY OF ST. HELENS PLANNING DEPARTMENT ACTIVITY REPORT**



**To:** City Council  
**From:** Jacob A. Graichen, AICP, City Planner

**Date:** 10.30.2018

This report does not indicate all *current planning* activities over the past report period. These are tasks, processing and administration of the Development Code which are a weekly if not daily responsibility. The Planning Commission agenda, available on the City's website, is a good indicator of *current planning* activities. The number of building permits issued is another good indicator as many require Development Code review prior to Building Official review.

## **PLANNING ADMINISTRATION**

Participated in a County pre-application meeting for a potential food cart pod on property at the corner of Gable Road and McNulty Way. This property is outside the city limits boundary but with our Urban Growth Boundary.

Conducted a pre-application meeting for potential commercial development on Lot 4 of the Matzen Subdivision.

Updated Home Occupation forms given recent adopted code amendments (ORD No. 3232).

Participated in a County pre-application meeting for a potential land division of property off of Bachelor Flat Road just a bit SW of the Ridgecrest Planned Development. About half of it is outside of the City's Urban Growth Boundary and it is one parcel with five dwellings on it. Soil conditions and impractical sanitary sewer connection potential are obstacles.

Had a preliminary Q&A meeting for a potential buyer of the former Ralph's auto wrecking yard at 1955 Old Portland Road.

Responded to a Columbia County referral notice for a project outside City limits but inside the City's UGM for a 2-parcel land partition at 57710 Old Portland Road (County File: MP 19-04).  
**See attached.**

Attended the second St. Helens Brownfield Assessment Program advisory committee meeting. Outreach to property owners and the community about related funding opportunities to follow over the next months.

## **PLANNING COMMISSION (& acting HISTORIC LANDMARKS COMMISSION)**

**October 9, 2018 meeting (outcome):** The Commission approved three variances that will enable a two parcel partition for a property at 1070 Deer Island Road with two detached single-family dwellings on it.

The Commission also discussed two upcoming term expirations amongst it ranks. Interview committee formed.

The Planning Commission accepted being the advisory committee for the Housing Needs Analysis project.



November 13, 2018 meeting (upcoming): This meeting has been cancelled. The Commission could use a break anyways, having spent many long nights in the chambers this year, in addition to copious materials to review beforehand.

### **COUNCIL ACTIONS RELATED TO LAND USE**

The saga of the Conditional Use Permit for a proposed marijuana retailer/medical marijuana dispensary at 100 St. Helens Street continues. Originally denied by the Planning Commission and then approved by the City Council, an appeal to the Oregon Land Use Board of Appeals (LUBA) has been filed.

### **HOUSING NEEDS ANALYSIS**

As noted in the July report, DLCD selected us as a recipient of the 2018-2019 Housing Needs Analysis project. Basically, the State passed a bill to fund this for various cities.

We received the final MOU from DLCD signed by the City (back in August) and now DLCD. We will have a consultant work with us to update the statutory required Housing Needs Analysis data, documents, etc. It is anticipated the City will adopt the product(s) after the work with the consultant is complete, which is supposed to be mid-2019. The consultant will be FCS Group.

<http://fcsgroup.com/>

We worked with FCS Group and DLCD this month to refine schedules and work plan. Also provided data and information to FCS Group.

### **ST. HELENS RIVERFRONT CONNECTOR PLAN (TGM FILE NO. 2D-16)**

Based on feedback from various entities the consultants created some revised intersection concepts around 12<sup>th</sup> Street/Old Portland Road/Plymouth Street. This was before the Council update on October 17<sup>th</sup>. This will help get a head start in the next task, which includes further refinement.

Staff updated the Council this month. The Project Management Team also met to discuss next steps, which includes code amendments related to the project.

Bi monthly cost match report completed.

**ASSOCIATE PLANNER**—*In addition to routine tasks, the Associate Planner has been working on:*  
**See attached.**



October 23, 2018

## REFERRAL AND ACKNOWLEDGMENT

To: City of St Helens

**NOTICE IS HEREBY GIVEN** Timothy Comer has submitted an application for a Minor Partition to divide an approximate 2 acre property, into two parcels, as shown on Preliminary Map, of approximately 1 acre each. The subject property is zoned Single Family Residential (R-10), and is identified as Tax Map Number 4117-B0-02400 located at 57710 Old Portland Road.

**THIS APPLICATION IS FOR:** (X) Administrative Review; ( ) Planning Commission, Hearing Date:

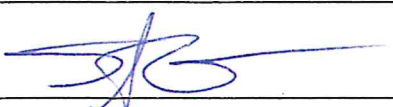
**PLEASE RETURN BY:** 11/05/18

**Planner:** Hayden Richardson

The enclosed application is being referred to you for your information and comment. Your recommendation and suggestions will be used by the County Planning Department and/or the Columbia County Planning Commission in arriving at a decision. Your prompt reply will help us to process this application and will ensure the inclusion of your recommendations in the staff report. Please comment below.

1. \_\_\_\_\_ We have reviewed the enclosed application and have no objection to its approval as submitted.
2. X Please see attached letter or notes below for our comments.
3. \_\_\_\_\_ We are considering the proposal further, and will have comments to you by \_\_\_\_\_.
4. \_\_\_\_\_ Our board must meet to consider this; we will return their comments to you by \_\_\_\_\_.
5. \_\_\_\_\_ Please contact our office so we may discuss this.
6. \_\_\_\_\_ We recommend denial of the application, for the reasons below:

COMMENTS: SEE ATTACHED MEMO DATED OCT. 29, 2018

Signed:  Printed Name: JACOB A. GRAICHEN


Title: CITY PLANNER Date: OCT. 29, 2018





## CITY OF ST. HELENS PLANNING DEPARTMENT

**M E M O R A N D U M**

TO: Hayden Richardson, Planner, Columbia County  
 FROM: Jacob A. Graichen, AICP, City Planner   
 RE: Columbia County file MP 19-04  
 DATE: October 29, 2018

Please include the following conditions:

- Each parcel shall share a single shared access with a reciprocal access easement and maintenance agreement. Two access points (i.e., one per parcel) shall be prohibited. The final plat shall include the easement. Any easement and maintenance agreement documentation separate from the final plat itself, shall be recorded with the final plat and referenced on the final plat.
- The location and driveway design shall be such to prevent vehicular backing movements or other maneuvering within the Old Portland Road right-of-way.
- The shared access shall be paved at least 25 feet back from Old Portland Road for its entire width prior to final plat. The remainder may be gravel per County standards.
- If the existing driveway that serves the existing dwelling will not be used as the shared single-access point, it needs to be removed/abandoned prior to final plat.
- Future development plan approved by the County and City of St. Helens shall be recorded with the final plat and referenced on the final plat.

-----basis for conditions and other comments/considerations below-----

The City's Comprehensive Plan designation for this property is Rural Suburban Unincorporated Residential, RSUR. If ever annexed, the property would most likely be zoned the City's R10 or R7. This allows a minimum lot size for detached single-family dwellings of 10,000 and 7,000 square feet, respectively.

#### City Utilities:

City water is location within the Old Portland Road right-of-way. Connection would require consent to annex.

#### Access:



Old Portland Road is classified as a Minor Arterial per the City's Transportation Systems Plan. Given this classification, access is one of the major concerns of the City for this proposal.

This is a County Road at this location but it is still within the City's Urban Growth Boundary.

Old Portland Road appears to have a right-of-way width of 60 feet, which is acceptable.

The City's access spacing standards between driveways and driveways and streets (as measured from the middle of the driveway/street) is 200 feet. It doesn't appear possible to meet this standard with two separate Old Portland Road access points as proposed. Each parcel must share a single shared access with a reciprocal access easement and maintenance agreement.

The location and driveway design shall be such to prevent vehicular backing movements or other maneuvering within the Old Portland Road right-of-way. It also shall be paved at least 25 feet back from Old Portland Road for the entire width of the access point.

If the existing driveway that serves the existing dwelling will not be used as the shared single-access point, it needs to be removed/abandoned.

### **Future Development Plans**

Given the proposed parcel sizes, a future development plan (shadow plat) shall be approved by the County and City showing how the parcels could be divided further (e.g., when City sewer is available). New buildings shall be required to fit within the future development plan's conceptual property lines. Document to be recorded on the deeds of the parcels at the same time as the final plat and be binding on all current and future owners.



COLUMBIA COUNTY  
LAND DEVELOPMENT SERVICES

COURTHOUSE  
230 STRAND  
ST. HELENS, OREGON 97051  
(503) 397-1501

RECORDED 192-18-100542-1009  
110

PARTITION  
General Information

File No. MP 19-04

APPLICANT: Name: Timothy Comer  
Mailing address: 57710 Old Portland Rd. Warren, OR 97053  
Phone No.: Cell 503-729-3327 City State Zip Code  
Home 503-577-7201

Are you the ☒ property owner? ☐ owner's agent?

PROPERTY OWNER: ☒ same as above, OR:

Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_  
City State Zip Code

Phone No.: Office \_\_\_\_\_ Home \_\_\_\_\_

PROPERTY ADDRESS (if assigned): 57710 Old Portland Rd. Warren, OR 97053

TAX MAP NO.: 4117-B0-02400 Acres: 2 Zoning: R-10

PROPOSED PARCEL SIZES (acres): 1 1

WATER SUPPLY: ☒ Private well. Is the well installed? ☐ Yes ☒ No  
☐ Community system. Name \_\_\_\_\_

METHOD OF SEWAGE DISPOSAL: ☐ Community Sewer. Name \_\_\_\_\_  
☐ Not applicable.  
☒ Septic System.

If Septic, does the subject property already have a system? ☐ Yes ☒ No

If no, is the property approved for a Septic System? ☒ Yes ☐ No

CERTIFICATION:

I hereby certify that all of the above statements and all other documents submitted are accurate and true to the best of my belief and knowledge.

Signature: [Signature] Date: 10-1-18

Planning Department Use Only

Date Rec'd. 10-1-18 Hearing Date: \_\_\_\_\_ or Admin. \_\_\_\_\_

Receipt No. \_\_\_\_\_ Staff Member: [Signature]

Previous Land Use Actions: MP 10-13 Stormwater & Erosion Control Fees: \_\_\_\_\_



Columbia County Land Development Services  
STATEMENT OF WATER RIGHTS

111

1. ☒ The subject parcel(s) DO NOT have a water right.

Water is supplied to this property by \_\_\_\_\_

Name (please print): \_\_\_\_\_

Address: \_\_\_\_\_

Signed: \_\_\_\_\_ Dated: 10-1-18

Sign this form and file it with your Preliminary Plat. Thank you.

2. \_\_\_\_\_ The subject parcel(s) DO have a water right, as follows:

Permit # \_\_\_\_\_ Certificate # \_\_\_\_\_ for \_\_\_\_\_ use

Permit # \_\_\_\_\_ Certificate # \_\_\_\_\_ for \_\_\_\_\_ use

| Tax Map Number | Acres | Tax Map Number | Acres |
|----------------|-------|----------------|-------|
| _____          | _____ | _____          | _____ |
| _____          | _____ | _____          | _____ |
| _____          | _____ | _____          | _____ |
| _____          | _____ | _____          | _____ |

3. The water right has been put to beneficial use within the past 5 years: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Don't know

4. The water right has been continuously used without a 5 year interruption since it was established and documented:  
\_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Don't know

5. \_\_\_\_\_ The water right WILL NOT be modified for this plat.

\_\_\_\_\_ The water right WILL be modified and the property owner has filed for: \_\_\_\_\_ a change of use.  
\_\_\_\_\_ a change in the point of diversion.  
\_\_\_\_\_ a change in the place of use.  
\_\_\_\_\_ an additional point of diversion.  
\_\_\_\_\_ cancellation of the water right.

6. The above information is true and complete to the best of my knowledge and belief:

Name (please print): \_\_\_\_\_

Address: \_\_\_\_\_

Signed: \_\_\_\_\_ Dated: \_\_\_\_\_

Please do not write below this line. Thank you.



## Preliminary Stormwater Plan

112

Proposed Driveway Easement on North property

Gravel Driveway will be built

Water flow will Drain to the east of property

towards the bay

Property has a slight slope to the east of property

Stormwater to be absorbed

Gutter water will be discharged on sight

Tim Comer





## DEPARTMENT OF LAND DEVELOPMENT SERVICES

230 Strand, Columbia County Courthouse, St. Helens, Oregon 97051

Phone: (503)397-1501 Fax: (503)366-3902

[www.CoColumbia.or.us](http://www.CoColumbia.or.us)

113

August 7, 2018

Timothy Comer  
57710 Old Portland Rd.  
Warren, OR 97053

### EVALUATION REPORT FOR AN ON-SITE SEWAGE DISPOSAL SYSTEM

SUBJECT Map: 4117-B0-02400  
Receipt: 385871

Acreage: P.O. 2.0  
File #: 192-18-000203-EVAL

I have made an evaluation of a proposed sewage disposal system construction site to support a single family residence on the above described property.

Based on the results of this study, sewage disposal appears feasible. Site conditions will require the use of a STANDARD SYSTEM for the original system, as described in the attached construction detail and site drawing reports. For the replacement area a STANDARD SYSTEM will be required.

Based on the results of this study, sewage disposal appears feasible through the construction of a STANDARD SEWAGE DISPOSAL SYSTEM, as described in the attached site drawing and construction detail reports.

**Before construction of a subsurface sewage disposal system can take place, A PERMIT MUST BE PURCHASED FROM COLUMBIA COUNTY LAND DEVELOPMENT SERVICES.**

Only the property owner or a licensed installer can construct a subsurface sewage disposal system or part thereof. A detailed, to-scale plot plan of the proposed development and list of construction materials must be submitted with the permit application.

Only a limited area of your property appears suitable for this type of system. Please refer to the enclosed diagram for specifics concerning dimensions and/or special conditions of the approved site.

Please note that this approval is site specific to the area tested and does not address the feasibility of locating the system elsewhere on the property. Should you wish to relocate the disposal system, a new evaluation(with appropriate fees) will be required.

This study was done on Map/Tax Lot 4N-1W-17-B0-02400.



This approval is limited to a dwelling of FOUR bedrooms maximum. The definition of "bedroom" means any room within a dwelling which is accepted as such by the local authorized building official.

This approval will remain valid until the system is installed and approved. Conditions on this property or adjacent properties are not to be changed in any manner conflicting with applicable State rules which would prohibit issuance of a permit. Partitioning or subdivision of this property, alteration of the natural conditions in the area of approval and/or water well development on this or adjacent properties may void this approval.

Technical rule changes which take place after the date of this report will not invalidate this approval, except that construction standards may be changed to meet codes applicable at the time of permit issuance.

The approval of this property and the conditions set forth in this letter in no way waive requirements as may be set by the zoning of the area. A permit to construct a system on this property will be subject to the review and approval of Columbia County Land Development Services.

**You are cautioned not to place commercial, or other septic system cleaners or additives in your disposal system; doing so could increase the drainfield clogging potential, as well as kill the internal organisms necessary for proper operation. This warning is given with full knowledge of product statements to the contrary.**

To prevent accidental injuries, this office recommends the test holes be filled.

If you have any questions, feel free to call.

Sincerely,

A handwritten signature in cursive script that reads "Larry Olander".

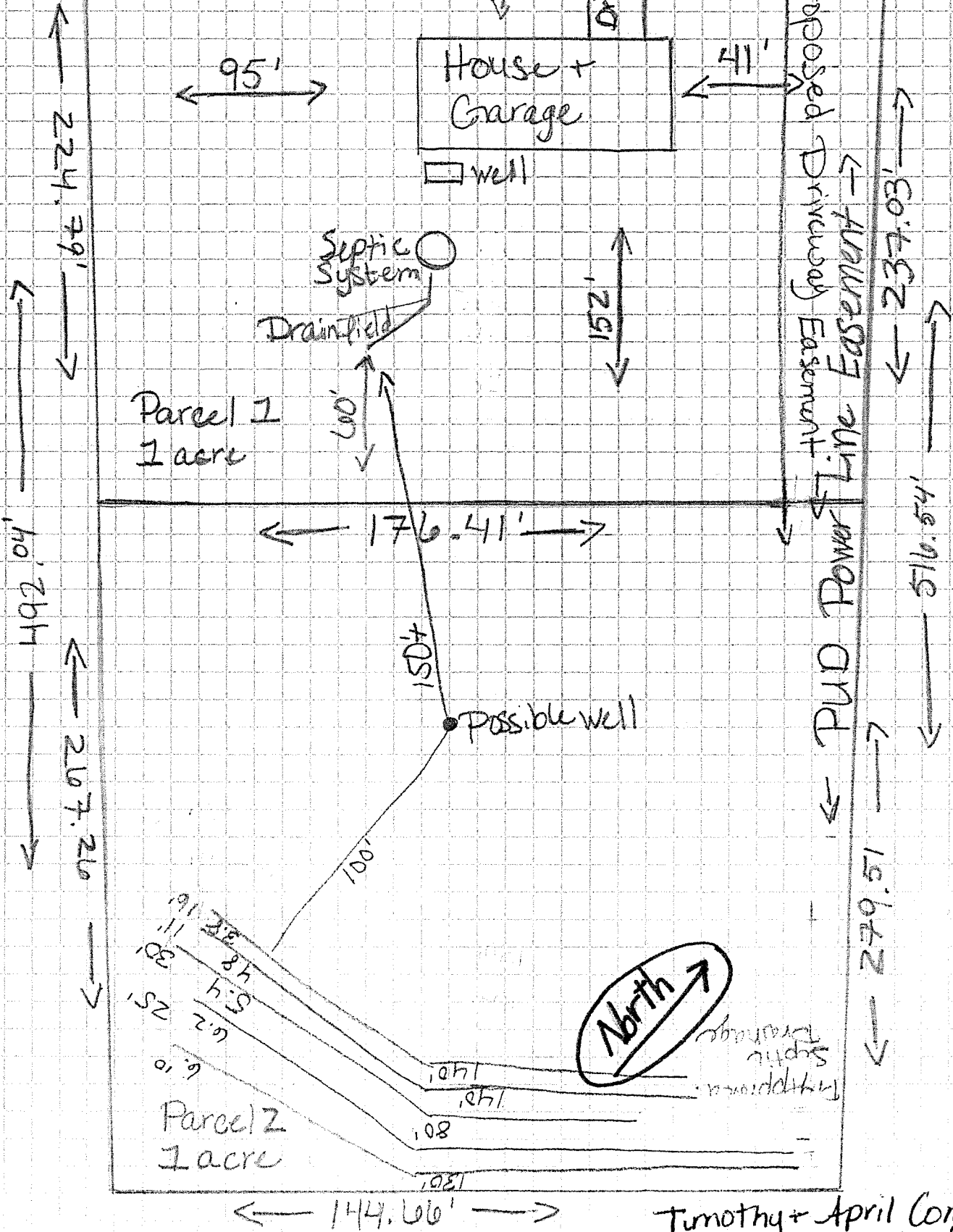
Larry Olander, WWS  
Environmental Services Specialist

cc: Kevin Schwarz



← Old Portland Rd. →

← 00' 1702 →



NOT TO SCALE  
but Accurate

Tax lot 4117-RD-07.400

Timothy + April Comer  
57710 Old Portland Rd.  
Warren, OR 97053



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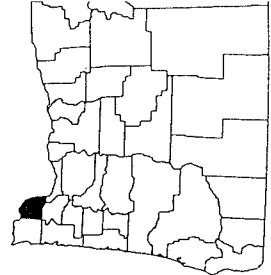
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Population of Columbia County

KEY TO COUNT



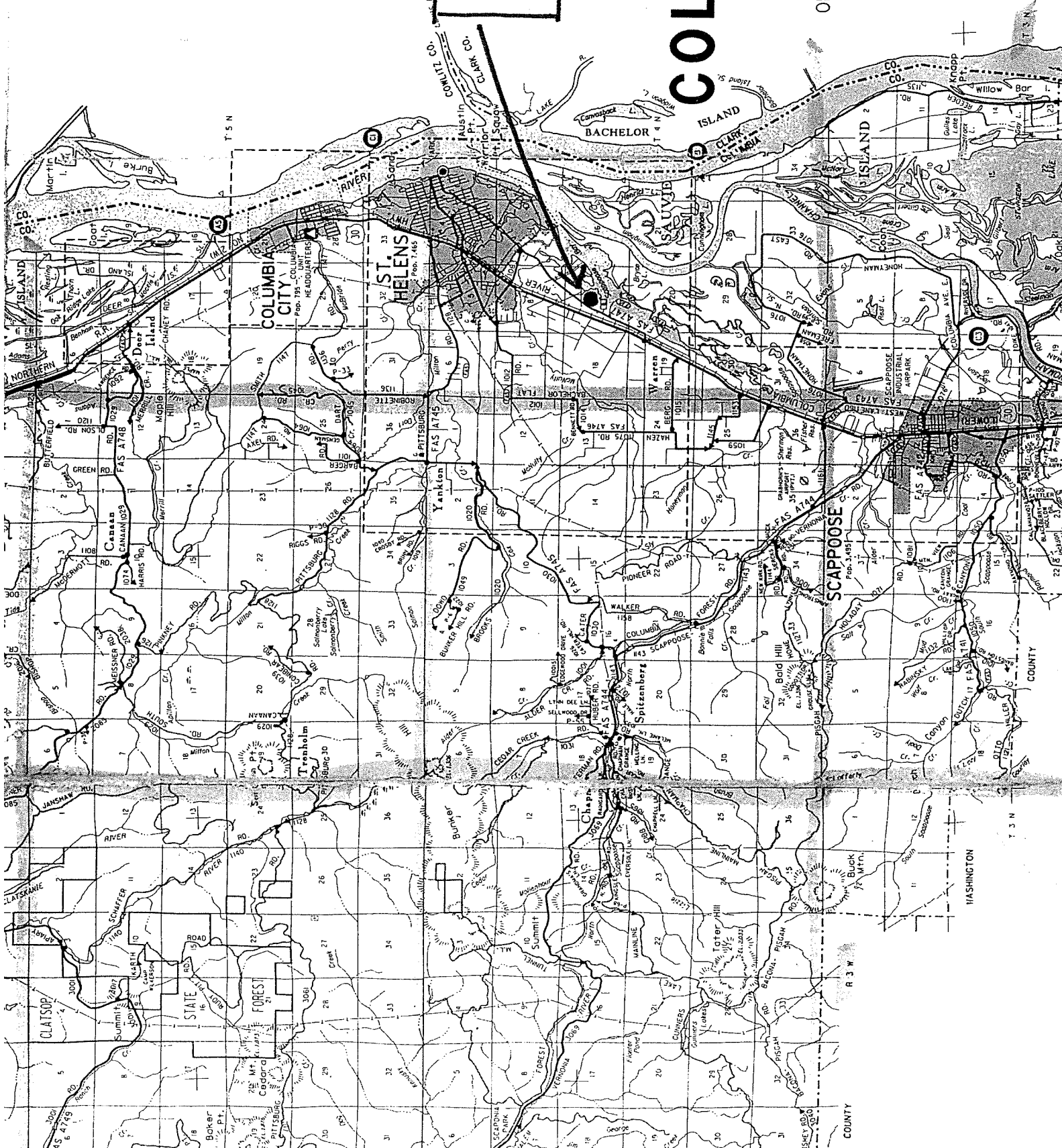
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Vicinity Map

# ROAD INDEX COLUMBIA OREGON

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OREGON DEPARTMENT OF  
IN COOPERATION WITH  
U.S. DEPARTMENT OF TR  
FEDERAL HIGHWAY ADMIN

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## Jacob Graichen

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**From:** Jennifer Dimsho  
**Sent:** Thursday, October 25, 2018 1:54 PM  
**To:** Jacob Graichen  
**Subject:** October Planning Department Report

Here are my additions to the October Planning Department Report.

### GRANTS

1. **Columbia Care Organization (CCO) Community Wellness Investment Fund – Received notice of award of \$20,000 for the Recreation Program!** Received contract and check forthcoming.
2. Travel Oregon - Medium Grants Program (100k) – Implementation Phase One of the Wayfinding Master Plan – Draft Request for Proposals (RFP) circulated with staff. Final RFP published and advertised in DJC Oct 18. Closing date for proposals is Nov 15, with project kickoff by January 2019.
3. OPRD – Veterans Memorial Grant – Poured colored slabs and foundation for shelter. Demolition of existing monument. Worked through re-design of existing monument area and new wall memorial to accommodate the names of the existing monument. Prepared for covered shelter installation and delivery October 29.
4. TGM – Riverfront Connector Plan – Prepared and presented City Council update on October 17. Project Management Team meeting to discuss new intersection design for Plymouth/OPR and next steps on October 23. Next COOLPPL meeting and Council Update will be in December.
5. EPA – CWA Grant Program – Scheduled Brownfields Advisory Committee Meeting #2 on October 26 at 1 p.m. Reviewed South 80 investigation report and planned for private property owner solicitation. Discussed Open House #1. Submitted Quarterly Report October 31.
6. Submitted Safe Routes to School Grant Application (Total Project Cost ~400k. 320k ask, 80k match) – Project is approx. 1,100 feet of sidewalk along Columbia Blvd. between Gable Road and Sykes Road and intersection improvements on both ends of the corridor. Prepared detailed budget, application narrative with input from the school district, letters of support from the school district and Columbia County Roads Department, and coordinated with County regarding maintenance and ROW authority.
7. Housing Needs Analysis Kickoff Meeting – Phone conference on October 16. Worked through data needs memo and provided consultants with relevant data for study. Mapped out Advisory Committee Meeting dates.
8. Community Development Block Grant (CDBG) – Phone call to finalized budget for Columbia Pacific Food Bank building renovations. Final budget to be incorporated into contract with Business Oregon. Due to contract backlog, contract not expected to be final until January 2019, so work on the project cannot start
9. Researched Nike's Community Impact Fund – Potential for contributions to the National Fitness Campaign's fitness court installation project. Potential for 20k if we apply by December 1.

### MISC

10. Met with Tokola Properties to discuss preliminary site plan for Waterfront Redevelopment Project. Prepared press release/outreach and presentation for Waterfront Redevelopment Project Update on October 17 at 6 p.m. Updated Project Website.
11. Coordinating with ODOT about entrance sign location at Millard Road intersection
12. Attended the Oregon Planning Association Conference in Bend, OR October 18 & 19
13. Cancellation of the November 13 PC meeting

### Jenny Dimsho

Associate Planner  
City of St. Helens  
(503) 366-8207  
[jdimsho@ci.st-helens.or.us](mailto:jdimsho@ci.st-helens.or.us)



# **CITY OF ST. HELENS PLANNING DEPARTMENT ACTIVITY REPORT**



**To:** City Council  
**From:** Jacob A. Graichen, AICP, City Planner

**Date:** 11.26.2018

This report does not indicate all *current planning* activities over the past report period. These are tasks, processing and administration of the Development Code which are a weekly if not daily responsibility. The Planning Commission agenda, available on the City's website, is a good indicator of *current planning* activities. The number of building permits issued is another good indicator as many require Development Code review prior to Building Official review.

## **PLANNING ADMINISTRATION**

Conducted a pre-application meeting for potential expansion of the Matzen Subdivision apartment complex (the 204 unit one) for garages/storage areas.

Given City Administrator absence, I helped facilitate the public hearing on November 15<sup>th</sup> for sale of property amongst the former Boise white paper site.

Completed Housing and Rent Burden survey as required by House Bill 4006. This is the first one and it is an ongoing annual requirement.

## **DEVELOPMENT CODE ENFORCEMENT**

Sent a letter to a business along Columba Boulevard (near Vernonia Road) about an unauthorized sign.

## **PLANNING COMMISSION (& *acting* HISTORIC LANDMARKS COMMISSION)**

November 13, 2018 meeting (outcome): This meeting was cancelled.

December 11, 2018 meeting (upcoming): The first meeting starting at 6pm will be the City's kickoff for the City's Housing Needs Analysis efforts. We are using this meeting to also satisfy the new annually required meeting to discuss affordable housing per House Bill 4006.

As part of the City regular meeting the City has a public hearing for Conditional Use Permit for a new veterinarian business on vacant land surrounded by Columbia Boulevard, St. Helens Street, N. 14<sup>th</sup> Street, and N. 15<sup>th</sup> Street.

The Commission will also discuss term expirations (status of advertising for the potential vacant positions).

**As the Historic Landmarks Commission**, the commission is also anticipated also review exterior modifications to 50 Plaza Square.

## **COUNCIL ACTIONS RELATED TO LAND USE**

We scheduled the continued public hearing for the Scholl/Shlumpberger right-of-way vacation for December 5<sup>th</sup>.



**HOUSING NEEDS ANALYSIS**

Kick off meeting will be December 11 at 6pm with the Planning Commission. Note that we have a webpage for this project now: <https://www.ci.st-helens.or.us/planning/page/housing-needs-analysis>

**ST. HELENS RIVERFRONT CONNECTOR PLAN (TGM FILE NO. 2D-16)**

No major updates for this project. The consultants are working on revisions based on meetings/feedback to date.

**ASSOCIATE PLANNER**—*In addition to routine tasks, the Associate Planner has been working on:*  
**See attached.**



## Jacob Graichen

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**From:** Jennifer Dimsho  
**Sent:** Monday, November 26, 2018 10:48 AM  
**To:** Jacob Graichen  
**Subject:** November Planning Department Report

Here are my additions to the November Planning Department Report.

### GRANTS

1. **Columbia Care Organization (CCO) Community Wellness Investment Fund – Received notice of award of \$20,000 for the Recreation Program!** Received grant award check.
2. Travel Oregon - Medium Grants Program (100k) – Implementation Phase One of the Wayfinding Master Plan – RFP Closing date for proposals 11/15. Answered questions from multiple firms. Proposal selection scoring/award by end of November for upcoming Council meeting.
3. OPRD – Veterans Memorial Grant – Shelter installation. Continued discussions about design of wall and area where previous monuments were located. Attended Veterans Day celebration on 11/11. Spoke to the press about the funding gap and project progress. Discussed with OPRD Grants Coordinator about a time extension and additional funding. Project management team meeting to discuss design revisions and budget.
4. TGM – Riverfront Connector Plan – Scheduled remaining COOLPPL Meeting. Reviewed agenda and meeting materials.
5. EPA – CWA Grant Program – Reviewed South 80 final report. Finalized BAC Meeting #2 minutes. Reviewed draft property owner brochure. Submitted quarterly report. Public Meeting #1 to be scheduled January 2019.
6. Housing Needs Analysis – Created press release/outreach materials for kickoff meeting #1 on 12/11 at 6 p.m. Includes information about our House Bill 4006 public meeting requirements. Scheduled/prepared/reviewed materials for the meeting. Created a project website.
7. Researched Nike's Community Impact Fund – Potential for contributions to the National Fitness Campaign's fitness court installation project. It was decided to use our resources on a different project. Tracking the deadline for this grant for another park project instead.
8. CareOregon Community Benefits Program – Adaptive Grant Funds – Submitted application for 50k for Recreation Center renovations. Discussed with coordinator about timeline for funding the Recreation Center renovations in 2019. Should hear back by February 2019.
9. Ford Family Foundation Community Building Spaces – Submitted application for 50k for Recreation Center renovations. Included narrative and letter of support from the Columbia Pacific CCO.
10. Continued conversations with Columbia Pacific CCO about their grant program to be amended by Spring 2019. Potential for additional Recreation Center capital and/or programming funding.

### MISC

11. Continued coordination with ODOT about entrance sign location at Millard Road intersection
12. Coordinated wetland delineation/scope of work for authorization on the Boise White Paper site

### Jenny Dimsho

Associate Planner  
City of St. Helens  
(503) 366-8207  
[jdimsho@ci.st-helens.or.us](mailto:jdimsho@ci.st-helens.or.us)